



Southwynd Place Redevelopment

Kiwanis Club of Vancouver + Soroptimist International of Vancouver
Rezoning Submission | 15 January 2025



Applicant Team

Ownership

Kiwanis-Soroptimist (1974) Senior Citizens Housing Society

Co-Ownership Groups

Kiwanis Club of Vancouver

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Soroptimist International of Vancouver

Contact: Carla Busnardo (Co-Chair)

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PURPOSE DRIVEN DEVELOPMENT

January 15, 2025

City of Vancouver
Rezoning Centre
510 West Broadway, Vancouver, BC V5Z 1E9

Attn: Carly Rosenblat

RE: **Southwynd Place Redevelopment Rezoning Application**

Dear Carly,

We are pleased to present **Southwynd Place Redevelopment**, a **100% social housing initiative** of unprecedented scale of 847 homes at 8080 Yukon Street. Owned by the non-profit, **Kiwanis-Soroptimist Senior Citizens Housing Society** with **Purpose Driven Development** as the development lead, this transformative project represents a critical project in addressing Vancouver's housing crisis.

A Visionary Initiative for Housing and Community

Southwynd Place Redevelopment is a **master-planned community** designed to:

- **Foster inclusivity** through a model of mixed-income rental housing that promotes sustainable and inclusive prosperity for seniors, families, and young professionals.
- **Prioritize health and wellness**, integrating shared amenities and thoughtful design to enhance residents' quality of life.
- **Model of intergenerational living**, creating opportunities for connection and mutual support across age groups.

Why This Project Matters

1. **A Bold Solution to Vancouver's Housing Crisis:**
 - Southwynd Place Redevelopment delivers **100% social housing at an unprecedented scale**, offering urgently needed homes for seniors, families, and young professionals across diverse income levels.
 - This **Transit Oriented Development** situated in the Cambie and Marine transit hub, the project directly addresses the region's acute housing shortage, with vacancy rates as low as 0.3%.
2. **Setting a New Standard for Inclusive Communities:**
 - This initiative redefines affordable housing by integrating **mixed-income, intergenerational living** in a supportive and inclusive environment.
 - Shared amenities and thoughtful design prioritize **health, wellness, and meaningful connections** among residents, fostering a vibrant and thriving community.
3. **Aligned with Vancouver's Vision:**
 - The project is a cornerstone for achieving the ambitious goals outlined in the **Vancouver Plan (2022)** and **Housing Vancouver Strategy (2017)**, addressing both affordability and sustainability.
 - By delivering **long-term affordability under nonprofit ownership**, it ensures social housing solutions remain accessible for generations to come.
4. **A Rare and Transformative Opportunity:**
 - Leveraging a 2-acre site, this multiphase project delivering 4 buildings maximizes land use to create a dynamic community, offering a replicable model for large-scale nonprofit housing initiatives.
 - It exemplifies how partnerships between nonprofits, lenders, and municipalities can yield lasting benefits for the City and its residents.
5. **Innovative Multilevel Financing**
 - A proactive financing approach including all levels of governments and private lenders is in process, and the financing will be confirmed through a parallel process to the City's regulatory approvals process with the range of lenders identified in this package. The final requirements and affordability will only be determined with this confirmation from lenders.

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PURPOSE DRIVEN DEVELOPMENT

6. A Legacy of Positive Impact:

- Building on the Kiwanis-Soroptimist Society's long-standing commitment to affordable senior housing, Southwynd Place will evolve into a dynamic and inclusive community that meets the modern needs of the city. By incorporating visionary leadership, innovative design, and sustainable practices, Southwynd Place will be more than just a housing project; it serves as a blueprint for creating stronger, healthier, and more inclusive urban communities.

Collaboration for a Shared Vision

The active support and cooperation of the **City of Vancouver** are **essential to the successful realization of this transformative project**. Ensuring the long-term delivery of these mixed-income rental homes under nonprofit ownership requires careful alignment of regulatory frameworks and lender requirements. By addressing the complexities of a project of this scale, we can achieve financial viability while meeting the City's critical housing goals over the long term in a significant way.

We value the opportunity to discuss how **Southwynd Place** can serve as a benchmark for large-scale social housing initiatives and contribute meaningfully to the city's housing landscape.

Thank you for your consideration, and we look forward to engaging with you further on this transformative project.

Sincerely,


Signed by: *Marcela Corzo*

1/15/2025

Marcela Corzo
Chief Development Officer
Purpose Driven Development
marcela@purposedrivenroi.com

UNLOCK POTENTIAL. CREATE VALUE. TRANSFORM COMMUNITIES.

> info@purposedrivenroi.com | 604.428.1149 | purposedrivenroi.com

Organizations



Kiwanis Club of Vancouver

About Kiwanis Club of Vancouver

The Kiwanis Club of Vancouver is dedicated to serving the local community through hands-on projects and fundraising initiatives.

Our club has been serving our community since 1919 and our members come from all walks of life, united by the tenets of service, leadership, and fellowship. We are part of Kiwanis International, an organization serving children throughout the world.

Kiwanis Clubs dot the globe, making sure children have what they need to be secure and successful in any community. Kiwanis members know the needs in their communities and work to address local needs in partnership with residents, community agencies, businesses, government, and NGOs.

Mission Statement

Kiwanis is a global organization of volunteers dedicated to improving the world, one child and one community at a time. Making a World of Difference.



Soroptimist International

About Soroptimist International of Vancouver

Soroptimist is an international non-profit organization and a global volunteer organization that “improves the lives of women and girls” by providing access to education and training to achieve economic empowerment. Soroptimists are women at their best, helping other women to be their best. The organization is composed of business and professional women who unite to make a difference for women.

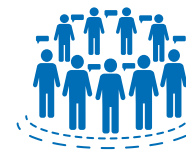
Soroptimist International of Vancouver formed in 1926 as the first Soroptimist Club in Canada by a group of accomplished, compassionate leaders determined to improve the lives of other women. Soroptimist International of Vancouver’s real estate odyssey began in 1932 with a hostel that eventually became Soroptimist Apartment House at 13th and Cambie, providing long term housing for low-income senior women. They continued buying and selling real estate until 1970 when they partnered with Kiwanis Club of Vancouver to open Southwynd Place, a complex of 90 suites for low-income seniors. Soroptimist International of Vancouver is currently delivering a milestone development Housing for Women by Women at 13th and Cambie anticipating completion in 2026 that will bring 135 new affordable rental homes to senior women, workforce women, and single parent families.

Kiwanis-Soroptimist (1974) Senior Citizens Housing Society

Ownership Shared Values

About Our Shared Values

Kiwanis Club of Vancouver and Soroptimist International of Vancouver came together in the 1970s to form the Kiwanis-Soroptimist Housing Society. With the original mandate to jointly own and operate affordable homes for seniors, Kiwanis-Soroptimist is now expanding their mandate to include the delivery and ownership of intergenerational, mixed-income housing. Their collaboration on the Southwynd Place Redevelopment is built on shared values that prioritize:



Community Focus

Creating a vibrant, inclusive environment where residents of all ages and backgrounds can live, work, and thrive.



Intergenerational Living

Promoting housing solutions that serve seniors, families, and the workforce, fostering connections across generations.



Sustainability

Ensuring that the development aligns with long-term environmental and operational sustainability goals.



Affordability

Addressing local housing needs by prioritizing deeply affordable housing for vulnerable populations, including seniors, single-parent families, and young workers.



Leadership

Demonstrating nonprofit leadership and collaboration to achieve impactful community outcomes.

Vision for Southwynd Place Redevelopment

Significance of the Project

The Southwynd Place Redevelopment is a groundbreaking mixed income rental housing community and **Vancouver’s largest nonprofit-led social housing initiative**. This masterplanned development promotes **intergenerational living** by bringing together seniors, families, and young professionals, allowing them to thrive together. The **wellness** and support of all residents are at the heart of this community. The project’s significance includes:

Addressing Housing Crisis

Delivering 847 mixed-income rental homes, with 30% designated as below Housing-Income-Limit (HIL) and integrating affordable, below-market, and market-rate units.

A Model for Nonprofit-Led Development

The Southwynd Place Redevelopment sets a new standard for nonprofit-led housing initiatives in Vancouver providing unprecedented mixed income rental housing solutions.

New proactive financing approach

We are aiming to be proactive with the financing approach and structure, but the financing will be confirmed through a parallel process to the City’s regulatory approval process with the lenders identified in this package who are currently at the table. The final requirements and affordability will be determined with this confirmation from lenders.

Creating a Complete Community

Integrating affordable below-market and market-rate housing with shared amenities for **intergenerational living**, bringing together seniors, families, and young professionals.

Alignment with City Goals

Playing a vital role in advancing Vancouver’s mission to boost affordable housing options, enhance sustainability, and promote a community that embraces intergenerational inclusivity.

Legacy of Impact

By prioritizing sustainability, innovative design, and cross-subsidization, Southwynd Place Redevelopment ensures long-term financial stability while advancing Vancouver’s goals of inclusivity, environmental responsibility, and enhanced housing options. The initiative not only provides immediate solutions to the housing crisis but also establishes a replicable model of excellence for nonprofit leadership in urban development.

Landmark Intergenerational Community

Southwynd Place Redevelopment is a significant achievement in Vancouver, providing 847 mixed-income homes and promoting an inclusive, intergenerational community. By directly tackling the housing crisis and focusing on affordability, sustainability, and the well-being of residents, this nonprofit-led initiative establishes a new benchmark for large-scale housing projects, yielding lasting benefits for both the City of Vancouver and its residents.

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Development Lead



Purpose Driven Development

Who We Are:

Purpose Driven Development is a Vancouver-based Development Management & Consulting firm, delivering mixed-use, mixed-income real estate development projects using a triple-bottom-line approach. Our clients are anyone with land – this includes independent private landowners, non-profit organizations, churches, First Nations, and public-sector institutions with the desire to optimize their real estate assets and amplify their mandate. We are proudly female founded.

With over 50+ years of real estate development experience collectively, our talented team of industry professionals hold a proven track record of leading comprehensive development projects at scale through the challenging landscape of cost and financing volatility, multi-stakeholder engagement, and complex regulatory approval processes. Our approach to project delivery is streamlined such that we simplify complexity and manage risk, to successfully unlock land development potential for our clients and create thriving communities. As a team of city-building experts, we bring the unique strength and rigour of private sector market development together with a deep commitment to deliver benefit through our projects for people, planet, communities, and investors.



Acknowledgment & Celebration

We acknowledge that this masterplanned community is situated on the unceded territory of the hən̓q̓əmi̓n̓əm and Skwxwú7mesh-speaking peoples. We recognize the deep significance of this land, which has been cared for by the Musqueam, Squamish, and Tsleil-Waututh Nations. We honour their enduring connection to it.



Project and Site Overview

Site Information

Civic Address

8080 Yukon Street, Vancouver, BC
V5X 4L6

PID

007-690-789

Current Zoning

CD-1 (88) - By-law No. 4775 (Effective May 28, 1974)

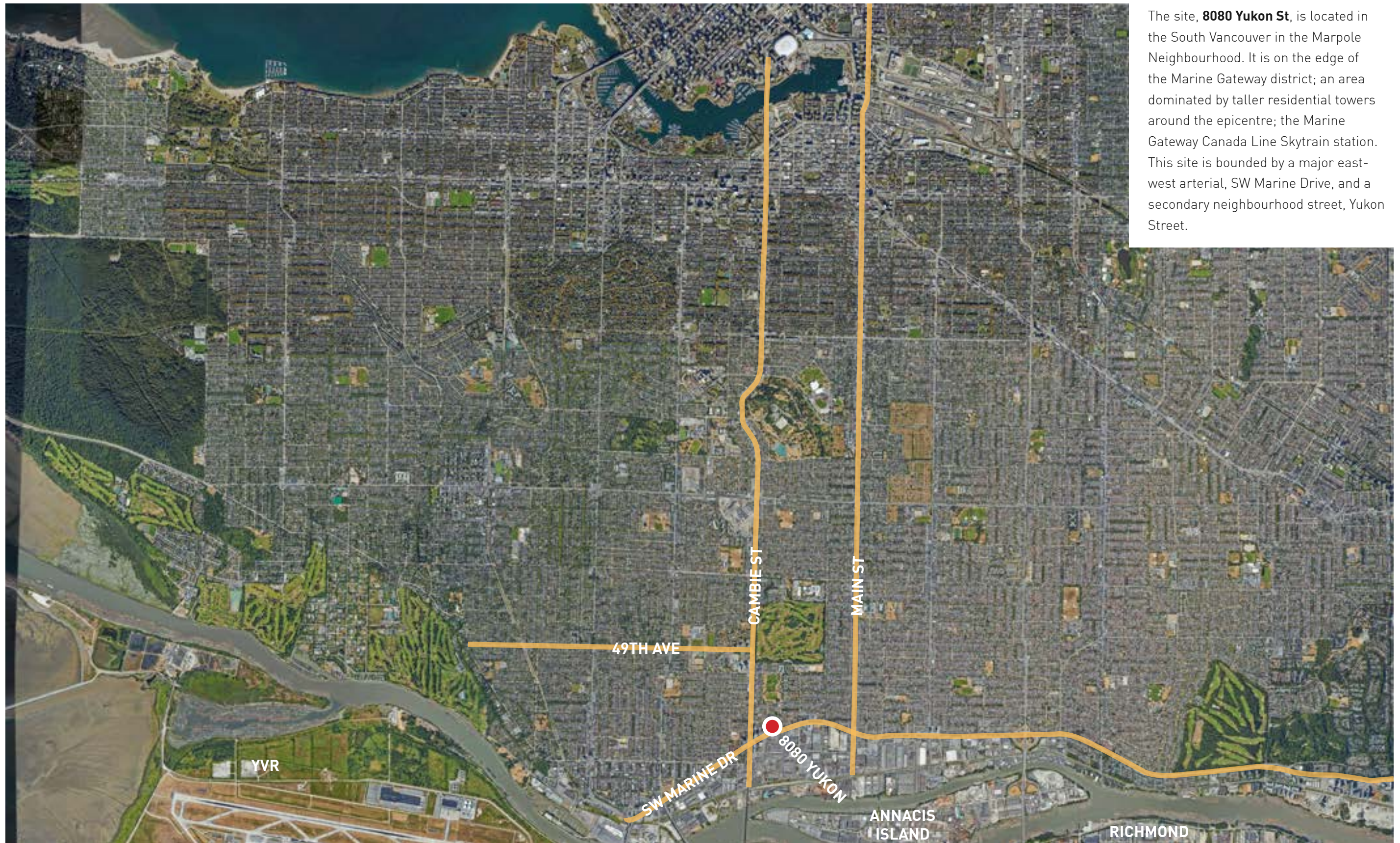
Legal Address

LOT A BLOCK C & 5 PLAN VAP15358 NEW WESTMINSTER DL 322 & 323.

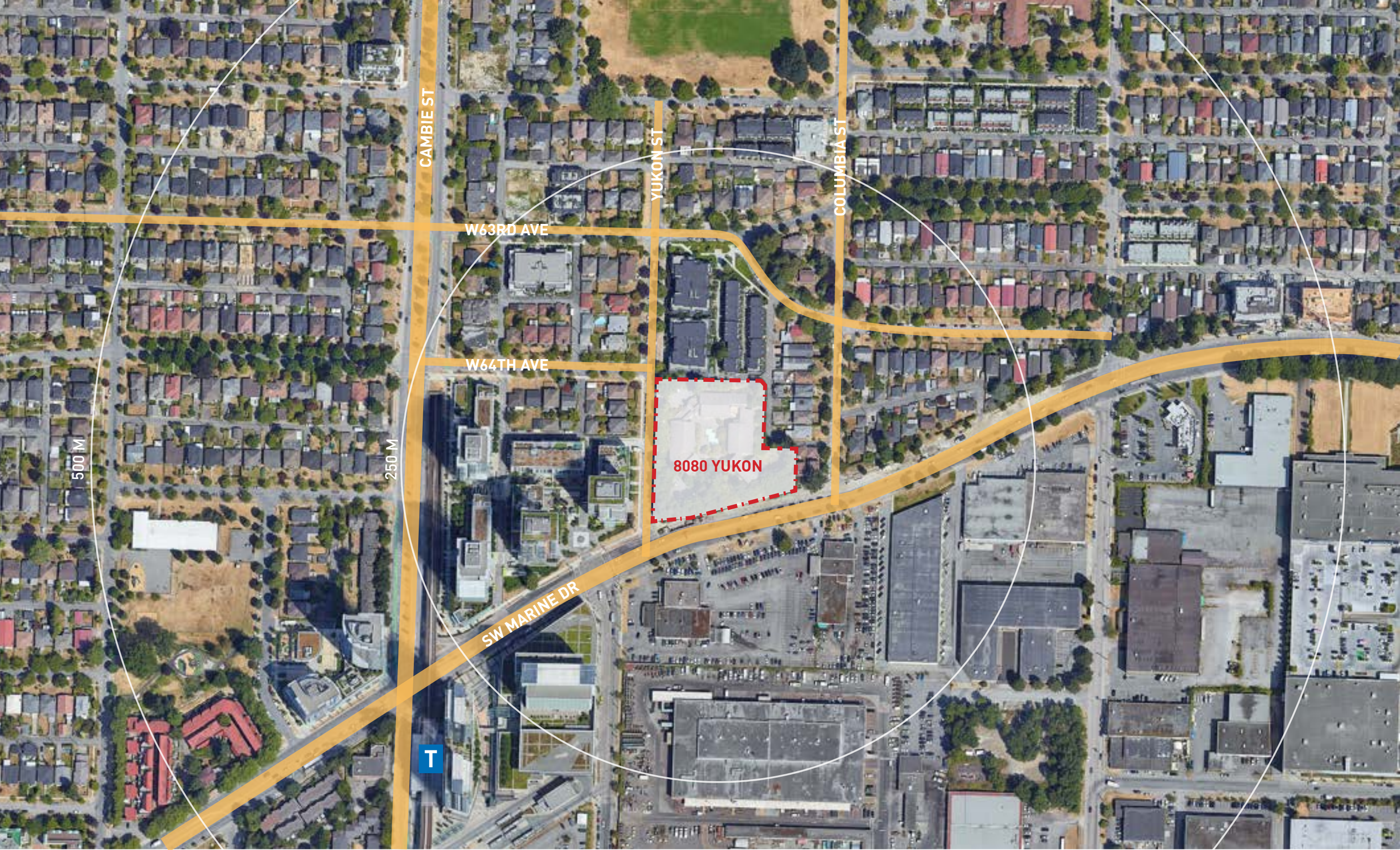


Site in Context

The site, **8080 Yukon St**, is located in the South Vancouver in the Marpole Neighbourhood. It is on the edge of the Marine Gateway district; an area dominated by taller residential towers around the epicentre; the Marine Gateway Canada Line Skytrain station. This site is bounded by a major east-west arterial, SW Marine Drive, and a secondary neighbourhood street, Yukon Street.



Context Plan



Site Understanding

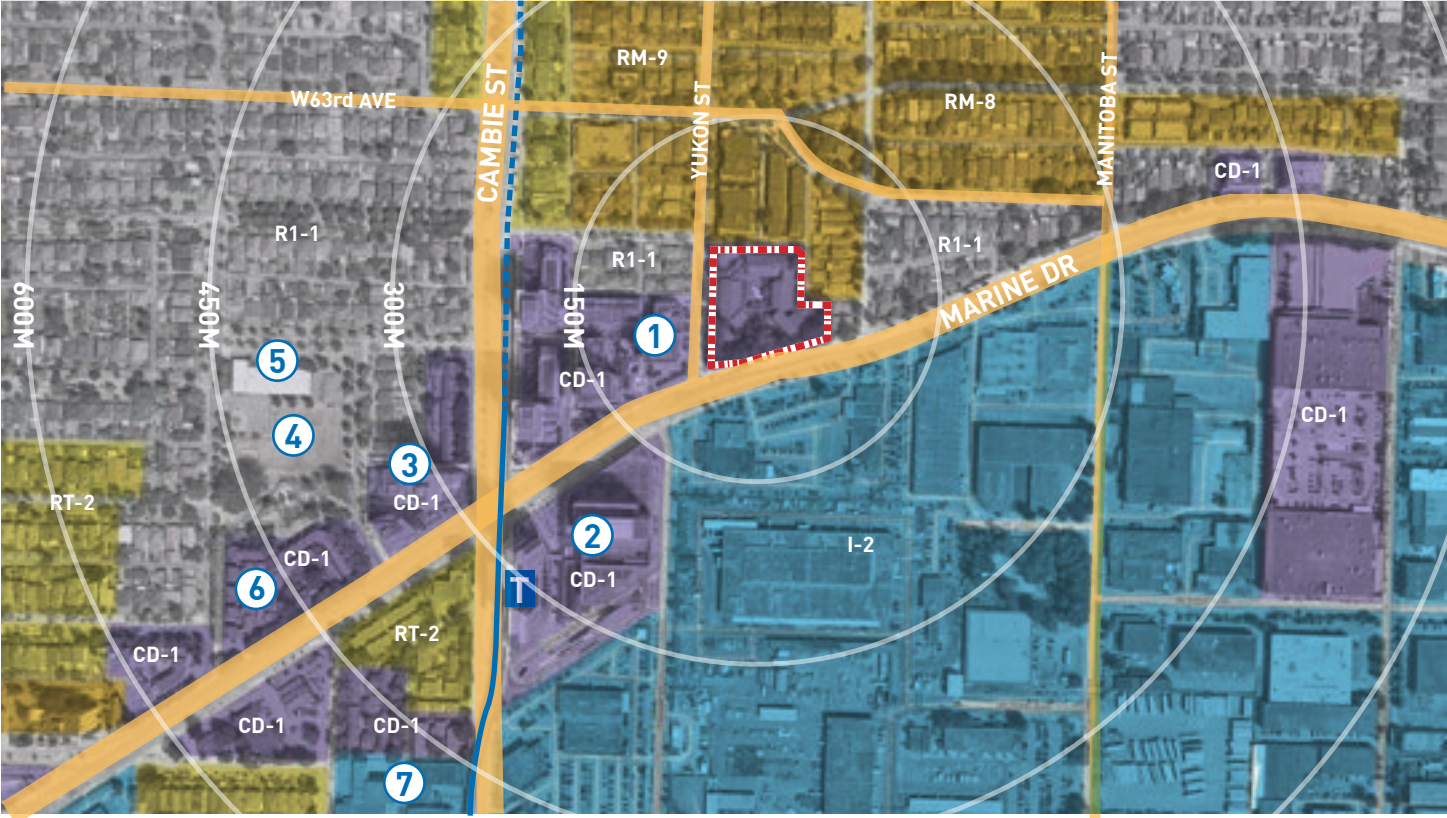
History of the Site

The site currently has a 3-storey 90 unit building which consists of bachelor and 1-bedroom affordable apartments for seniors.



Site Size: 1.9 Acres / 83,100 SF
 Assessed Value: \$40,509,000
 Existing Building Built: 1976

Map of Neighbourhood - Context and Zoning



- T Marine Gateway Canada Line Station**
- ① W1 Rental Building**
- ② Marine Gateway**
- ③ Marpole YMCA Childcare Centre**
- ④ Ash Park**
- ⑤ Ecole des Colibris**
- ⑥ Vera Housing Co-Op**
- ⑦ Ashley Mar Co-Op**

Site Photos



1 SW Marine Dr. & Yukon St. corner



2 SW Marine Dr. & Columbia St. corner



3 Columbia St. & East Lane Corner



4 East Lane corner- Looking North-West



5 East Lane & North Lane Corner



6 Yukon St. & North Lane Corner



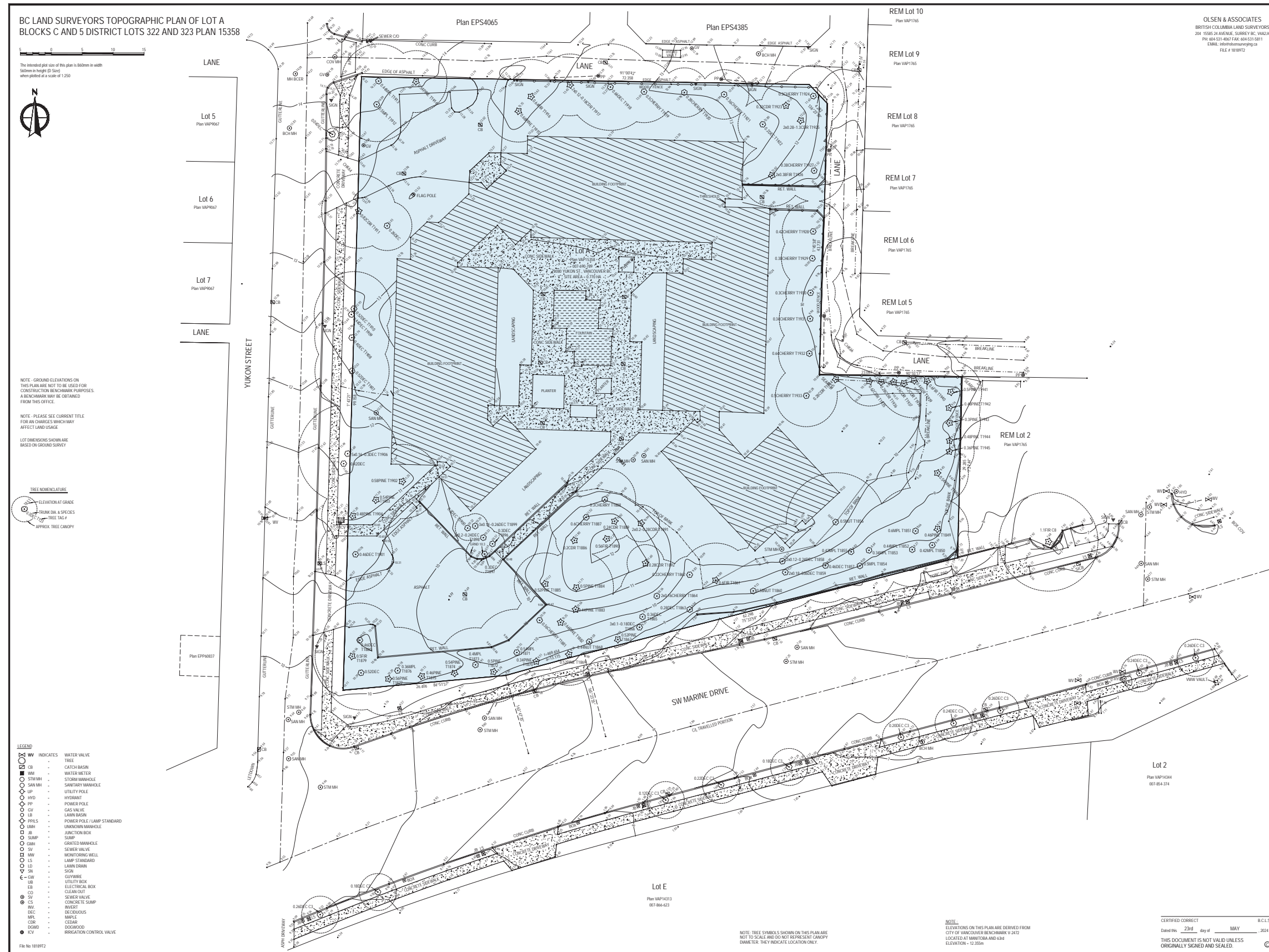
Site Photos



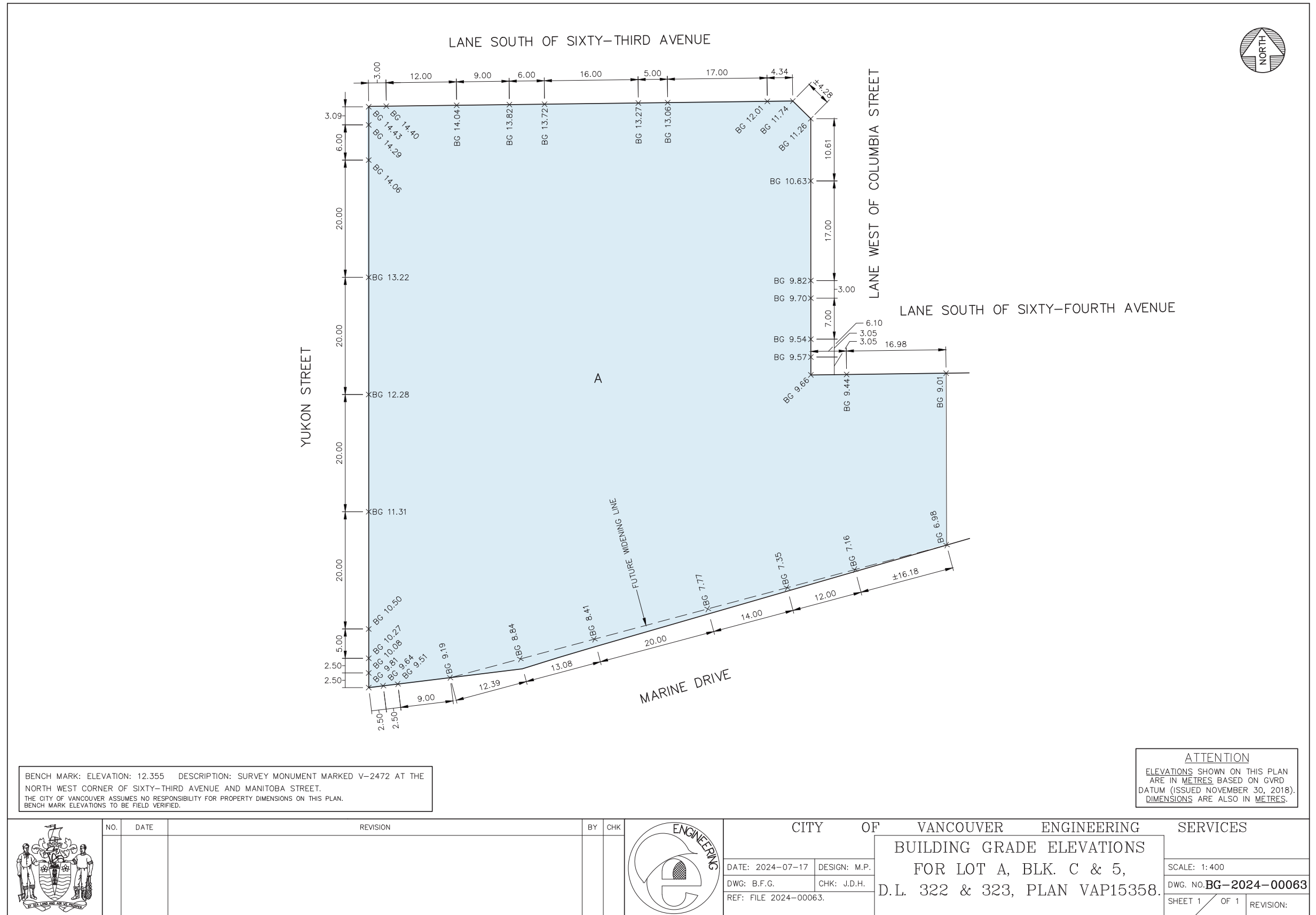
7 Yukon Street Elevation (Facing Site)



8 SW Marine Drive Elevation (Facing Site)



Building Grades



Project Goals

Within a city dealing with an affordable housing crisis, **Southwynd Place Redevelopment** is an unparalleled opportunity to deliver large-scale social housing at the Cambie & Marine transit station, to be developed, owned, and delivered by a non-profit society in perpetuity. This project will deliver affordable housing for seniors, single-parent and low-income families, and workforce housing desperately needed in our city.

This unique model of affordable housing is founded on **intergenerational living, where social connections can be made** in spaces within and around the building for people to live, play, work, and thrive. Enhancing the project's ability to address the social isolation epidemic experienced by seniors and other groups, this project will be designed to foster social connections that contribute to **overall wellness within our communities**.

This project is seeking affordable housing funding and financing through government partners, including current contributions and discussions with The City of Vancouver, CMHC, Vancity, the Federation of Canadian Municipalities (FCM), BC Builds, and BC Housing. Given the large scale, unique, and strategic location of this social housing site, we will look to diverse **forms of partnership and support** from the City to deliver this project as a win-win for all partners involved.

Program Overview

Kiwanis-Soroptimist is committed to financial stability and long-term sustainability. This redevelopment, unprecedented in scale, introduces a groundbreaking model for social housing. By adopting this innovative approach, the project sets a new standard, ensuring financial viability while delivering critically needed affordable housing at a transformative scale. We seek the City of Vancouver's support and contributions to help realize this visionary project, addressing the housing crisis and creating a lasting impact for the community.

Affordable Housing & Mixed-Income Rental

With the goal of creating vibrant, safe, accessible, and affordable housing, Kiwanis-Soroptimist intends to create an inclusive setting of intergenerational living.

Kiwanis-Soroptimist will replace existing affordable rental housing for senior residents and prioritize the affordability of homes for intergenerational living in this redevelopment. The revenue generating uses on the site will disproportionately service the construction debt and will thereby cross subsidize the affordable component to solidify the long-standing tenure of affordability.

City density, fee waivers, and any external budget reduction opportunities will be reinvested into the project to further increase affordability. In all instances, the project will amplify its commitment to increasing the degree of affordability while maintaining the necessary financial viability to secure the capital financing required to deliver the project.

Intergenerational Populations to be Housed

The project commits to affordable rental housing geared at a range of income levels. The priority populations being served by this housing are as follows;

Independent Living for Seniors

Existing senior residents of the existing Southwynd facility will be given priority by means of Right of First Refusal, and will benefit from a broader community of social connection with additional senior residents. Adaptability will be prioritized to support seniors' aging in place, as well as technology considerations that provide for additional resident comfort.

Single-Parent Families

Housing with a focus on single mothers and single parent households will enhance the community by bringing youth, vibrancy, and cooperative living within the community. It takes a village to raise a child, and conversely for the senior's, ongoing exposure to youth creates playfulness, social connections, and has positive impacts on overall health.

Workforce Housing

The project will provide affordable housing options to workforce families, professionals, and essential services (ie: nurses and teachers) that are critical to amplifying health, safety, and economic resilience in our communities.

Equality, Accessibility, Environmental Sustainability

Sustainability objectives will be prioritized throughout the project's design and development, and will aspire to exceed the City of Vancouver's Green Policy objectives for rezonings. This includes, Near Zero Emissions Buildings, Energy System Sub-Metering and Reporting, and Low-Emitting Materials as a key project priorities. **Adaptability to support seniors' aging in place will also be a key consideration during the design phase.**

Architectural Sense of Home-Sweet-Home

The redevelopment will create an **accessible, inclusive, and inviting sense of place**. The intention is to create a complete community where residents can live, work, play, and thrive. The Southwynd Place Redevelopment aims to develop a sense of home-sweet-home and invite the broader community in. The buildings will establish efficient and livable floor plates while also focusing on cost-effective architectural features. This redevelopment aims to enhance the neighbourhood through architectural excellence and complement its character through careful massing and materiality.

Amenity Space for Social Connection and Well-Being

Welcoming Entry

It is important to Kiwanis-Soroptimist that the lobbies and common areas of any residential buildings are designed as architecturally inviting spaces that are **warm, welcoming, and well-lit**. These areas should also prioritize accessibility by considering mobility challenges and special requirements of future residents.

Social Spaces

Kiwanis-Soroptimist will explore every possible opportunity to provide inclusive social spaces for residents to connect as a community. In light of the COVID-19 pandemic, it is important that these areas be designed to **encourage social connection to address the negative impacts of isolation and loneliness** and encourage intergenerational social connection. An extension of these spaces may be a rooftop garden and green areas as the current outdoor courtyard is a well-loved and utilized amenity encouraging physical activity by way of gardening.

Amenity Spaces for Wellbeing

In line with the other intergenerational health priorities, the Kiwanis-Soroptimist Board is seeking to provide outdoor and indoor activity zones that allow residents to get **active and connect through physical activity**. These activity zones will serve all generations (i.e. playgrounds, outdoor challenge course, shared multi-purpose spaces). Accessibility and safety are key priorities of the activity zones to ensure the space is inclusive of all ages.

Tenant Relocation Approach & Phasing

The site currently has a three storey ninety (90) unit building which consists of bachelor and 1-bedroom apartments for seniors. The tenant relocation will follow the guiding principles from the City of Vancouver Tenant Relocation and Protection Policy (TRPP). The project team is familiar with the process and will be working with other non-profits providing housing to seniors in the surrounding area to facilitate a respectful and dignified approach to tenant relocation. The joint Kiwanis-Soroptimist Board has already begun establishing their tenant relocation strategy and will reserve homes for these existing residents within their neighbouring portfolio of properties.

There is potential to relocate a portion of the existing Southwynd tenants to the Soroptimist International of Vancouver social-housing project at Cambie and West 13th Avenue, which will likely be completed prior to the demolition of the existing facility. The Southwynd Place Redevelopment project is designed to be built out in two phases to accommodate the overall scale of the project and the complex funding scenarios. The phasing strategy is in progress and based on numerous factors which are discussed at length in the Phasing section of this rezoning document.



Funding & Financing: Commitment & Support to Date



City of Vancouver Community Housing Incentive Program (CHIP) TO BE SECURED

Enhancing affordability in non-profit housing developments

To deliver this significant benefit to the community and City, we are seeking the City of Vancouver's support through the CHIP program for a grant to offset construction costs for this affordable housing project. We have secured preliminary support and positive feedback on this project from the CHIP team to date as this project is delivering on the program's goal to ensure long-term affordability, prioritize vulnerable populations, and support the development of high-quality, community-oriented housing solutions.

<https://vancouver.ca/people-programs/community-housing-incentive-program.aspx>



CMHC Affordable Housing Fund TO BE SECURED

Enabling affordable housing development nationwide.

The Affordable Housing Fund supports the creation of affordable housing projects across Canada. By offering capital contributions and loans, the program seeks to address critical housing needs, prioritize underserved communities, and promote inclusive and sustainable housing solutions. **CMHC has supported this project to date with pre-development SEED contribution and loan.**

<https://www.cmhc-schl.gc.ca/professionals/project-funding-and-mortgage-financing/funding-programs/all-funding-programs/affordable-housing-fund>

CMHC Apartment Construction Loan Program TO BE SECURED

Supporting rental housing construction across Canada.

This program offers low-cost loans to support the construction of purpose-built rental housing. The initiative aims to stimulate the supply of rental homes, particularly in markets facing housing shortages, by reducing financial barriers and promoting the development of affordable, sustainable, and accessible rental units.

<https://www.cmhc-schl.gc.ca/professionals/project-funding-and-mortgage-financing/funding-programs/all-funding-programs/apartment-construction-loan-program>



Vancity Community Foundation Early-Stage Grants & Pre-Construction Loans

Helping the community housing sector grow

The Vancity Affordable Community Housing Program provides early-stage grants and flexible low-cost loans to not-for-profit, cooperative, and Indigenous organizations to help preserve and grow the supply of community owned, affordable, and climate-ready homes.

Vancity has supported this project through grant contribution and through low-cost loans for pre-development.

<https://www.vahaf.ca/>

Funding & Financing: Commitment & Support to Date



Federation of Canadian Municipalities Sustainable Affordable Housing (Green Municipal Fund)

Driving sustainability in affordable housing projects

The Sustainable Affordable Housing program, under the Green Municipal Fund, provides funding and resources to municipalities and housing providers to develop energy-efficient and environmentally sustainable affordable housing. The program's focus is on reducing energy consumption, lowering greenhouse gas emissions, and increasing the resilience of housing stock while maintaining affordability.

FCM has supported this project to date with pre-development grant contributions.

<https://greenmunicipalfund.ca/sustainable-affordable-housing>



BC Builds TO BE SECURED

Creating more homes for middle-income British Columbians

BC Builds is an initiative by the Government of British Columbia aimed at increasing housing supply through partnerships with local governments, non-profits, and the private sector. The program focuses on delivering middle-income and affordable homes to address the province's housing challenges.

<https://www.bcbuildshomes.ca/>



BC Housing: Community Housing Fund (CHF) TO BE SECURED

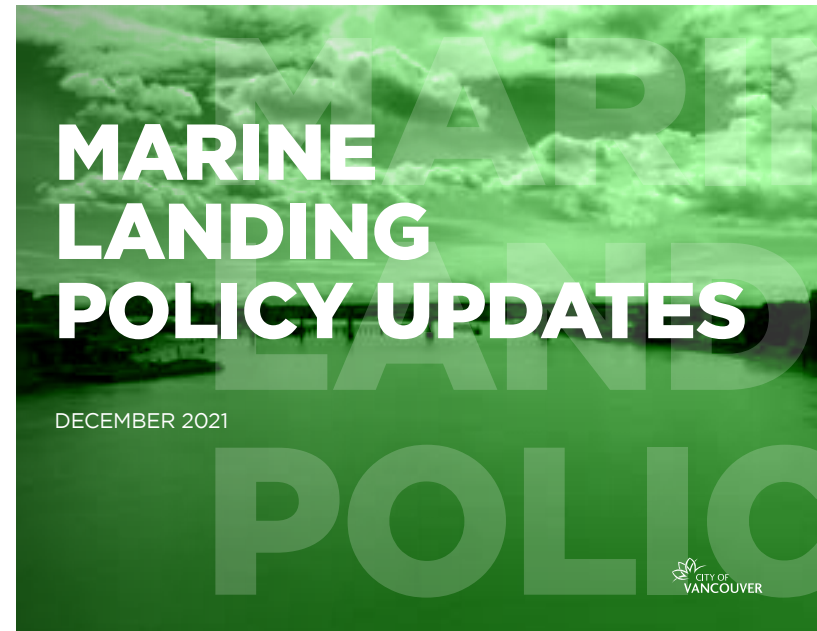
Supporting mixed-income housing projects in BC

The Community Housing Fund is a key program by BC Housing designed to expand the stock of affordable housing in British Columbia. This initiative provides funding for mixed-income housing projects that integrate low- and moderate-income households, fostering inclusive and diverse communities.

BC Housing has supported this project to date with pre-development PDF low-cost, unsecured loan.

<https://www.bchousing.org/projects-partners/Building-BC/CHF>

Achieving City Policies and Mandates



Policy

Transit-Oriented Areas Rezoning Policy

Approved by Council June 30, 2024

REPORT

Report Date: January 28, 2020
 Contact: Theresa O'Donnell
 Contact No.: 604-673-8434
 RTS No.: 13623
 VanRIMS No.: 08-2000-20
 Meeting Date: February 11, 2020
[Submit comments to Council](#)

TO: Vancouver City Council

FROM: General Manager of Planning, Urban Design and Sustainability

SUBJECT: Issues Report - Addressing Housing Priorities for the Ashley Mar Housing Cooperative Site and Other Social Housing and Inclusionary Housing Sites in the Marine Drive Station Area

RECOMMENDATION

- A. THAT Council direct staff to consider accepting a rezoning application to consider redevelopment of the Ashley Mar Housing Cooperative Site at 8460 Ash Street and 8495 Cambie Street with building heights beyond those envisaged in the *Marpole Community Plan*, in order to provide social housing and market rental units, noting that the supportable height and density will be determined through an enhanced rezoning process, which will include robust public consultation, urban design and technical analyses as well as a public hearing.
- B. THAT Council direct staff to consider rezoning enquiries for other existing social housing sites, or sites designated as inclusionary housing sites, within the Marine Drive Station Area boundary defined in this report, through updated area analyses to determine their appropriateness and capacity for accommodating additional height beyond those envisaged in the *Marpole Community Plan* to address Council's housing priorities, generally using the criteria outlined in this report.
- C. THAT the passage of the above resolutions will in no way fetter Council's discretion in considering any rezoning applications or referral of any rezoning applications to public hearing, and does not create any legal rights for any person or obligation on the part of the City; any expenditures of funds or incurring of costs is at the risk of the person making the expenditure or incurring the costs.

Achieving City Policies and Mandates

Achieving City Policies and Mandates

Located within the City of Vancouver's Cambie Corridor Plan and Marpole Community Plan areas, these policies will serve as the primary guiding policy documents for the site. This project will deliver on a number of key social priorities and City policies.

Marpole Community Plan Objectives (2014)

Marpole Community Plan objectives the project attains includes the following;

- a. Achieves a green, environmentally sustainable urban pattern.
- b. Supports a range of affordable housing options to meet the diverse needs of the community.
- c. Protects and enhance existing rental housing.
- d. Increases social and supportive housing.
- e. Focuses growth along or near major streets, where transit, shops and services are available.

Cambie Corridor Objectives (2018)

Cambie Corridor objectives the project achieves includes the following;

- a. Provides land use that optimizes the investment in transit.
- b. Provides a complete community.
- c. Creates a walkable and cyclable corridor of neighbourhoods seamlessly linked to public transit.
- d. Focuses on strategic opportunities for sustainability, renewable energy, and public amenity.
- e. Provides a range of housing choices and affordability.
- f. Delivers a diversity of employment generating spaces.

Ashley Mar Issues Report (2020)

This report outlines the policy, land use and urban design context to consider additional height for **social housing and inclusionary housing sites** near the Marine Drive Station area in Marpole in order to enable the delivery of more social housing and rental housing

Marine Landing Policy Updates (2021)

The Southwynd Place Redevelopment site was identified as an affordable housing site. The overall design guidelines for affordable housing in this area are outlined including a pedestrian mews through the site. "Additional heights and densities are often required to support the creation of new non-profit social and co-op housing, and purpose-built rental housing."

Transit-Oriented Areas Rezoning Policy (2024)

This policy discusses increased density and heights of buildings surrounding mass transit-stations and bus-loops. Areas are categorized by their distance away from a station - 200m, 400M and 800M distances from a station allow for varying heights/density of buildings. This project is approximately 300m, taken from the centre of the site to the entrance of the Marine Gateway Canada Line station. This categorizes the project as a Tier-2 project which allows for a minimum height of up to 12 storeys and a minimum density of up to 4.00 FSR. As stated in this document, 100% social housing projects may be considered at heights and densities exceeding those identified.

Housing Vancouver Strategy

Supports the City achieve their priorities and goals outlined in Housing Vancouver Strategy by:

- Providing market and below market rental housing for families, seniors, and low-income households;
- Delivering significant social housing near a key transit hub (Marine Drive Skytrain Station) and along a significant arterial (Cambie Street) to meet the goals in Strategy One (1) of the Housing Vancouver Strategy;

Housing for Priority Groups

Addresses housing needs as per CMHC's Priority Groups:

- Delivering significant mixed-income rental housing for independent seniors, families, and the workforce.
- Addressing housing needs of National Housing Strategy and CMHC's identified priority populations (women, children and seniors)

Demonstrates Strength of Non-Profit Sector in Delivering Social Housing

Demonstrates the strength of the non-profit sector, and in this instance, the combined history, knowledge, and commitment of Soroptimist and Kiwanis, in the delivery of a significant social housing project in the City of Vancouver, **as per the City's Zoning and Development By-law definition.**

In addition to housing, Southwynd Place Redevelopment will enhance the walkability of the amenity rich neighbourhood by creating a public realm offering improved sidewalk width, abundant street trees, and amenities such as seating areas and bike racks. By adopting these measures, Southwynd Place Redevelopment aims to enrich the lives of its residents and contribute to the overall well-being of the community.

The proposed density for this project, along with the identified complementary uses, plays a crucial role in securing financial viability and sustainability. This is especially relevant give the ongoing escalation in construction costs and interest rate conditions, as well as the project's objective of maximizing affordability on the site. To be clear, if the proposed density is achieved, and market conditions are more favourable at the time of construction, any cost savings will be delivered as enhanced depth and breadth of affordability.





Project Proposal and Design

Site Understanding

Contextual Height

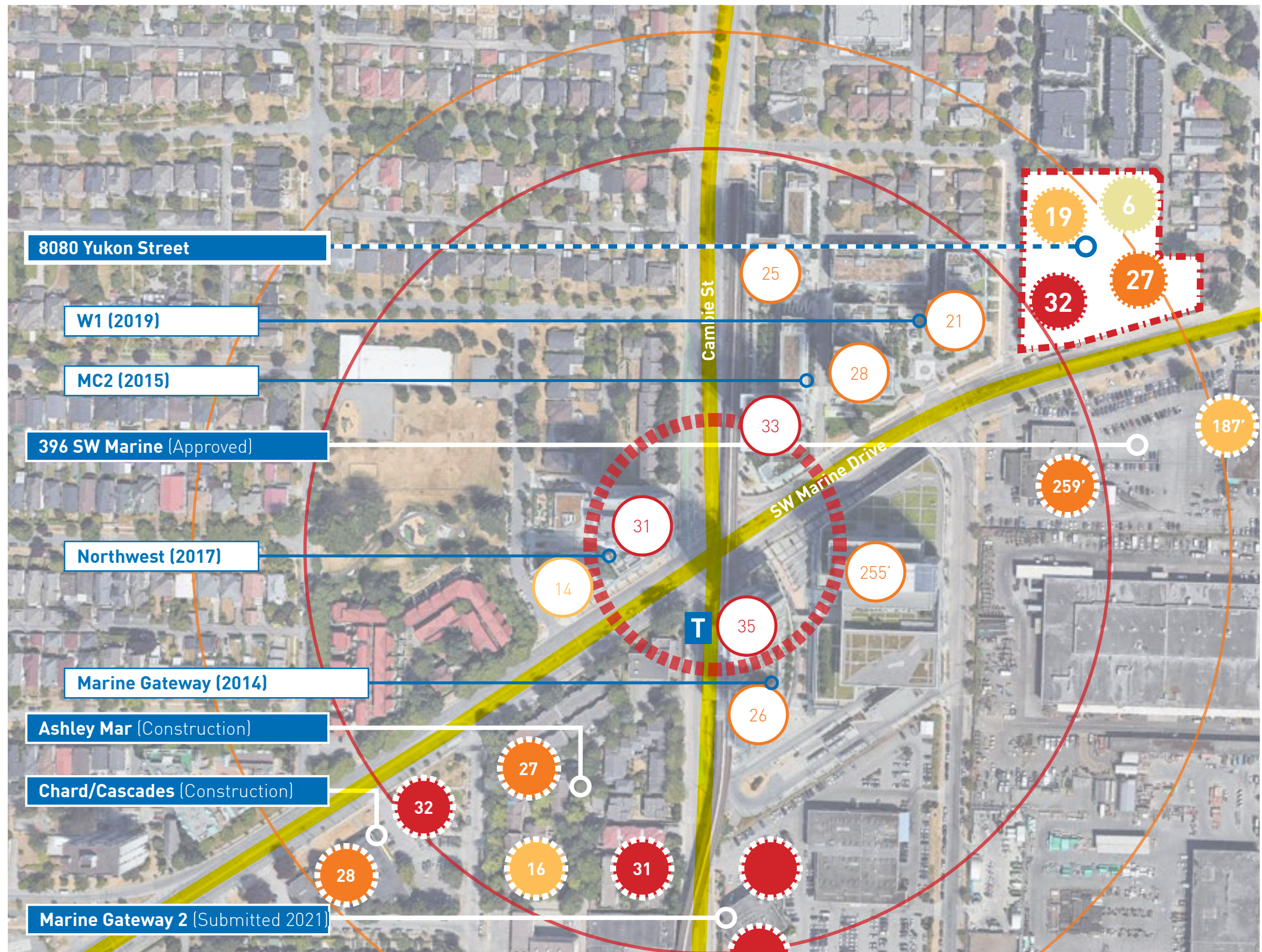
Looking at the Marine Gateway neighbourhood as a whole, the historic epicentre of building height and density is the intersection of Cambie and Marine Drive, with three 30+ storey market residential towers flanking the intersection. In general, building heights (and density) drops the further one moves away from the intersection.

More recent projects, the Chard/Cascades project and Ashley Mar, as well as the recently rezoned project at 396 SW Marine Drive (KIA dealership), have altered this height paradigm by increasing building heights and densities one to two blocks away (in both directions) from the historic epicentre. The not-yet-approved Marine Gateway II rezoning project proposes four towers of 20 to 30+ stories, further extending building height and density away from the centre.

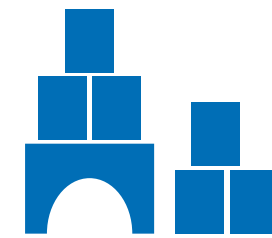
This proposal is partly based on the examination of the overall urban design of the Marine-Gateway neighbourhood - with proposed tower heights at Southwynd Place Redevelopment (8080 Yukon St) generally matching the heights and density of the Chard/Cascades project and Ashley Mar.

Framing

Immediately south of the proposed project at 396 SW Marine Drive project, two large industrial/office buildings have been approved by the City of Vancouver. The proposed buildings of Southwynd Place Redevelopment (8080 Yukon St), along with the new buildings across the street, will act to "frame" the eastern edge of the Marine Gateway neighbourhood.



Proposal Overview



Massing Strategy

- Height/density cascades away from the southwest corner (most density at Yukon/Marine intersection) to northeast corner (least density adjacent to low-rise and SFHs).
- Limiting the height of Bldg 1 to six stories to utilize wood-framed construction, reducing construction costs and providing an alternative type of home compared to the rest of the proposal.
- Locating the tallest towers at the lowest point of the site (slope from S to N is ~4M) allows for less shadowing issues to the north.
- Building separation at podium levels are set at a minimum of 30' with living space of residential units to not look directly into another living space.



Towers

- All towers are located a minimum of 80' (24.4M) from one another to allow for adequate light, privacy and ventilation and reduce overall shadowing.



Adjacent Developments

- It is anticipated that the eight (8) SFH parcels to the north east may redevelop in the future following the Broadway Plan design guidelines. Two towers (and podium) have been placed as a proof-of-concept for future development. The immediate parcel to east off Marine Drive is too small for a tower, and the low-rise residential buildings to the north are not anticipated to redevelop in the foreseeable future as these buildings were recently completed.



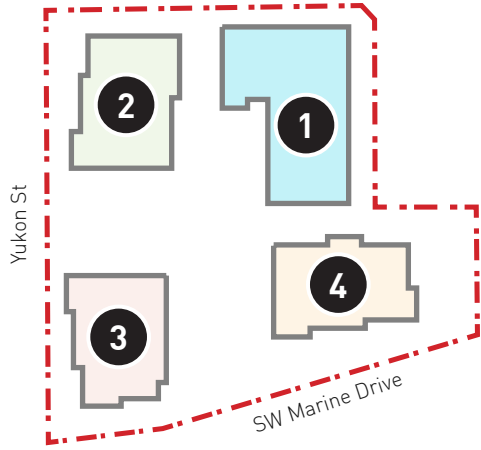
Parkade

- Shared underground parking structure.
- Parking/loading access off lane between Bldg 1 & 4.
- Site slope utilized to allow for more parking to be located/tucked under the northern part of site.

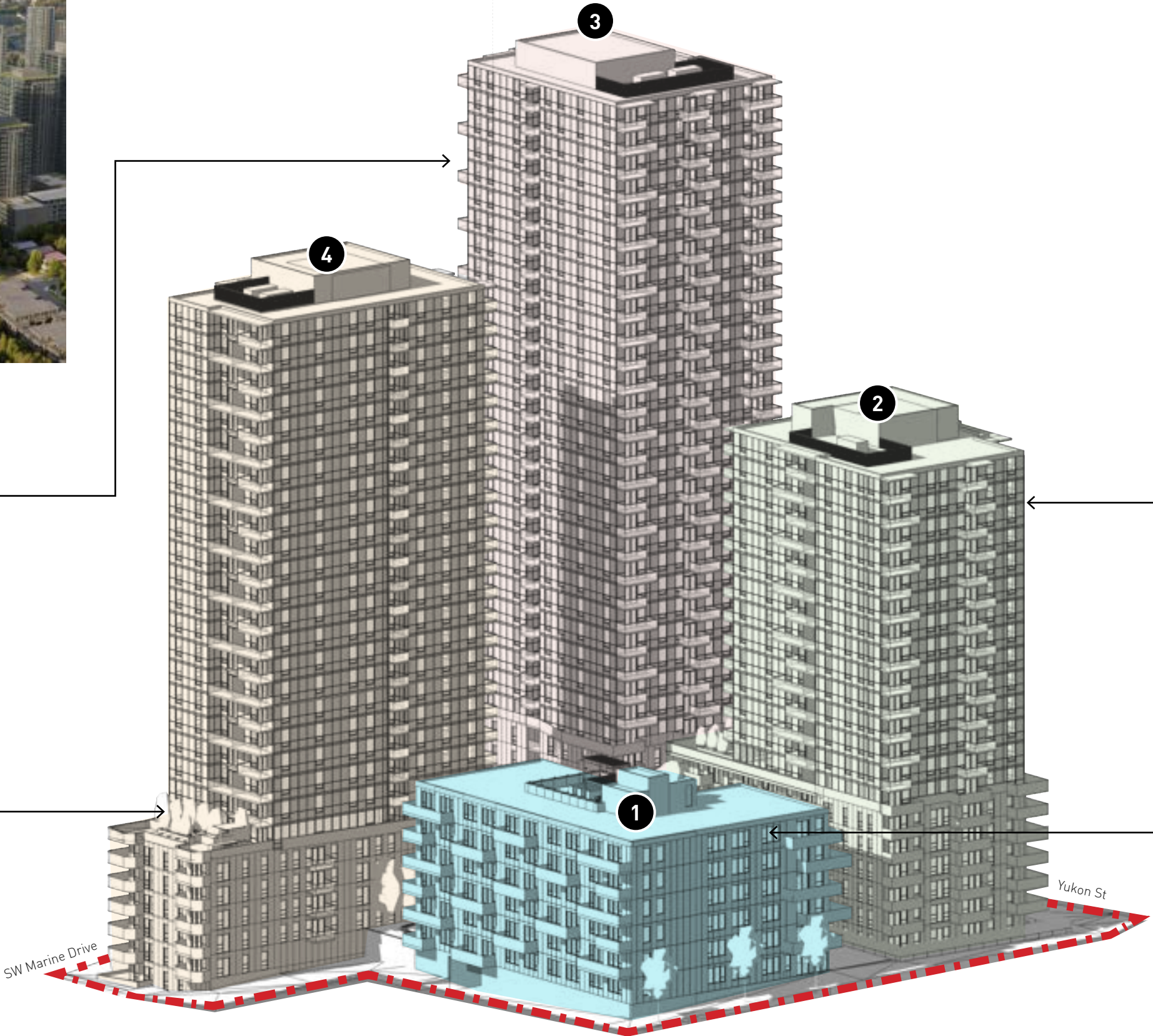
Proposal Overview Diagram



Site in Context



Key Plan



Axonometric View of Project

Building 3

Program	Mixed Housing
Storeys	32
Housing Units	272
Construction	Non-Combustible
Internal Amenity	2,544 SF
Density [FSR]	2.38
Below-HILS	30%
Family Units	35% - 96 Units
Phase	2
Massing	Point Tower

Building 2

Program	Mixed Housing
Storeys	19
Housing Units	200
Construction	Non-Combustible
Internal Amenity	4,383 SF
Density [FSR]	1.76
Below-HILS	30%
Family Units	35% - 70 Units
Phase	1
Massing	Podium-Tower

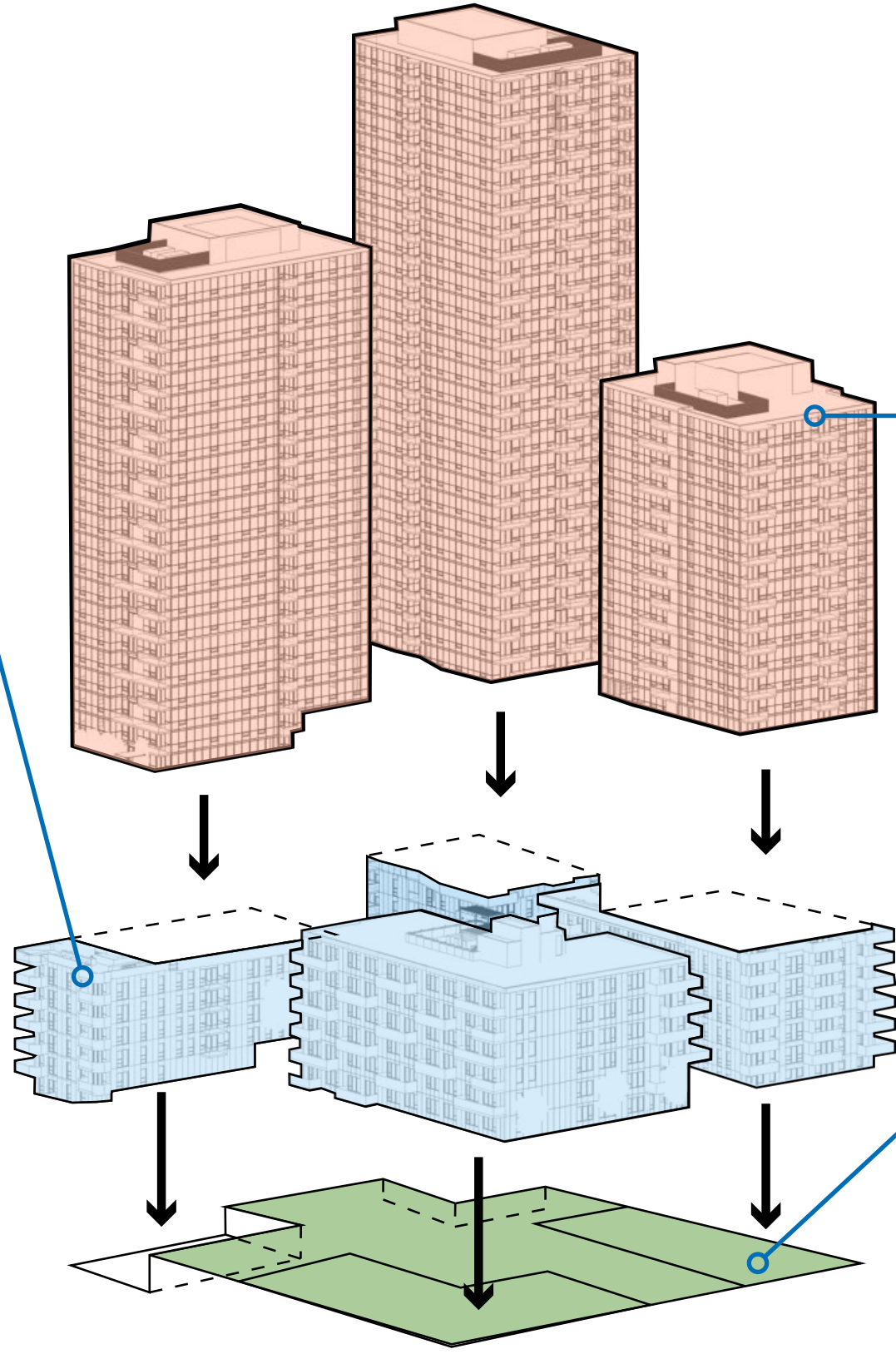
Building 4

Program	Mixed Housing
Storeys	27
Housing Units	252
Construction	Non-Combustible
Internal Amenity	4,530 SF
Density [FSR]	2.20
Below-HILS	30%
Family Units	35.7% - 90 Units
Phase	2
Massing	Podium Tower

Building 1

Program	Seniors Housing
Storeys	6
Housing Units	123
Construction	Combustible
Internal Amenity	1,535 SF
Density [FSR]	0.66
Below-HILS	30%
Family Units	0%
Phase	1

Overall Site Massing Diagram



Podium Typology

The lower portions of Buildings 2 and 4 have larger floor plates and act as podium elements for each building. Building 1 is a stand-alone six-storey wood-framed building scaled to match the adjacent buildings (Buildings 2-4) and transition from the lower adjoining neighbourhood buildings.

The podiums of Buildings 2-4 and Building 1 are anticipated to share a common design language which will contrast the upper tower portions of each building. The design language is anticipated to be richer, with a higher level of detail paid to the window openings and more substantial materials at the base. As this is the portion of the buildings that will interact with the public more, it is anticipated that high-quality textured materials will be utilized to help ground the project into the surroundings.

Tower Typology

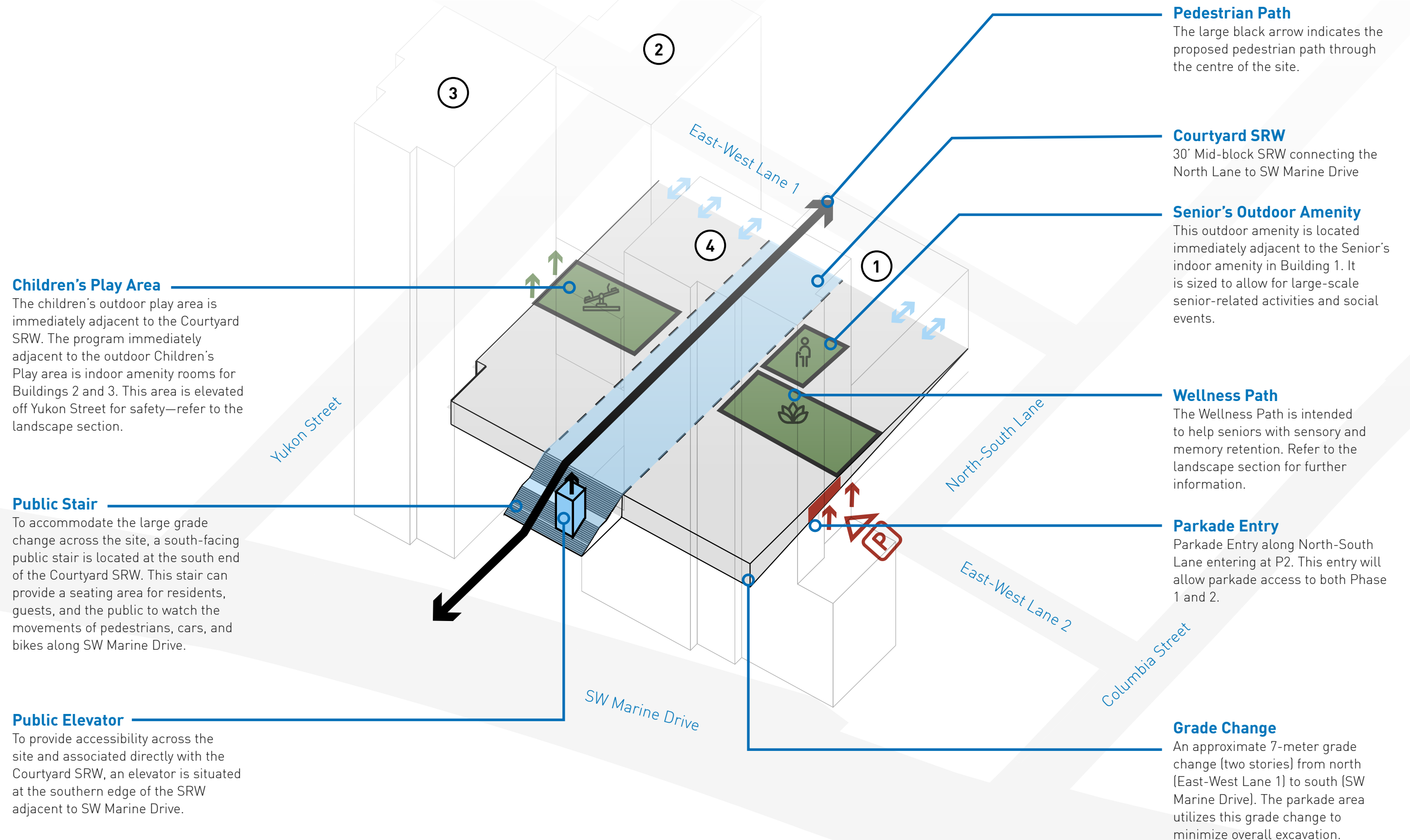
The design language for each of the tower portions of Buildings 2, 3, and 4 is related and meant to be read as a family of towers. These towers have a distinctive and separate language from the lower podium design language—one that is conceived to be primarily window-wall construction with large linear balconies. With the nature of the program, 100% social housing, the tower portions will be highly efficient with repeating elements to reduce overall construction complications and costs.

Raised Groundplane (L3 Courtyard)

With the two-level grade change across the site (from north to south), the top of the suspended slab of the parkade acts as the main thoroughfare. This elevated courtyard connects each building with different outdoor amenity programs and building lobby entrances.



L3 Courtyard Program and Circulation



Children's Play Area
The children's outdoor play area is immediately adjacent to the Courtyard SRW. The program immediately adjacent to the outdoor Children's Play area is indoor amenity rooms for Buildings 2 and 3. This area is elevated off Yukon Street for safety—refer to the landscape section.

Public Stair
To accommodate the large grade change across the site, a south-facing public stair is located at the south end of the Courtyard SRW. This stair can provide a seating area for residents, guests, and the public to watch the movements of pedestrians, cars, and bikes along SW Marine Drive.

Public Elevator
To provide accessibility across the site and associated directly with the Courtyard SRW, an elevator is situated at the southern edge of the SRW adjacent to SW Marine Drive.

Pedestrian Path
The large black arrow indicates the proposed pedestrian path through the centre of the site.

Courtyard SRW
30' Mid-block SRW connecting the North Lane to SW Marine Drive

Senior's Outdoor Amenity
This outdoor amenity is located immediately adjacent to the Senior's indoor amenity in Building 1. It is sized to allow for large-scale senior-related activities and social events.

Wellness Path
The Wellness Path is intended to help seniors with sensory and memory retention. Refer to the landscape section for further information.

Parkade Entry
Parkade Entry along North-South Lane entering at P2. This entry will allow parkade access to both Phase 1 and 2.

Grade Change
An approximate 7-meter grade change (two stories) from north (East-West Lane 1) to south (SW Marine Drive). The parkade area utilizes this grade change to minimize overall excavation.

Tree Retention Rationale

Tree Retention

At a site level, the landscape design proposes a novel approach to a common problem throughout the Lower Mainland and Vancouver: the loss of the urban tree canopy to redevelopment. The design team has worked to retain several large groups of trees around the site's perimeter. Keeping these large canopy trees required a significant redesign of the building massing, with both the buildings and parkade structure pulled back in locations to protect the root zones of the trees.

The existing tree groves which are preserved throughout the perimeter of the project, and are defining elements, particularly along the residential units and entry plazas on SW Marine Drive and Yukon Street where the groves are protected from pedestrian traffic by raised boardwalks, which combine with native understory of planting to create an innovative public realm at the foot of the new development—incorporating existing trees into the landscape design a positive response to urban tree canopy loss.

Alignment with Vancouver's Urban Forest Strategy

Preserving Existing Canopy Cover

The Urban Forest Strategy emphasizes preserving mature trees to maintain and enhance the city's tree canopy. This project directly supports this goal by retaining large tree groves on the site's perimeter and adjusting building and parkade designs to protect critical root zones.

Increasing Urban Forest Resilience

Preserving established trees, particularly in a dense urban environment, contributes to a more resilient urban forest. Mature trees provide immediate ecological benefits, such as improved air quality, urban cooling, and stormwater management, which align with the city's vision for a sustainable and climate-adapted urban forest.

Improving Tree Protection During Development

The strategy highlights the need to improve tree retention in development projects. This project is committed to this principle by incorporating protective measures, such as raised boardwalks and strategic building massing, to safeguard tree groves and their root systems.

Enhancing Public Realm and Biodiversity

By integrating native understory plantings with preserved tree groves, the project creates a biodiverse and visually appealing public realm. This supports the Urban Forest Strategy's goal of fostering a healthy urban ecosystem that connects people with nature.

Addressing Canopy Loss Through Redevelopment

This project serves as a model for addressing canopy loss—a core concern of the strategy—by prioritizing tree retention as a design element rather than treating it as an afterthought.

How This Benefits the Urban Forest Strategy Goals

Our approach contributes to:

Meeting the City's Canopy Cover Targets

Retaining mature trees helps offset canopy loss from redevelopment elsewhere.

Promoting Sustainable Development Practices

The thoughtful integration of trees and design elements sets an example for balancing urban growth with environmental stewardship.

Educating the Public

Visible preservation efforts, like using raised boardwalks and native plantings, enhance public awareness and appreciation of the urban forest.

This project exemplifies the principles of the City of Vancouver's Urban Forest Strategy by prioritizing tree retention and designing with the urban forest in mind. It reinforces the project and the city's commitment to creating a greener, more sustainable urban environment.



Tree Retention Rationale

Overview

Recognizing the importance of preserving the number of trees and the urban tree canopy, while also addressing the housing needs of the city's residents and considering overall costs and project feasibility, the effort to retain trees is a significant challenge. The current design plan demonstrates the proponent team's ability to navigate these complex issues effectively.

Arborist Report Overview: Tree Removal

Tree removals have been recommended to accommodate the proposed development and/or due to tree health and structure. Refer to of the Arborist Report (under a separate cover) for the tree removal comments by tree and to the Tree Protection and Removal Plan for the location of trees to be removed.

Referring to the Letter of Enquiry Landscape Comments further for the trees that have been noted:

The following trees are proposed to be retained: #1861, #1869, #1872, #1879, #1880, #1905, #1911, #1935 to #1945. As well, with the change of building footprints (change of program from mixed-use to 100% social housing), numerous trees along Marine Drive are proposed to be retained.

Tree removals are proposed for the six (6) trees for the following reasons:

Tree #	Removal Rationale
1867	This tree along SW Marine Drive is proposed for removal as it is situated on the proposed boardwalk extending to the SRW. There is a strong intention of continuing the mid-walk SRW through the site to Marine Drive - the removal of this tree allows daylighting and additional porosity to the adjacent stairs/ elevator.
1901	The removal of this tree along Yukon Street is proposed to be removed to allow the boardwalk plaza facing the lobby of Building 3. This tree removal allows for a strong entry condition to the building along with providing safety and security (CPTED) for the building residents at their main entry/exit.
1902	This tree is nearly 10m within the western property line and is situated directly within the Building 3 tower footprint.
1903	This tree is approximately 5M within the western property line and is situated immediately adjacent to the Building 3 tower footprint.
1904	This tree is approximately at the western property line and conflicts with the proposed underground parkade.
1925	Although this tree is outside the footprint of Building 1, the rootzone and tree canopy directly impact the massing of the senior's rental building. This building is the most financially sensitive of the entire development, and one of the ownership group's mandates is to provide and extend as many senior homes as possible. Retaining this tree would hinder and negatively impact this building.



Landscape Design: Street Level

The landscape response for this development is to create a safe, secure and sociable environment, set in nature, for all residents - from seniors to children to enjoy.

At a site level, the landscape design proposes a novel approach to a common problem throughout the Lower Mainland and Vancouver in particular. The design team has worked to retain several large groups of trees around the perimeter of the site. Keeping these large canopy trees required significant redesign to the building layout and massing with both the buildings and parkade structure pulled back in locations to protect the root zones of the trees.

The result is a unique street edge and public realm, that reduces the scale of the building mass while creating a welcome buffer from the busy streets adjacent to the development. Clusters of large trees are reinforced with native plant gardens and surrounded by a series of small urban plazas consisting of boardwalks, benches and balconies designed to float over the existing grade. This design language of small gardens, decks and raised plazas surrounded by existing trees presents a sensitive approach to site design in a city that is rapidly losing its urban tree canopy to densification. The design team sees this is an innovative solution to a challenging problem of urban forest canopy loss.

Street Frontage

The existing tree groves are defining elements of the entry plazas along SW Marine Drive and Yukon Street. Each pedestrian entry point is met at the property line with a flat, fully accessible raised boardwalk. Beneath these boardwalks, smaller, native plants will create natural understory of planting that will give the space a forest like feel set within a series of "Open Space and Walking Paths" and "Quiet Spaces",

The sidewalk along SW Marine frontage has been retained in its current configuration to preserve the trees, creating a buffer between the busy street and the residential units. The private patios will also have raised decks to accommodate the root zones. This arrangement benefits residents in the units facing the street by providing quieter spaces in an area where traffic is at it's most intense.

Boardwalks will be made of durable, recycled materials such as composite wood to ensure durability and slip resistance year round. The routing of services, utilities will need to be carefully routed through the root zones.

The **Mid-Block plaza** is the main pedestrian along SW Marine Drive. Here the boardwalk widens to create a welcoming space to sit, socialize, or simply appreciate a small dose of nature while approaching the development.

The main stair and elevator takes visitors up to the breezeway on the Central Amenity area.



Landscape Design: L3 Courtyard

Central Amenity: Intergenerational Plaza

The central amenity is defined by a public breezeway that has been kept clear of obstructions to facilitate movement. Our team has conceptualized this zone as a "Wellness Path", allowing seniors to connect with other residents and the public in general. An important concept of the landscape design is to encourage seniors to use all of the amenity spaces.

Playground

The play area is a secure space for children to play while encouraging interaction with residents, seniors and neighbours alike. The playground is imagined as having a natural wooden play structure at the centre with fall surfacing in bright colours and nearby seating. This will be a space where kids, parents and seniors can interact and feel safe. The playground is flanked by a natural buffer of planting in the form a grove of existing trees one level below as well as a large planters at the same grade as the playground.

Seniors' Outdoor Amenity

Located at the center of the project, adjacent to the Breezeway, is the Elderly Amenity Area. This is located adjacent to the seniors' indoor amenity and has a varied program including raised and accessible planters. Moveable seating will create a flexible open space that allows a range of activities such as exercise, dancing and other events.

An important tenant of "Elderly-Friendly Design" is to provide safe and secure space, while also providing a range of activities that offer a strong connection to community. The space is surrounded by trees and raised planters that allow elderly users to feel secure and protected, while still having a visual connection to the public areas.

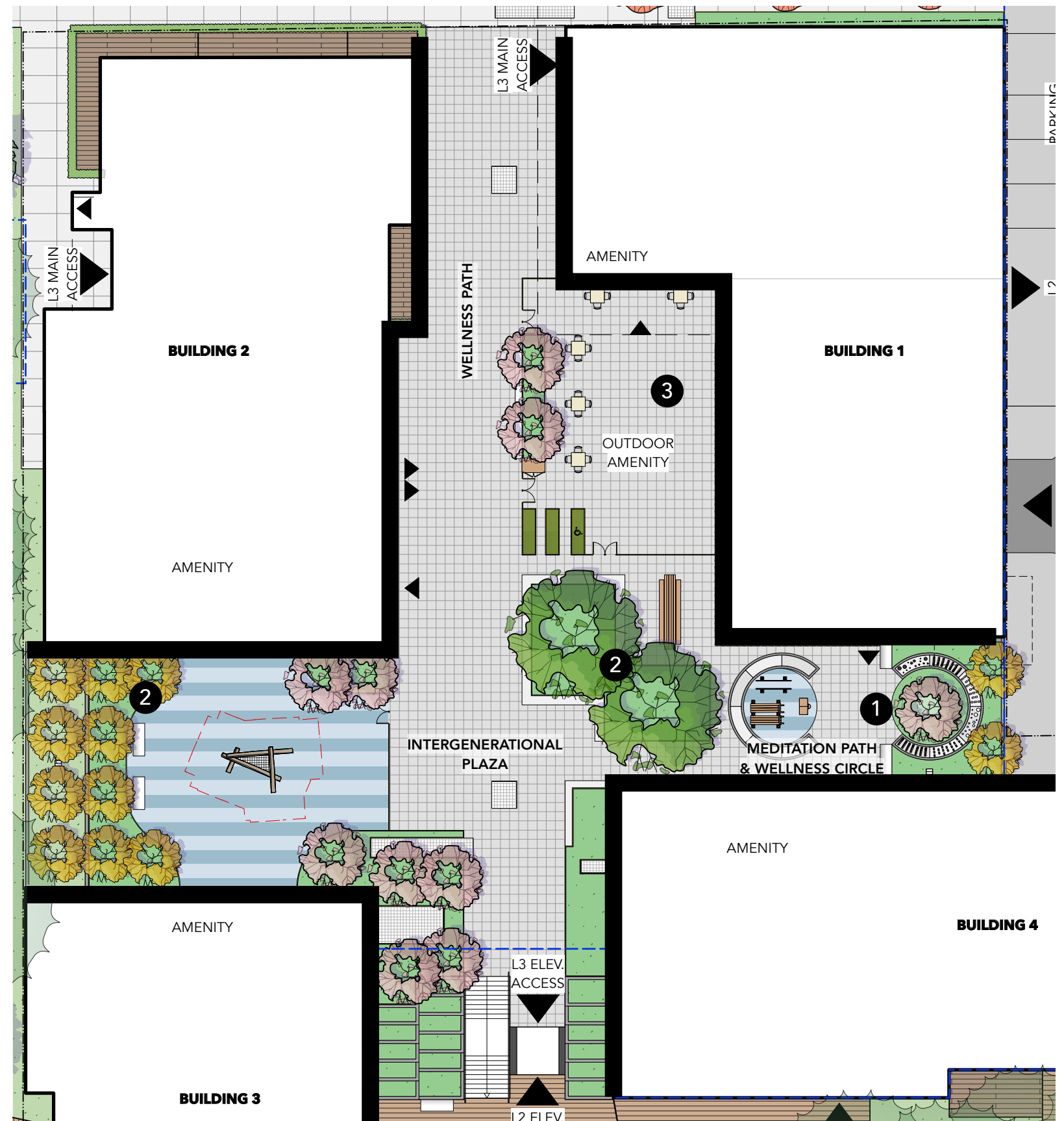
Intergenerational Plaza

At the top of the stairs, the Intergenerational Plaza area is framed by large central planters containing native planting, large canopy trees and continuous built-in seat benches. These trees are intended to be focal points of the development, bringing down the scale of the towers. The built-in benches (with backs) allow people to sit comfortably underneath.

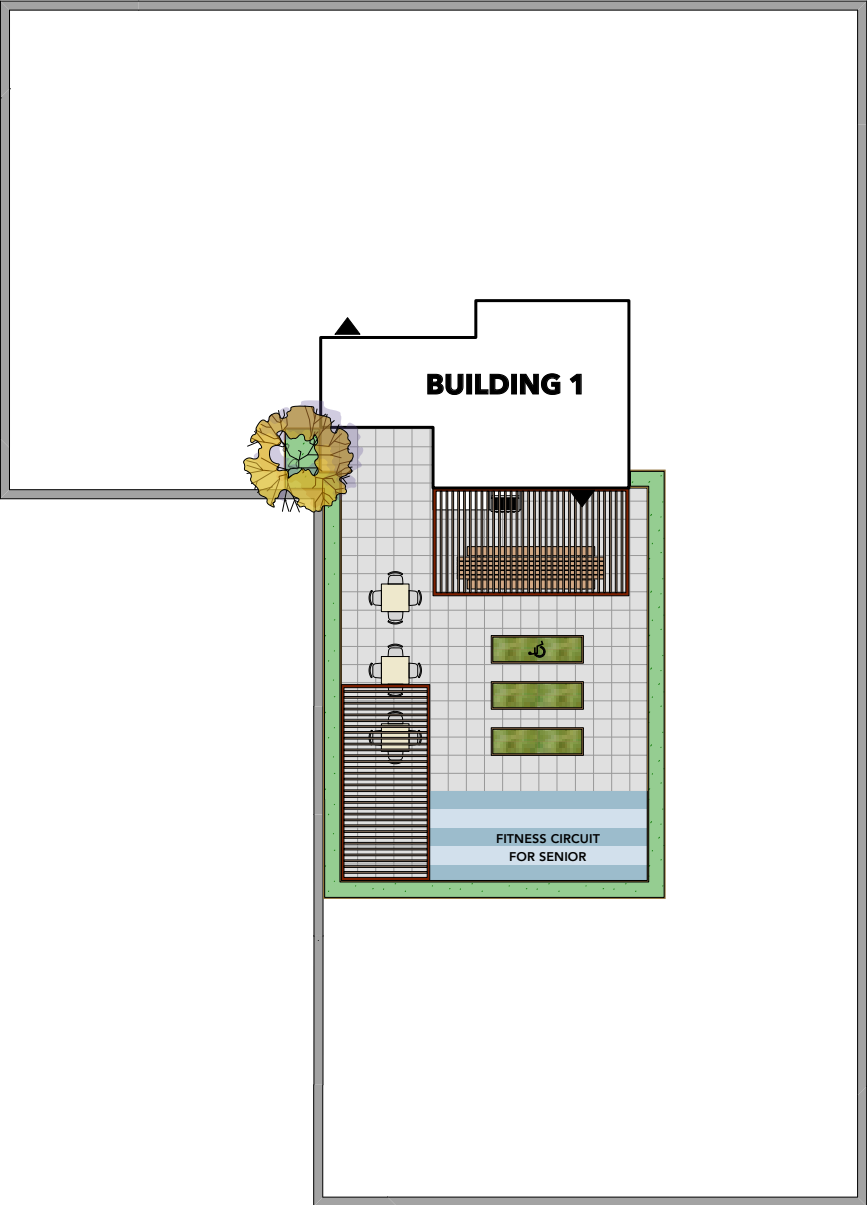
The large planters define the space, creating separation between the Breezeway, and the other amenity spaces. This element encourages interaction while also subtly defining public spaces from private. Elderly residents can move in and out of these spaces, interacting with other residents or passerby or watch the kids in the playground.

Meditation Path and Wellness Circle

To the west of the large planters is a more sheltered space that includes seating, a Wellness Walk and a meditation area. There is another grove of existing large canopy trees to the west of the space that will bring a sense of privacy and nature.

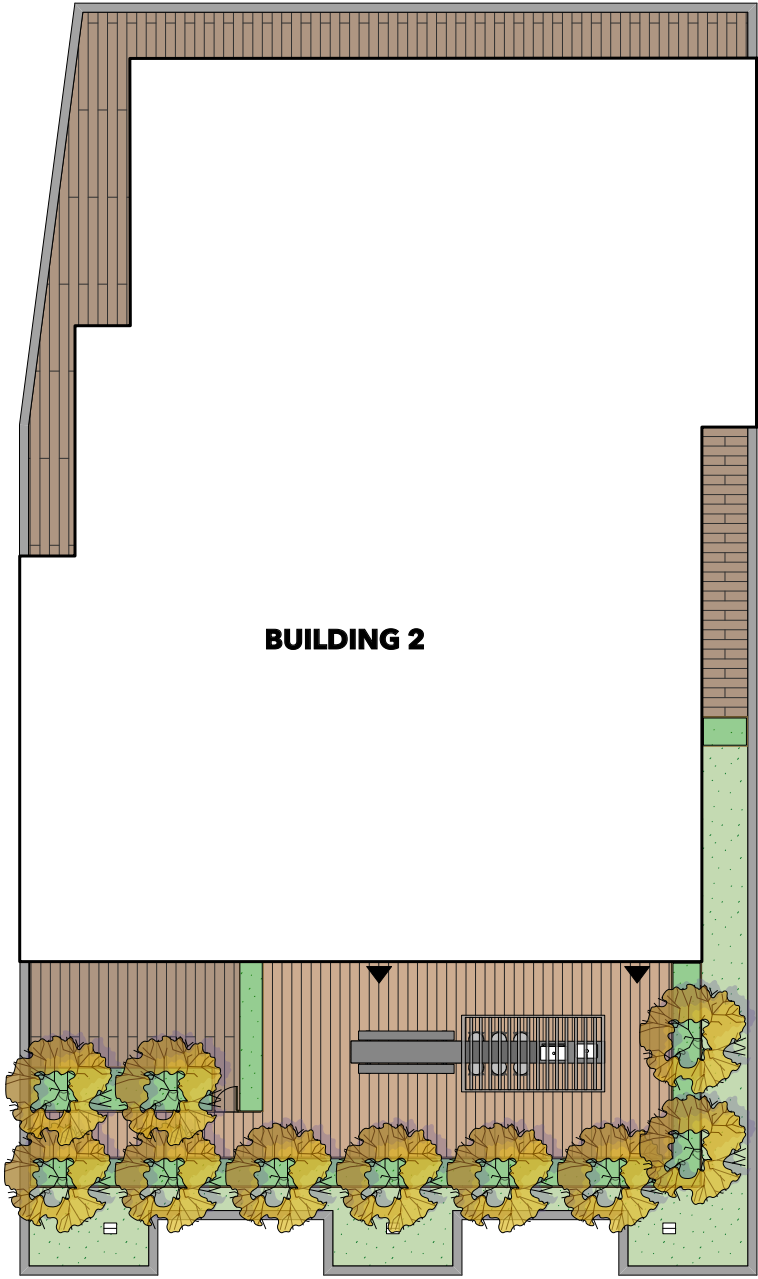


Landscape Design: Building Rooftop



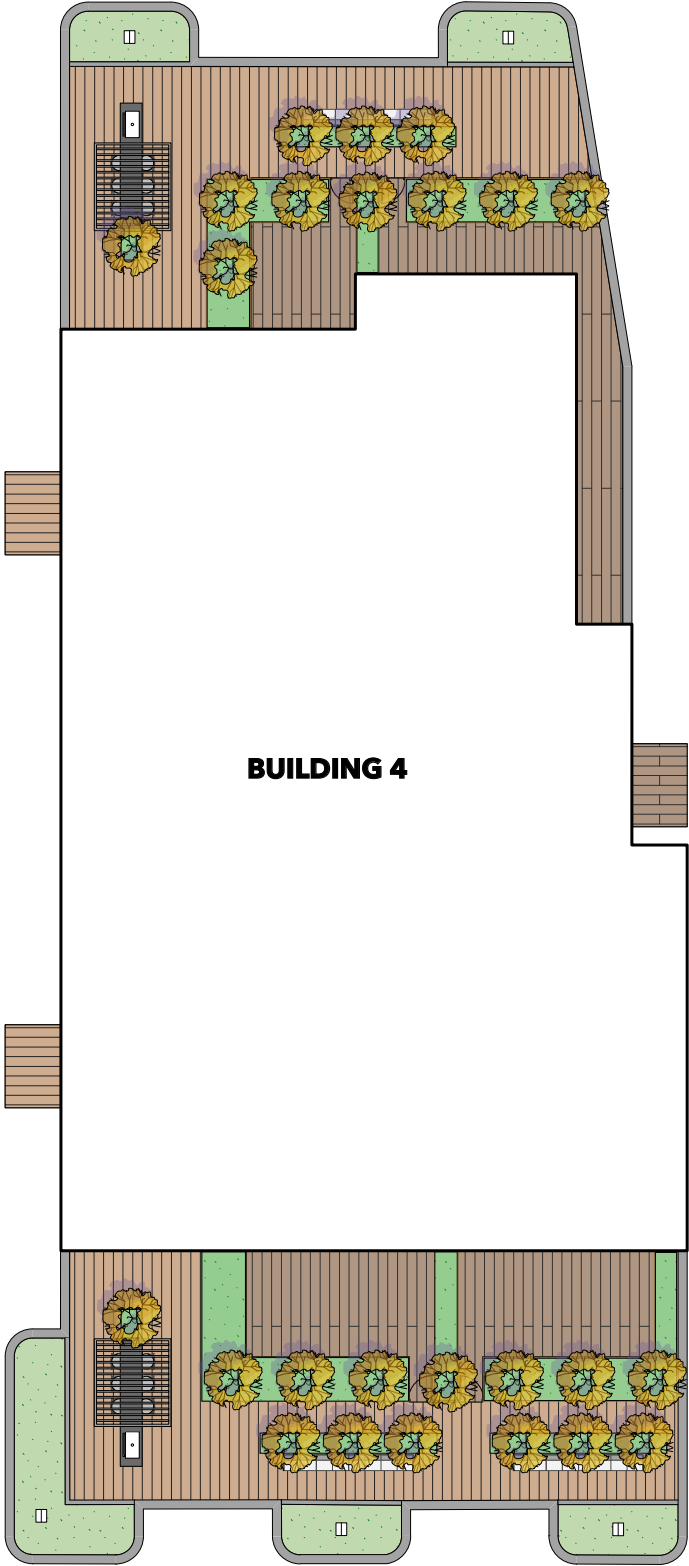
Roof Amenities: Building 1

The Building 1 Amenity is modest in size due to structural and occupancy limitations. Raised metal planters bring nature to the perimeter of the space. Two large trellis' will provide shade and comfort to users. A large harvest table with a covered trellis will be an ideal area for entertaining and a large poured-in-place fitness area will cater specifically for elderly residents. The space could also be used for yoga, dancing and a range of other activities.



Roof Amenities: Building 2

The Building Two Amenity Deck provides a long buffer of raised planters to provide a natural sense of enclosure for users while also bringing privacy to the private decks. A long built-in seating element allows residents to take in the surrounding urban and river views and an outdoor dining and entertainment area with a raised bar stool, eating surface and barbecue under a shade trellis.



Roof Amenities: Building 4

The overall design approach on the Building 4 Amenity Deck is similar to Building 2 except that there are two decks with identical layouts located on either side of the building.

Landscape Design

Materials And Indigenous Planting

The materials are primarily concrete unit paving, composite wood decking, wood benches, and aluminum planters. There are several areas with fall surfacing for play, exercises, meditation and walking ensuring a range of health activities for children and elderly in particular.

A wide range of native plants will be used throughout the project. A high proportion of the plants will be BC native or adapted species that will minimize water used for irrigation.

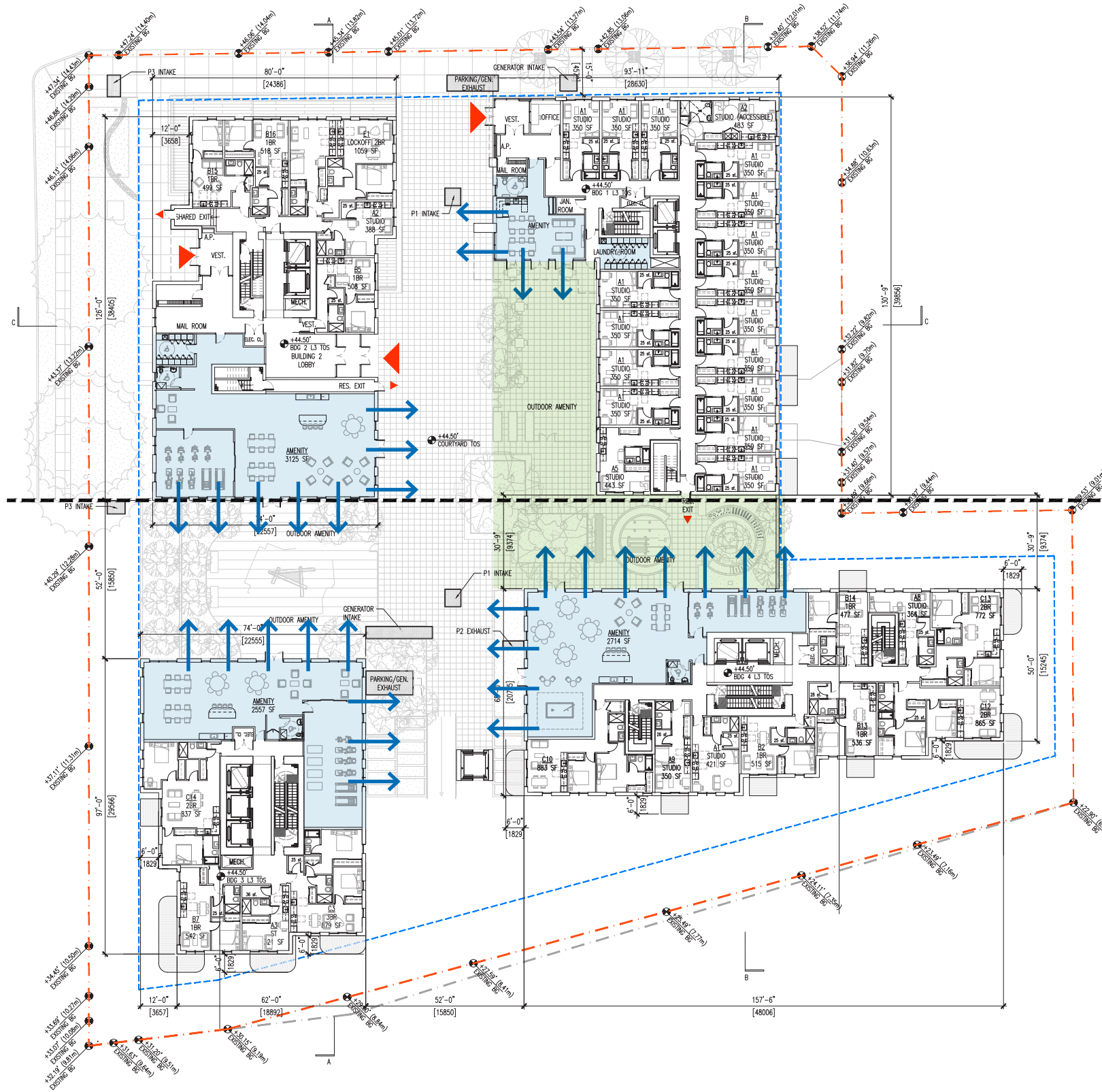


Private Decks

The design for private decks is simple: natural coloured pavers with small metal planters on the sides of each unit for privacy. The central area of the individual patios is kept clear for residents to be able to use them efficiently. Metal access gates between each patio have been included so that maintenance can access each unit for periodic cleaning. These will be locked at all times except for maintenance purposes. The larger roof decks consist of a bar and table arrangement with large planters along the edges to provide the units a natural element to look out onto.



Building and Residential Amenity



Courtyard Indoor Amenity Rationale

There is a large indoor amenity space immediately adjacent to the mid-block SRW and the associated outdoor amenity space located on L3 of the project.

The intention of the design is as follows:

1. To allow a strong indoor-outdoor connection between the indoor and outdoor residential amenity spaces. This allows for indoor programs to 'spill out' to the outdoor areas. These programs may vary between social-focused spaces to fitness rooms.
2. To help activate the courtyard while also increasing the overall sense of safety and security by providing additional 'eyes on the street'.

Podium Level Indoor Amenity

Much like the Courtyard Indoor Amenity spaces, the indoor amenity spaces located on the Building 2 and Building 4 podiums are located immediately adjacent to the outdoor amenity areas.

Overall, the amount of indoor amenity is as follows:

	Courtyard Indoor Amenity [sf]	Podium/Rooftop Indoor Amenity [sf]	Total Building Amenity [sf]
Building 1	1,033	502	1,535
Building 2	3,159	1,224	4,383
Building 3	2,544		2,544
Building 4	2,720	1,810	4,530
Total	9,456	3,536	12,992

Building 1 Balcony Rationale

	Total Units [#]	Units with opportunity of Balcony [#]	Units with Balcony [#]	% of Senior's units with Balconies [%]	Building 1 Total Balcony Area [%]
Building 1	123	114	63	55%	10%

55% of all the units on B1 have a balcony with the total balcony area (compared with total building area) is 10% - meaning that the balconies that are provided are substantial in size and usability. This building is the most financially sensitive building of the four with the design team being aware of the costs for balcony construction and long-term maintenance.

The focus was to provide ample common amenity areas for the building residents to enjoy. There is a large indoor and outdoor amenity space on L3 as well as a large private outdoor amenity space on the rooftop (L9). The private outdoor space on L3 is approximately 5,000 SF and was a requirement by the client group as a space large enough to hold a gathering of all the senior's residents. The L9 space (rooftop) is 1,500 SF, and when combined together, is nearly 5.0 SM/unit.

This is more than double the suggested minimum outdoor amenity space of 2.0 SM/unit.

Convertible Units Rationale

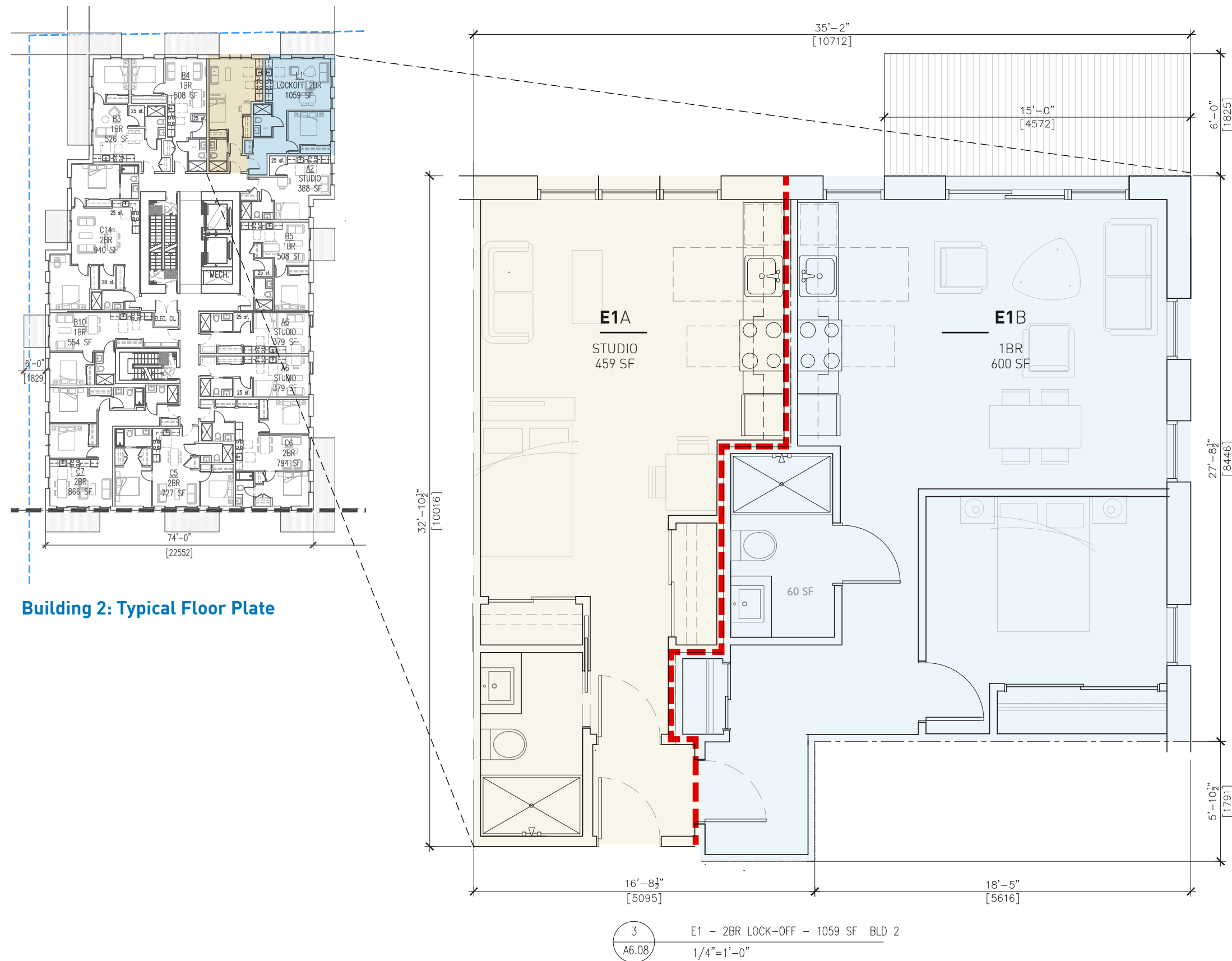
Convertible Unit Design

Building 2 has a unique unit type called E1, a 2-bedroom family unit designed to offer increased flexibility for housing providers. The aim is to create a “lock-off” unit that can be particularly beneficial based on the tenants’ needs.

Due to the large scale of the master plan, this project faces significant financial constraints. The inclusion of Unit E1 allows the operator to accommodate a broader range of housing needs. This strategy also opens up opportunities for accessing additional funding and grants that are available on a per-unit basis for these types of developments.

Unit E1 plays a crucial role in reducing risks. Its connection to the complexities of non-profit government funding, which operates on a “per-door” strategy, means that projects with more units—regardless of type—will receive greater financial support. The E1 unit provides twice the funding of a typical two-bedroom unit, significantly enhancing the overall viability of the project.

There are twenty (20) convertible units in Building B2, with five (5) allocated as below-HILs units and fifteen (15) as above-HILs units. If these twenty units were split, the total number of units for the project would increase from 847 to 867.



Phasing

Phasing Strategy Rationale

Southwynd Place Redevelopment is a major nonprofit-led initiative, aims to deliver **847 mixed-income housing units** in Vancouver, addressing the city's critical housing needs. Given the project's complexity and commitment to achieving diverse affordability levels, the initial phasing strategy has been carefully designed to integrate key considerations. The City of Vancouver's commitment and contributions to this development are vital to the success of this strategy, ensuring the timely delivery and overall success of this transformative housing masterplan.

Flexible Phasing Design

The phasing strategy for the Southwynd Place Redevelopment ensures seamless integration and functionality across all phases of development. The design prioritizes connectivity through phased parkade systems, mid-block pedestrian connections, and shared amenities delivered in step with occupancy timelines. Code compliance, adaptable infrastructure, and lender-specific design requirements ensure each phase meets immediate needs while maintaining flexibility for the future.

Independent Operations

Each phase and the majority of building systems are structured to function independently with separate utilities, maintenance plans, and governance. Shared resources, such as green spaces and amenities, are phased strategically to align with occupancy and cost efficiency. Systems are designed for scalability, ensuring seamless integration as the project evolves. This balanced focus on design and operations ensures each phase meets immediate functional needs while advancing the project's long-term vision cohesively and efficiently.

Financial Adaptability

By structuring each building phase as an independent air space parcel, we tailor financing and operational strategies to meet diverse funding requirements, ensuring the project's viability throughout its development lifecycle.

Strong Municipal Partnership and City Support to Unlock Financing:

The redevelopment depends on the City of Vancouver's proactive support and partnership to secure necessary financing and achieve our affordability goals. We seek the City's collaboration through:



Timely Rezoning

Achieving rezoning within the targeted 7.5-month timeline is vital for meeting lender requirements and unlocking crucial funding from partners like the Vancity Community Foundation, Vancity Credit Union, Federation of Canadian Municipalities (FCM), and the City of Vancouver through the CHIP program..



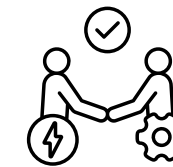
Housing Agreement Terms

Taking a strategic approach to housing agreements and Section 219 covenants is essential in order to accommodate the diverse needs of the project's funding sources. This will facilitate the potential for early title creation during phased construction but also ensures the project's ongoing viability throughout its development lifecycle.



Expedited Approvals

Providing dedicated oversight to expedite approvals is essential for maintaining funding timelines and commitments, preventing delays, and ensuring alignment with our construction schedule.



Dedicated Resources

Allocating dedicated city resources to oversee and expedite approval processes, aligning them with our construction timelines and ensuring the project progresses efficiently.

Phasing

Existing Building
The current seniors rental building at 8080 Yukon Street.



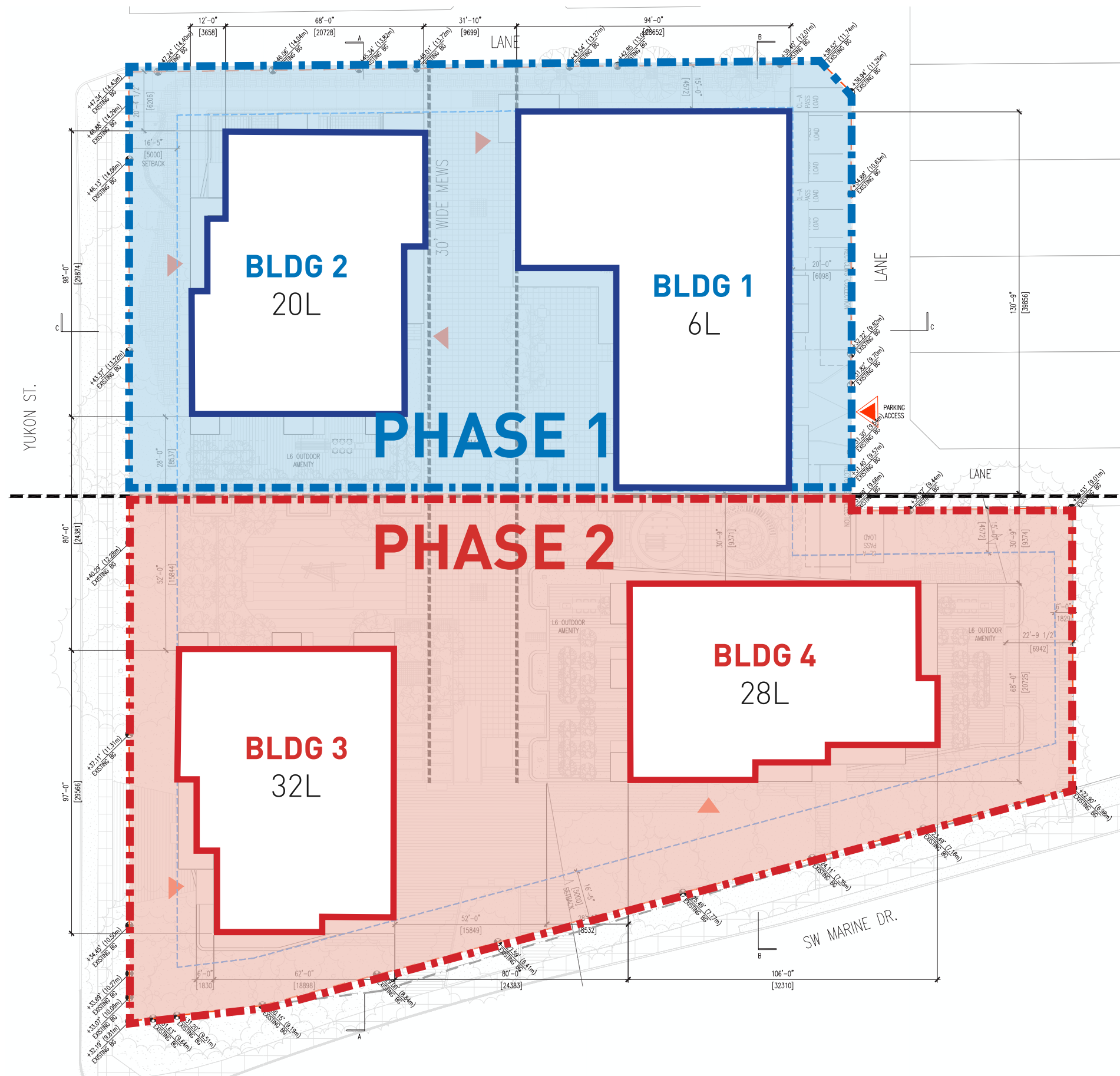
Demolition of Existing Buildings
Site to be completely demolished to make way for new social housing project.



Phase 1 Complete
Building 1 and 2 built on top of the corresponding underground parking structure.



Phase 2 Complete
Buildings 3 and 4 complete on top of the full underground parking structure.

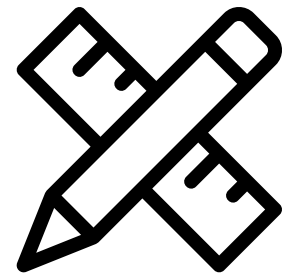
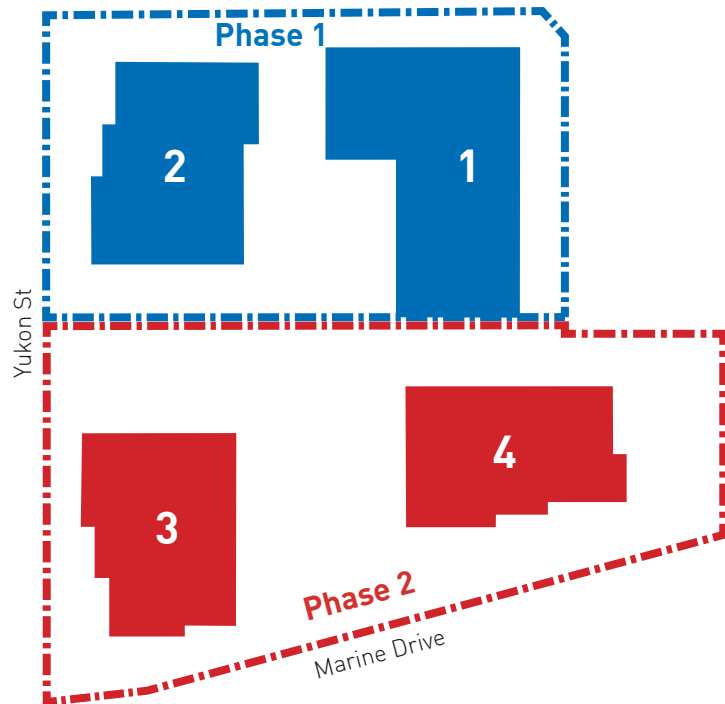


Phasing

Phasing Considerations

There are five (5) major considerations regarding the phasing strategy for this rezoning proposal.

1. Design
2. Permitting
3. Legal
4. Financing
5. Operations



Design

The project is divided into Phase 1 (Buildings 1 and 2) and Phase 2 (Buildings 3 and 4), with a potential gap between the completion of each phase.

Single Rezoning Application

A single rezoning application will be submitted for the entire site to facilitate an expedited review process. The City's commitment to a 7.5-month review timeline is greatly appreciated, as it builds on the substantial work done during the previous two rounds of pre-application comments. With this preparation, we anticipate a smoother approval process and improved progress moving forward.

Development Permit (DP) Applications

Separate DP applications will be submitted for each building to address their unique requirements. The project team is committed to complying with the specific documentation and approval requirements for each building. Timely approvals are vital for meeting critical financing deadlines, and we appreciate the City's support in facilitating this process.

Building Permits

Building permits will be applied for separately for each phase and building. The construction of Buildings 1 and 2 will occur simultaneously, followed by Buildings 3 and 4, with a planned gap between these phases.



Permitting

Depending on the type of permit application, this project will be submitted in whole or in parts.

Phased Parkade Use

The underground parking structure will be designed with knock-out panels, enabling future connectivity between the phases.

Mews and Amenities

A phased approach will deliver mid-block connections (30' wide pedestrian mews), landscaping, and community amenities in alignment with building occupancy timelines.

Code Compliance

Coordination across all buildings with flexibility for Phase 2 updates. Phase 1 will adhere to the current VBBL while Phase 2 will incorporate future VBBL changes and updates.

Services and Metering

The proposal includes one rain water retention tank per phase, however, the proposal is to have one BC Hydro connection as well as one domestic water and sanitary connection for the entire development, with each building to be submetered.

Preliminary Lenders Design Requirements

Coordination of design includes consideration of anticipated lender requirements including CMHC, BC Housing, and BC Builds. Final design and affordability will be determined with confirmation from lenders.



Legal

There are numerous preliminary legal considerations regarding phasing the rezoning proposal.

ASP Subdivisions

The site will be subdivided into parcels to enable independent ownership, financing, and legal management of each building, while maintaining integration with the overall masterplanned community. This subdivision approach ensures operational flexibility while adhering to the broader site vision.

Master Easement Agreement (MEA)

A Master Easement Agreement will be established to govern the management, operational coordination, and integration of the development. This agreement will ensure alignment across all phases of the project, promoting cohesive functionality and shared responsibilities.

Road Dedication (Phase 2)

A dedication along Marine Drive will be implemented as part of Phase 2, aligning with the phased delivery of infrastructure and connectivity elements. The planned timing of this dedication will ensure it integrates seamlessly with the infrastructure needs of the broader development.

Mid-Block Easement (MEWs)

A right-of-way (ROW) through the central portion of the site will begin in Phase 1 and be completed during Phase 2. Given the constraints in Phase 1, provisions will be made to fulfill the ROW requirements during subsequent stages, ensuring that connectivity and accessibility goals are achieved.

Housing Agreement

The housing agreement to ensure a mix of below-HILS and above-HILS affordability components, to be implemented separately for each phase:

Phase 1

Will meet affordability targets, with 30% of units in Building 1 and slightly over 30% of units in Building 2 designated as below HILS.

Phase 2

Will ensure a minimum of 30% of units in each building are below HILS, maintaining compliance with the project's overall affordability targets



Financing

The financing strategy is designed to ensure flexibility, adaptability, and alignment with various lending and funding sources, addressing potential complexities while maintaining project viability.

Financing Flexibility

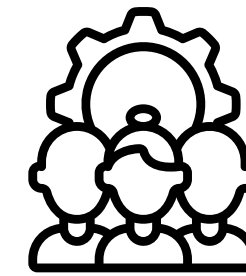
We are aiming to be proactive with the financing approach and structure, but the financing will be confirmed through a parallel process to the City's regulatory approval process with the lenders identified in this package who are currently at the table. The final requirements and affordability will be determined with this confirmation from lenders.

CHIP Program

To deliver this significant benefit to the community and City, we look forward to the City of Vancouver's confirmation of contribution through the CHIP program to deliver the affordability outlined for this project. Preliminary support and positive feedback has been secured to date from the CHIP team as this project is delivering on the program's goal to ensure long-term affordability, prioritize vulnerable populations, and support the development of high-quality, community-oriented housing solutions.

All-Site Funders and Lenders

Applications for all four buildings may include support from: Vancity Community Foundation, Vancity Credit Union, Federation of Canadian Municipalities (FCM), and the City of Vancouver through the CHIP program.



Operations

There will be separate operating agreements with different Operators with interconnected operations budgets.

Ownership Flexibility:

Supports varied ownership and financing models.

Operational Independence:

Ensures each phase operates independently during the gap, maintaining service and income.

Structuring Each Building as an Air Space Parcel (ASP)

Enables independent financing while maintaining integration across the project. This approach ensures flexibility in applying different funding sources for each phase and building.

Early Title Creation

Creating titles before construction begins could streamline the financing process, allowing various institutions to fund different buildings. The various methods for early title creation have distinct advantages and disadvantages. We suggest expediting the ASP subdivision before construction begins.

Design Adaptability for Financing

Lender requirements are integrated into building designs, ensuring regulatory and financial compliance while supporting long-term viability.

Lender Co-Lending Flexibility

The ASP structure allows for co-lending arrangements, enabling a mix of funding sources tailored to each building.

Optimized Financial Structures

These funders provide grants, loans, and other financial solutions to ensure the project's sustainability and flexibility across all phases.

Design Precedents | Built Form

Ground

The focus of the project will be at the ground plane as that is how most residents/visitors and the general public will interact with the project. The interface between the buildings and the public realm should utilize high quality materials which are warm and inviting.

Materiality

- warm
- timeless
- durable

Language

- repetitive but not banal
- large windows (operable)
- incorporation of curves
- large balconies for facade articulation as well as increased livability

Family

- buildings to be cousins not twins
- colour to help unify project
- focus on the courtyard



Courtyard Activation



Rounded Balconies



Natural materials at base - large operable windows



Oscillating Balcony Ribbons



Curvilinear balconies to articulate facade



Simple tower language with voids



Balcony Language

Design Precedents | Courtyards



Integrated seating and rich paving



Large planting element with integrated seating

Courtyards

The central amenity is defined by a public breezeway that has been kept clear of obstructions to facilitate movement. Our team has conceptualized this zone as a "Wellness Path", allowing seniors to connect with other residents and the public in general. An important concept of the landscape design is to bring seniors to the center of the amenity spaces.

The central amenity deck has a cruciform arrangement, with each of the four quadrants being divided into discreet programmatic elements:

- play area;
- breezeway;
- elderly amenity;
- wellness path.



Building Edge



Rich landscaping and public space between buildings



Letter of Enquiry Response

Letter of Enquiry Submission - August 18, 2023

Southwynd Social Housing Redevelopment

8080 Yukon Street
Pre-Rezoning Enquiry **RESUBMISSION** - City of Vancouver | August 18, 2023



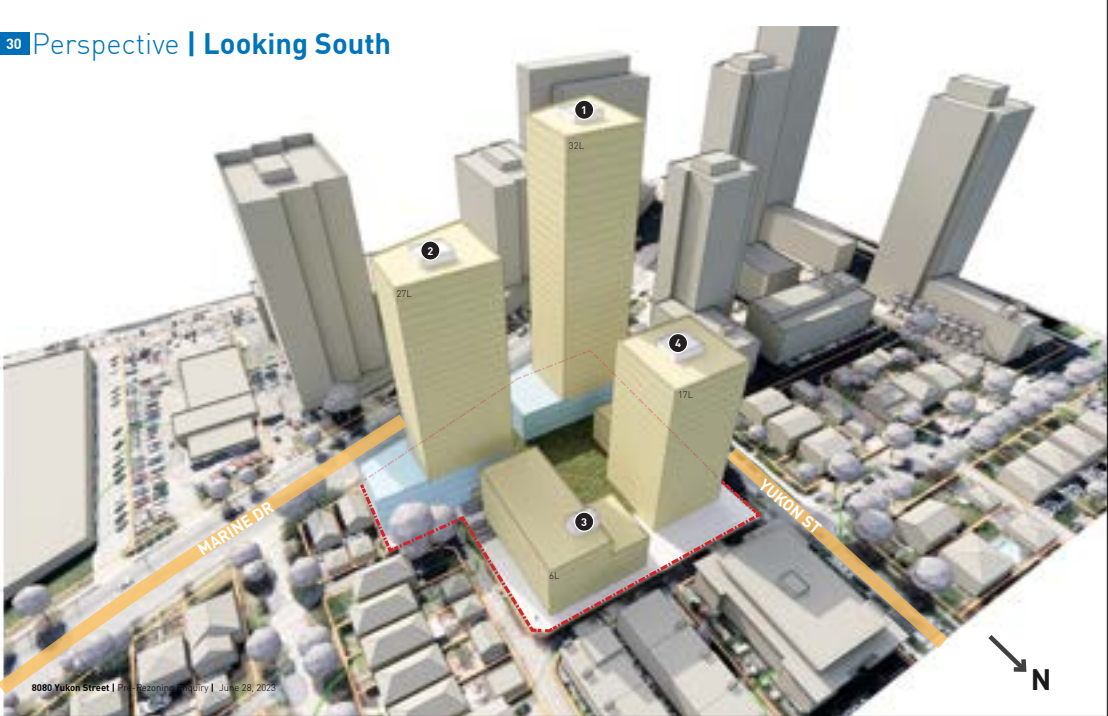
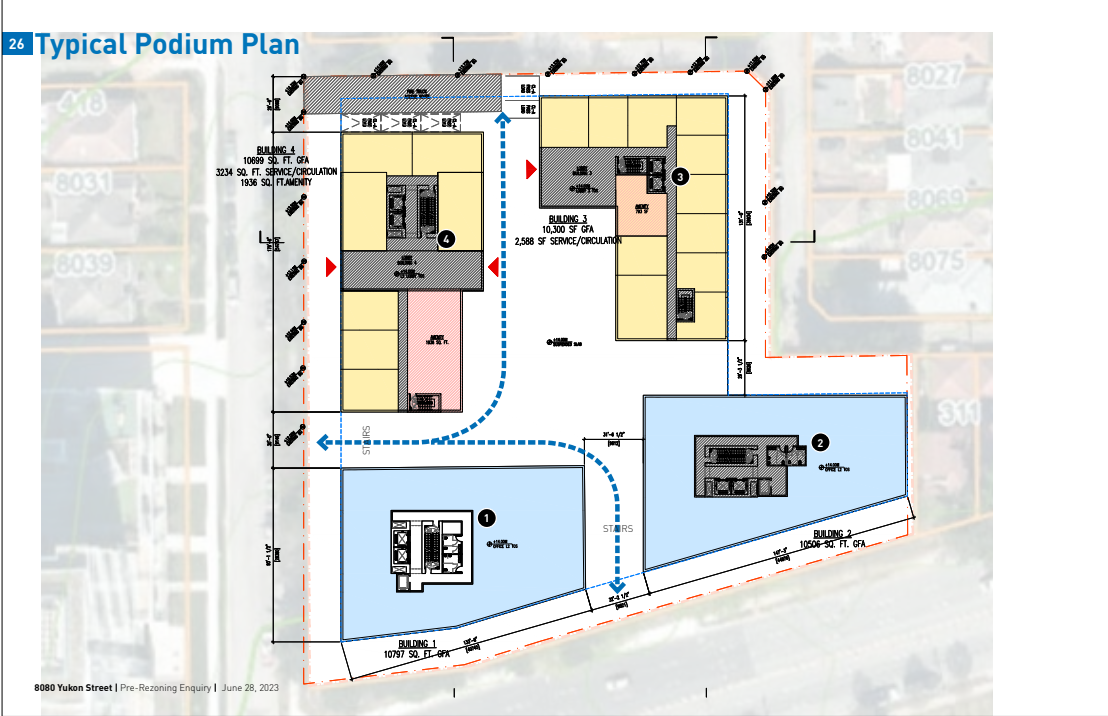
A draft Letter of Enquiry (LOE) was submitted to the City of Vancouver in late June 2023, with a preliminary response from City staff in July. Considering these comments, a formal LOE was submitted on August 18, 2023.

This submission outlined a four-building mixed-use project above a common underground parking structure.

The projects were arranged around a common suspended-slab courtyard, accessed from the north, west and southern streets and lanes.

The northeast building was to be a six-storey wood-framed project, while the northeast building was to be a seventeen (17) storey concrete podium tower. The two buildings facing Marine Drive were designed to be the tallest on the project and were conceived as mixed-use commercial/residential buildings. The basic design tenets from this LOE exist in the rezoning proposal today with a few notable changes:

1. The project has shifted from mixed-use to 100% residential.
2. The northwest building has increased in height from seventeen (17) to nineteen storeys (19).
3. The western access from Yukon Street to the raised courtyard has been eliminated.
4. The massing of each building has slightly changed to maximize the overall below-HILs units - while meeting the building separation requirements and the tower floorplate size requirements.



Letter of Enquiry Response - December 15, 2023



PLANNING, URBAN DESIGN AND SUSTAINABILITY
Rezoning Centre

December 15, 2023

Sabrina Polga
Director of Development
Purpose Driven Development
#502 - 134 Abbott Street
Vancouver, BC, V6B 2K4

Dear Sabrina:

RE: Rezoning Enquiry – 8080 Yukon Street

Thank you for your letter of enquiry requesting rezoning advice for the site at 8080 Yukon Street, which staff received on August 21st, 2023. Staff have reviewed your proposal and consider this a valuable project for the local area and want to work with you to deliver social housing. The *Marpole Community Plan* supports consideration of social housing at the subject site. Staff can offer the following commentary and advice.

Proposal

The enquiry proposes to rezone 8080 Yukon Street from CD-1 (88) to a new CD-1 to permit the development of four new buildings with a total of 725 social housing units and 7,305.6 sq. m (78,637 sq. ft.) of commercial use. It proposes a total floor area of approximately 51,514.4 sq. m (554,496 sq. ft.) and a floor space ratio of 6.69. A building height of 32 storeys is proposed for Building One, 27 storeys for Building Two, 6 storeys for Building Three, and 17 storeys for Building Four. The development site is 7,720.3 sq. m (83,100 sq. ft.) in size and is comprised of one lot located at the north-west corner of the intersection of Yukon Street and SW Marine Drive.

The proposed unit mix consists of approximately 20% family units in the following breakdown: 101 studios, 476 one-bedroom, 120 two-bedroom and 28 three-bedroom units for a total of 725 social housing units.

Commercial use is located in P1 to level four in Buildings One and Two. Building One includes 3,775.7 sq. m. (40,640 sq. ft.) or 0.49 FSR of commercial use and Building Two includes 3,530 sq. m (37,997 sq. ft.) or 0.46 FSR of commercial use.

The proposal includes 260 vehicle parking spaces, 5 Class B and 2 Class C loading spaces, and 1,264 Class A bicycle spaces are proposed within underground parking, accessed from the lane off of Columbia Street between Buildings Two and Three.

The site is currently developed with a three-storey building that includes 90 units of social housing for low-income seniors. The site is owned by Kiwanis-Soroptimist Society who is proposing to redevelop the site for social housing and commercial uses. The enquiry package notes the

City of Vancouver
Planning, Urban Design and Sustainability, Rezoning Centre
510 West Broadway
Vancouver, British Columbia V5Z 1E9



The proponent team received the formal LOE response on December 15, 2023. In this document, many items were brought up as items for future discussion and incorporation into the future Rezoning Proposal. The most critical items that were brought in the LOE are below. Responses to all the LOE issues are found in the following pages of this section.

SRW

A 30' wide mews secure through a SRW across the site is required to facilitate a mid-block connection.

A 30' wide accessible mews is proposed from the north lane to Marine Drive. Refer to following Section 3.

Engineering

A dedication is required at the intersection of Marine Drive and Yukon. A 6.5 and 6.8 M parkade setback is required to provide a bioswale.

The dedication and setbacks are provided. Refer to following Section 4.

Amenities

Provide a minimum of 1.4 SM/unit and 2.0 SM/unit of indoor and outdoor space accordingly.

This proposal effectively addresses all necessary areas, for more information refer Refer to the following Section 6.

Housing

35% minimum family units (2BR and 3BR) are expected for the project moving forward.

35% family units for each major tenure type are provided in Buildings 2, 3 and 4. Refer to following Section 7.

Tree Retention

Numerous trees are to be retained on or near the site.

As many trees as possible are proposed to be retained. Refer to following Sections 12 and 13.

Community Benefits

Best efforts to achieve hiring and procurement targets in the City's Community Benefits Agreement (CBA) policy are to be met.

The CBA targets will be reviewed. Refer to following Section 14.

LOE Response

Form of Development

	City Comment	Proponent Response															
1.1	The Marpole Community Plan does not have a specific height and density limit at the subject site; however, the overall density of 6.69 FSR and the proposed building heights may be supported subject to providing public benefits such as 100% social as well as achieving urban design goals for the site including public pedestrian mews secured through a Statutory Right of Way (SRW) agreement, and tree retention.	<p>Note - The building names have been changed to align with the proposed phasing of the buildings.</p> <table border="1"> <thead> <tr> <th>Building</th> <th>LOE Submission Name</th> <th>RZ Submission Name</th> </tr> </thead> <tbody> <tr> <td>NE corner - 6 storey</td> <td>Building 3</td> <td>Building 1</td> </tr> <tr> <td>NW corner - concrete tower</td> <td>Building 4</td> <td>Building 2</td> </tr> <tr> <td>SW corner - concrete tower</td> <td>Building 1</td> <td>Building 3</td> </tr> <tr> <td>SE corner - concrete tower</td> <td>Building 2</td> <td>Building 4</td> </tr> </tbody> </table>	Building	LOE Submission Name	RZ Submission Name	NE corner - 6 storey	Building 3	Building 1	NW corner - concrete tower	Building 4	Building 2	SW corner - concrete tower	Building 1	Building 3	SE corner - concrete tower	Building 2	Building 4
Building	LOE Submission Name	RZ Submission Name															
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NW corner - concrete tower	Building 4	Building 2															
SW corner - concrete tower	Building 1	Building 3															
SE corner - concrete tower	Building 2	Building 4															
1.2	Due to the significant height of towers in the context, tower top articulation and a sculpted roof are required according to the Policy Updates requirements for higher towers.	<p>The focus of this project is to promote both economic and social sustainability. Key factors that will influence the project's overall feasibility include building efficiency and associated costs. This development will exclusively provide social housing, meaning no financial incentives are linked to having reduced floors at the top of the building. Incorporating sculpted upper floors will enhance the building's aesthetic appeal but may also lead to higher construction costs per unit. This design choice includes considerations for an additional elevator stop and exit stairs. Furthermore, it will impact the overall VFAR percentage.</p> <p>It is important to note that Building 3, the tallest tower in the project, will be a prominent structure in the neighbourhood. In accordance with updates to policies regarding high-rise buildings, we have made thoughtful adjustments by reducing the height of the top two floors. Meanwhile, Buildings 2 and 4, the lower towers, were designed without a sculpted or articulated top to enhance efficiency. Many other buildings in the area have a similar height and scale without a sculpted top, allowing for a more harmonious integration within the community.</p>															

Public Realm

	City Comment	Proponent Response
	Enhance the proposed mid-block connection (pedestrian mews) by the following:	
2.1	Ensure the mews is at least 30 ft. wide and connects SW Marine Drive to the north lane.	A 30' mews is located through the courtyard connecting SW Marine Drive to the north lane (Lane 1). Refer to A3.03 and landscape plans L0.3 and L1.2.
2.2	Explore providing shoulder setbacks for the podiums adjacent to the mews' entries along SW Marine Drive and Yukon Street. Note: A minimum of 8 ft. of shoulder setback is recommended.	The extent of the podiums, compared to the mixed-use commercial LOE submission, has been greatly reduced. Only Building 2 and 4 have podiums and they are minimized in scale.
2.3	Ensure the mews is accessible for all users including a wheelchair access path.	The mews is fully accessible - the two storey grade change along the site (from north to south) is accommodated with a public elevator on the south side of the elevated courtyard connecting Marine Drive to the south and the mews to the north.
2.4	Animate the mews through varied architectural expressions of each use adjacent to the mews.	The mews will be animated by different building lobbies, indoor amenity space, outdoor amenity space, and a children's play area - along with casual seating and residential patios along the mews. Refer to A3.03 and landscape plans L0.3 and L1.2.
2.5	Consider relocating the amenity of Building Three to the south of the building to be closer to the open space node in the proposed mews. Note: This will provide a use transition along the mews from non-dwelling use to amenity to residential units.	The building amenities for Building 1, 2, 3, and 4 are facing the courtyard (L3) and the proposed mews. There are additional uses and landscape features in this area - Refer to A3.03 and landscape plans L0.3 and L1.2.

	Enhance the public realm interface along Yukon Street through the following:	
2.6	Relocate the proposed surface loading near the south lane, adjacent to the parkade entry.	The loading is relocated to Lane 2 and Lane 3 on the east side of the site.
2.7	Ensure the parkade wall exposure along Yukon Street is not more than 2 ft. and screened by (terraced) landscaping. Note: Provide sections/elevations illustrating grading along Yukon Street.	Yukon wall exposure is reduced - refer to A4.02 for street elevation along Yukon St.

Use:

	City Comment	Proponent Response
	Enhance the proposed non-dwelling spaces on the ground floor as follows:	
3.1	Provide a minimum of 18 ft. floor-to-floor height for non-dwelling uses on the ground floor facing SW Marine Drive.	N/A - 100% residential scheme
3.2	Ensure the width of stores on the ground floor is approximately 50 ft. to support small businesses.	N/A - 100% residential scheme
3.3	Explore the possibility of enhancing the accessibility of the proposed mezzanines throughout layout design.	N/A - 100% residential scheme

Setbacks:

	City Comment	Proponent Response
	Provide the following minimum setbacks:	
4.1	8-20 ft. setback along SW Marine Drive and 12-20 ft. along Yukon Street. Note: The setback requirements along Marine Drive and Yukon Street are subject to tree retention and offsite works requirements. Refer to Engineering recommendations for sidewalk widening requirements and landscape recommendations regarding tree retention. If the trees along Marine Drive can be retained, then explore bringing the retail frontage closer to the street through a sawtooth retail frontage (courtyard resting areas to retain trees). If trees are removed due to offsite works, then reduce the setback along Marine Drive to 8 ft. to make room for tree retention along Yukon Street and the lanes.	This setback is incorporated in the Rezoning submission. Refer to A1.02 Site Plan.
4.2	6 ft. side yard setback for the podium of Building Two.	This setback is incorporated in the Rezoning submission. Refer to A1.02 Site Plan.
4.3	20 ft. setback from north-south lane for Building Three.	This setback is incorporated in the Rezoning submission. Refer to A1.02 Site Plan.
4.4	15 ft. setback from east-west lane for Building Three. Note: All the required setbacks are from ultimate property lines.	This setback is incorporated in the Rezoning submission. Refer to A1.02 Site Plan.
4.5	Align extents of the underground parkade walls with buildings above them to provide space for tree retention, tree planting, and water infiltration.	This setback is incorporated in the Rezoning submission. Refer to A1.02 Site Plan.

LOE Response

Built Form:

	City Comment	Proponent Response
	Towers:	
5.1	Provide a slim tower expression for all three towers. Note: Staff acknowledges that the tower floor plates adjacent to SW Marine Drive follow the geometry of the site. Explore reducing the length of Building Two for a more compact tower form.	The towers have been reduced in floor plate size to provide a slim expression. Tower 2 is the largest (but shortest) tower with a 6,800 sf plate, tower 3 (tallest) has a 6,350 sf plate, and tower 4 has a 6,300 sf plate. Building 4 (LOE Building 2) has been reduced in length compared to the LOE submission.
5.2	Provide tower top articulation and a sculpted roof for towers aligned with Policy Update requirements.	Refer to 1.2. In general, the direction of the tower design was to have a create a "slim" tower profile (referring to direction 5.1) and reduce tower top articulation instead of a larger profile with higher tower articulation to reduce construction costs, complexity and increase efficiency.
	Podiums:	
5.3	Ensure the residential and non-residential podiums have varied architectural expressions.	N/A - there are no longer non-residential podiums.
5.4	Adjust podium forms to mitigate wind tunnel impacts on the site. Note: This can be achieved through minor massing revisions and planting to change/block wind direction on the site.	Wind tunnel impacts have been mitigated through a strategy of both preserving existing trees where possible, planting new trees, landscaped berms and raised metal planters in order to provide sheltered areas for seating, eating and other activities.

Amenities:

	City Comment	Proponent Response
	Residential private outdoor space:	
6.1	Provide balconies (6 ft. deep by 8 ft. long) for all the units. Note: Ensure proposed curved balconies provide functional private outdoor spaces for the units.	Curved balconies have been removed from the design concept. Not including Building 1, balconies have been provided for all units. These balconies all meet the 6'x8' minimum size. The seniors building (Building 1) is made up of 1br and studio units - there are units in this building which do not have balconies. However, there are two outdoor amenity spaces (courtyard level and on the rooftop) to offset the reduction in the private balcony outdoor area.
	Residential indoor/outdoor amenities:	
6.2	Provide generous indoor/outdoor amenity spaces commensurate in size with the number of proposed units.	There is a total of 12,992 SF of indoor amenity, or 15.4 SF/unit (1.43 SM/unit) of indoor amenity space. The outdoor amenity space: L3 Courtyard (including the 30' wide SRW): 15,880 SF (1,475 SM) L7 Rooftop (B4): 3,500 SF (325 SM) L9 Rooftop (B1): 1,500 SF (139 SM) L9 Rooftop (B3): 1,500 SF (139 SM) There is a total of 22,380 SF (2,079 SM) of outdoor amenity space, or 25.6 SF/unit (2.38 SM/unit).

6.3	Note: The recommended targets for indoor amenity is a minimum of 1.4 sq. m per unit and outdoor is a minimum of 2 sq. m per unit. Based on the shadow performance of the proposal, providing multiple amenities at different levels is highly recommended. Amenities can be located on the ground floor, podiums, and tower rooftops. Ensure each building meets the recommended required amenities without relying on other buildings on site for amenities.	Refer to 6.2 - the amount of indoor and outdoor amenity exceed the listed area figures. The indoor amenity space face the communal courtyard and public mews on L3 as well as upper podium rooftop amenities on each building.
Non-dwelling amenities:		
6.4	Due to the large space proposed for non-dwelling use, provide amenities for non-dwelling uses in the courtyard or on the podiums. Note: Ensure non-dwelling amenities are well separated from residential units and their amenities and do not cause privacy issues.	N/A - there is no longer non-dwelling use proposed for this project.

Dwelling Units:

	City Comment	Proponent Response
7.1	Provide a varied unit mix including a minimum of 35% family units (2 and more bedrooms).	Buildings 2, 3, and 4 are designed to incorporate at least 35% family units across both major housing categories: Above HIL Rate housing and Below HIL Rate housing. This emphasis on family-friendly units reflects a commitment to diverse housing options. Building 1 will be dedicated to senior housing, reflecting the core values of our client groups, Soroptimist and Kiwanis. The new senior housing in Building 1 will focus exclusively on supporting seniors; with that in mind, no family units will be provided. This targeted approach ensures a solution that effectively meets the community's specific needs.
7.2	Ensure studios are not less than 320 sq. ft with high livable spaces including a minimum of 12 feet width (measured interior to interior) and large windows.	All studios are larger than 320 SF and have a minimum of 12' width (paint to paint) with large windows.
7.3	Ensure living rooms of family units are at least 10 ft. wide, interior to interior.	All family units contain 10' wide living rooms.

Drawings

	City Comment	Proponent Response
8.1	Provide 3D views of the proposal in the existing context, and future context based on Policy Updates and the Marpole Community Plan.	Refer to the Rezoning drawing package.
8.2	Provide urban design analysis illustrating wind tunnel effects are mitigated through built form and landscape design.	Trees are proposed at both ends of the east-west corridor on the podium level to reduce wind effects. Along the north-south corridor, two existing trees on SW Marine Drive are being kept, and several smaller trees are planned along that axis to help slow down the wind at the podium level.
8.3	Provide more information such as use and layout design for the proposed non-dwelling uses in the podiums facing Marine Drive.	N/A - project proposal is now 100% residential.

LOE Response

Economic Development

	City Comment	Proponent Response
9.1	While the Marpole Community Plan does not identify this site for commercial use, the inclusion of commercial use, and the subject site's proximity to the Canada Line Station, supports recent findings of the Employment Lands and Economy Review for developing mixed-uses nearby transit hubs.	N/A - project proposal is now 100% residential.
9.2	The additional commercial uses also helps achieve Principle Three of the Marpole Community Plan which says, "Ensure job space is well integrated with the transportation network by providing greater proportions of office and other higher ridership uses in proximity to transit stations".	N/A - project proposal is now 100% residential.

Housing

	City Comment	Proponent Response
10.1	The Ashley Mar Issues Report resulted in community plan amendments and introduction of the Marine Landing Policy Updates, which permit consideration of additional height and density beyond the 12 storeys originally identified for this site in the Marpole Community Plan. This helps further Council's goals for delivery of affordable (social) housing.	No comment
10.2	The social housing tenure must be secured for a term of 60 years or life of the building, whichever is greater, through legal agreements (e.g. Housing Agreement pursuant to section 565.2 of the Vancouver Charter, including no stratification and no separate sales covenants).	Understood.
10.3	The project must meet the definition of social housing as per the Zoning and Development By-Law, including that at least 30% of the dwelling units are occupied by households with incomes below the housing income limits, as set out in the "Housing Income Limits" table published by BC Housing, and that the housing is owned by a non-profit organization or by a government entity.	This projects the requirements of social housing as per the Zoning and Development By-Law.
10.4	The objective of the Marpole Community Plan is a target of 50% family units. The project currently proposes 20% family units. The applicant is expected to increase the number of family units (two and three bedroom units), to meet the minimum 35% family units under the Family Room: Housing Mix Policy for Rezoning Projects.	Building 1 is specifically designed to accommodate Seniors. Excluding this building, the project successfully meets the 35% target for family units across all tenure types. Overall, the project achieves a total of 30% family units. For more details, please refer to section 7.1.
	The project must incorporate the High-Density Housing for Families with Children Guidelines (https://guidelines.vancouver.ca/guidelines-high-density-housing-for-families-with-children.pdf), including but not limited to:	
10.5	A minimum of 2.3 sq. m (24.7 sq. ft.) of bulk storage for all units, with preference for in suite storage for all family units.	The focus of the preliminary unit design was to provide the 2.3 SM bulk-storage within the suite. Approximately 90% of the units fall under this category. The remaining units have 2.3 SM bulk-storage located in the underground parkade.
10.6	A private open space for each unit which is a minimum of 1.8 m (5.9 ft.) deep by 2.7 m (8.9 ft.) wide; Note to Applicant: Include balcony dimensions on the drawings to confirm meeting the dimension requirements.	Refer to 6.1. All balconies are dimensioned in the rezoning floor plan drawings.
10.7	Outdoor amenity areas in each building, suitable in size to the scale of the project, to include areas suitable for a range of children's play activities and urban agriculture, and situated to maximize sunlight access.	The outdoor amenities located on the podium levels will have ample sunlight access. Refer to architectural drawings A3.05, A3.07 and landscape drawings L1.3 and L1.4.

10.8	Indoor amenity areas for each building suitable in size to the scale of the project, including a kitchenette and accessible washroom, with direct access to the outdoor amenity area including adjacencies in each building to outdoor children's play area to allow for parental supervision.	Each building will feature appropriately sized indoor amenities, including a kitchenette and an accessible washroom, designed for functionality and inclusivity. These spaces will have direct access to outdoor amenity areas, thoughtfully positioned near children's play areas to enable parental supervision, fostering community interaction and addressing diverse resident needs. Refer to 6.2 for indoor and outdoor amenity area sizes.
10.9	Where tenants will be displaced because of redevelopment, a tenant relocation plan as outlined in the City's Tenant Relocation and Protection Policy (2019) will be required. There are specific requirements in this policy for redevelopment of non-profit social housing that apply to this site. Please reach out to Housing Staff a minimum of 6 weeks in advance of Rezoning Application submission to initiate the submission requirements and tenant notification process.	The development team acknowledges the requirements of the City of Vancouver's Tenant Relocation and Protection Policy (2019) and is actively engaging with the Housing Department for compliance. Ongoing meetings with Housing Staff aim to develop a tenant relocation plan tailored for the site's non-profit social housing context. The proponent is also clarifying submission requirements and the tenant notification process to manage displacement thoughtfully according to the City's guidelines. The tenants are planned to be relocated within the 30% affordable housing component of Phase 1, either entirely in Building 1 or distributed between Building 1 and Building 2. The specific building assignment for each tenant will be finalized upon confirmation of the capital financing program, ensuring flexibility in accommodation based on the secured funding and project development.

Engineering

	City Comment	Proponent Response
11.1	City building grades will be required at the time of submission of a formal rezoning application. However, due to wait times, it is advisable that the applicant apply for them as soon as possible.	City building grades have been received, utilized and included in the rezoning package.
11.2	A dedication is required along SW Marine Drive for improved public realm purposes. The new property line will be at a line drawn from the intersection of the property lines at the southeast corner of the site to a point that is 14.0m along the property line along SW Marine Drive from the intersection of the property lines at the southwest corner of the site. Refer to the diagram below. Note: The intent of this dedication is to provide a minimum of approximately 5.0 m from the back of the existing curb to the new property line along SW Marine Drive. This is required to provide space for a front boulevard with new street trees and a sidewalk that is set back from the curb and which meets the City's current preferred widths. For your reference, the image below is a draft concept drawing for future sidewalks and front boulevard for street trees and green infrastructure implementation.	This dedication has been accounted for in the Rezoning Submission - refer to the architectural site plan A1.02.

Landscape

	City Comment	Proponent Response
12.1	Applicant to confirm if the trees along SW Marine Drive shown as retained (in the submitted arborist report's "Tree Management Plan"), as well as trees #1861, #1872 to #1880 (which are currently shown as removed in the "Tree Management Plan") can be retained or not considering proposed off-site works. These trees are expected to be retained, unless conflict with off-site works is unavoidable.	Trees #1861, #1872 and #1880 are to be retained at this time. The consultant team has worked together to save as many of the existing trees as possible by moving the building and parkade back wherever possible to accommodate the extensive root zones. In addition, many of the trees along Marine will be kept, subject to approval from Engineering. This entails building raised (cantilevered) balconies and raised, floating decks to various entries along the Marine Drive frontage. This process will allow for the preservation of large extents of existing tree stand. There are also 77 new trees proposed for the site, many of which are in extra large tree planters to ensure the trees will reach their maximum height and maturity over time.

LOE Response

12.2	Provide a revised Tree Management Plan and have the project arborist review the following: - Proposed sidewalk alignment, and other Engineering requirements, and assess the conflict with these trees; - If it is possible to jog the sidewalk alignment around this cluster of trees for retention; - Which of the adjacent trees dependent on one another for wind protection? How will surrounding removals affect the stability of these trees and their ability to be retained?	This strategy has been achieved throughout the project, in particular along SW Marine Drive, as described above. Please refer to L0.3 - Tree management plan at the Landscape rezoning set.
12.3	Trees #1911 and #1925 are also expected to be retained.	#1911 will be retained (along Yukon in front of Building 2) #1925 will be removed - NE corner of the site - this is a huge impact on our social housing project. Removed housing units - could not shift the building as need to maintain separation from adjacent buildings. Decision was made - high priority seniors housing over trees.
12.4	Removal of these high-priority trees can only be considered if a valid rationale can be provided, which includes an overview of what steps were taken to explore their retention, and why these steps could not enable retention.	Trees interfering with accesses, and that were too close to proposed buildings were set to removal.
12.5	Trees #1901 to #1904 and #1935 to #1945 (except #1937, "dead") are expected to be retained, however, priority for tree retention should be given to the trees noted above.	Trees #1901 and #1904 were removed due to conflict with underground parkade, but #1935 and # 1945 were retained.
12.6	Maximize opportunities for planting new trees on-grade (off parkade slab) along Yukon Street and along the North-South lane.	Two new at grade trees were proposed at the Yukon st frontage, alongside with 3 new at grade trees at the east-west laneway. Refer to L0.3 for tree positioning

<p>12.7</p>	<p>Provide a written rationale and design development to respond to the Rezoning Policy for Sustainable Large Developments (RPSLD) and identify how the Tree Management Plan supports the Urban Forest Strategy.</p>	<p>Alignment with Vancouver’s Urban Forest Strategy:</p> <ol style="list-style-type: none"> 1. Preserving Existing Canopy Cover: The Urban Forest Strategy emphasizes preserving mature trees to maintain and enhance the city’s tree canopy. This project directly supports this goal by retaining large tree groves on the site’s perimeter and adjusting building and parkade designs to protect critical root zones. 2. Increasing Urban Forest Resilience: Preserving established trees, particularly in a dense urban environment, contributes to a more resilient urban forest. Mature trees provide immediate ecological benefits, such as improved air quality, urban cooling, and stormwater management, which align with the city’s vision for a sustainable and climate-adapted urban forest. 3. Improving Tree Protection During Development: The strategy highlights the need to improve tree retention in development projects. This project is committed to this principle by incorporating protective measures, such as raised boardwalks and strategic building massing, to safeguard tree groves and their root systems. 4. Enhancing Public Realm and Biodiversity: By integrating native understory plantings with preserved tree groves, the project creates a biodiverse and visually appealing public realm. This supports the Urban Forest Strategy’s goal of fostering a healthy urban ecosystem that connects people with nature. 5. Addressing Canopy Loss Through Redevelopment: This project serves as a model for addressing canopy loss—a core concern of the strategy—by prioritizing tree retention as a design element rather than treating it as an afterthought. <p>How This Benefits the Urban Forest Strategy Goals:</p> <p>Our approach contributes to:</p> <ol style="list-style-type: none"> 1. Meeting the City’s Canopy Cover Targets: Retaining mature trees helps offset canopy loss from redevelopment elsewhere. 2. Promoting Sustainable Development Practices: The thoughtful integration of trees and design elements sets an example for balancing urban growth with environmental stewardship. 3. Educating the Public: Visible preservation efforts, like using raised boardwalks and native plantings, enhance public awareness and appreciation of the urban forest. <p>This project exemplifies the principles of the City of Vancouver’s Urban Forest Strategy by prioritizing tree retention and designing with the urban forest in mind. It reinforces the project and the city’s commitment to creating a greener, more sustainable urban environment.</p>
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LOE Response

Park Board

	City Comment	Proponent Response
13.1	A number of off-site trees have been identified in the landscape plans for the subject site. Please note that removal of any City trees is at the discretion of the Park Board review. Please contact pbdevelopment.trees@vancouver.ca regarding removal processes and compensation for the appraised value of the trees.	Understood.
13.2	Staff at the Park Board have identified the following trees as having potential for removal, subject to more in depth review. <ul style="list-style-type: none"> o Trees #1910, 1909, 1908, 1907; and o Tree #1906 	Noted. These trees are all off-site trees.
13.3	Consider retention of Tree #1905 in conjunction with some of the adjacent trees. To note, vines would need to be removed manually from the trunk and area around this tree.	Tree #1905 will be retained and vines will be removed under the consultant arborists' direction.
13.4	Provide confirmation the project arborist has reviewed the proposed sidewalk alignment and conflict with Trees #1872, 1879, 1869, and 1867. Confirm if it is possible to jog the sidewalk alignment around this cluster of trees for retention. Identify which of the adjacent trees these four pines depend on for wind protection and how surrounding removal will affect the stability of these trees and their ability to be retained.	From the referred trees, only tree #1867 is being removed due to conflict with building/podium access.
13.5	Ensure the parkade is setback a distance that will allow future access for building membrane repairs without excavating into City property. This is to prevent future loss of boulevard trees when repairing the building membrane.	The parkade is setback from the PL more than what was asked for by the City of Vancouver engineering staff (more than 6.5M setback from the back of curb on Yukon and more than 6.8M setback from the back of curb off SW Marine Dr)
13.6	In coordination with Engineering requirements, design development to maximize the front boulevard width for future tree growth and use structural soil under the sidewalks. Ensure proposed utilities are located outside the front boulevard tree planting space and in the road or towards the back boulevard.	This note has been added to the landscape drawings. Please refer to general Layout + Materials notes, item 7.
13.7	Contact the PB at pbdevelopment.trees@vancouver.ca regarding tree species to be planted in the boulevard.	Understood.

Community Benefits Agreements

	City Comment	Proponent Response
14.1	Sites with development floor area at or exceeding 45,000 sq. m (484,375 sq. ft.) are required to demonstrate Best Efforts to achieve hiring and procurement targets in the City's Community Benefits Agreements (CBA) Policy. The agreement ensures employment and procurement opportunities are going to local and diverse communities and businesses.	<p>The project is committed to supporting local and diverse communities by incorporating inclusive employment practices, social procurement, and local sourcing. To achieve these objectives, the project will:</p> <ol style="list-style-type: none"> 1. Collaborate with community stakeholders and third-party monitors to develop programs such as First Source Hiring. 2. Engage certified social impact and local businesses early in the procurement process to maximize opportunities. 3. Establish transparent monitoring and reporting systems to track progress and ensure compliance with the City's CBA Policy. <p>Detailed strategies and implementation plans to address these requirements will be developed and presented at later stages of the project, as part of the commitment to delivering meaningful community benefits.</p>
14.2	Local, inclusive employment: Make 10% of all jobs on the development to come from equity-seeking groups and local residents, prioritizing new entry-level hires. Applicant must provide best efforts to achieve this target by sourcing new and entry-level hires through a First Source Hiring Program, in consultation with community stakeholders and a third party monitor.	Refer to 14.1
14.3	Social procurement: Source a minimum of 10% of material goods and services from third party certified social impact or diverse or equity-seeking owned businesses, with a priority on Vancouver businesses.	Refer to 14.1
14.4	Local procurement: Attain 10% of materials, goods, and services from Vancouver companies or companies located in Metro Vancouver or British Columbia. These may or may not also be equity-seeking third party certified businesses	Refer to 14.1

Public Art

	City Comment	Proponent Response
15.1	The Public Art Policy for Rezoned Developments applies to rezonings proposing a floor area of 9,290 sq. m (100,000 sq. ft.) or greater to contribute to public art (Option A: 90% art budget and 10% Option A fee) or provide 80% cash in lieu (Option B) as a condition of rezoning.	N/A As the project meets the definition of Social Housing, it will be exempt from Public Art requirements.
15.2	FSR floor areas dedicated to Social Housing (as defined in the Development Cost Levy By-law) are exempt from the budget calculation.	N/A As the project meets the definition of Social Housing, it will be exempt from Public Art requirements.
15.3	Please contact public art staff at publicart@vancouver.ca to discuss opportunities for public art and potential partnerships prior to retaining a public art consultant and to determine if any non- Social Housing uses trigger the policy.	N/A As the project meets the definition of Social Housing, it will be exempt from Public Art requirements.

Food Policies

	City Comment	Proponent Response
16.1	This project must fulfill, to the satisfaction of the Director of Social Policy, the Sustainable Food Systems requirements of the RPSLD by providing three food assets. The food assets should fit with the site context, align with the City's food system vision, goals and principles as reflected in the Vancouver Food Strategy, and respond to existing needs for food infrastructure. Staff recommend meeting to discuss these considerations in advance of a rezoning application submission and can be contacted by e-mail at foodpolicy@vancouver.ca	The landscape plan includes edible landscaping (see the plant list on L3.1), as well as garden plots and urban agriculture planters on L3 and the Building 1 rooftop on L7.
16.2	Given the location of this project near social service organizations and emerging food infrastructure needs in South Vancouver, the City will give special consideration for assets that best align with this context. Please consider reaching out to local neighbourhood house(s) to see if there may be opportunities to align food assets with their needs. For example, there could be the potential to deliver three food assets together that respond to emerging food infrastructure needs (e.g., community kitchen, cold storage, food warehouse/distribution space).	The proponent team acknowledges the City of Vancouver's emphasis on aligning food assets with the unique context of South Vancouver, given the project's proximity to social service organizations and emerging food infrastructure needs. The proposal currently includes garden plots, urban agriculture planters, and edible landscaping as part of its commitment to supporting food-related initiatives. While additional food assets are not currently proposed, the proponent recognizes the importance of ensuring the development meets the City's requirements. Coordination with PDD/GBL will continue to address any identified needs, and discussions with local organizations, such as neighbourhood houses, may inform opportunities to align food-related elements with community priorities.
16.3	The proposal includes shared garden plots, and edible landscaping. Please note, depending on the scale of edible landscaping and garden plots, these two assets may be considered one asset.	Please refer to L1.2, L1.3 and L1.4 for garden plots and urban agriculture planters position, as well as L3.0 and L3.1 for a list of edible plants proposed for this development.
16.4	Shared garden plots located on rooftop podiums. - Garden plot siting and access, co-location, number and size, design, and support facilities must align with the Design Considerations outlined in Section 3.0 of the Urban Agriculture Guidelines for the Private Realm1. - At least 5% of Garden Plots must be accessible plots designed in alignment with the - Accessible Community Garden Guidelines. - Greenhouse facilities are strongly encouraged.	Refer to L1.3 and L1.4 for the garden plot locations on the rooftops. Building 1's rooftop will also feature an accessible urban agriculture planter, which meets the requirements of Section 3.0 of the Urban Agriculture Guidelines.
	Community kitchens will be encouraged:	
16.5	Community kitchens are only counted as a food asset under the sustainable large sites rezoning policy if they are publicly accessible. A legal agreement may be required to secure public access. Community kitchens are ideally co-located with an institution, place of worship, or social service centre and managed by that entity.	A community kitchen is not proposed for this project.

16.6	Design to accommodate teaching and community programming, as described in the City-Affiliated Kitchen Design Guidelines ³ and Sustainable large development bulletin: community kitchen design guidelines ⁴ , with commercial functions such as catering or food manufacturing being secondary. Note that: - A Type I ventilation system is typically required - Stand-alone Type II ventilation systems will not be accepted due to the limited nature of cooking activities that they can accommodate. - See the City's Kitchen Ventilation Systems Bulletin ⁵ for more information	A community kitchen is not proposed for this project.
16.7	The kitchen(s) must meet Vancouver Coastal Health requirements for food service establishment permitting (Vancouver Coastal Health is the regulatory authority that inspects and provides food service establishment permits needed to operate public- serving kitchens, including those in restaurants, commissary kitchens, institutional settings, and community-serving settings. Permit requirements are focused on ensuring food safety, sanitation, and safe working conditions).	A community kitchen is not proposed for this project.
16.8	Induction cooktops are strongly encouraged as these are user friendly and have a lower environmental impact than gas or electric alternatives.	A community kitchen is not proposed for this project.
	Edible landscaping	
16.9	Design must align with the Sustainable large development bulletin: edible landscaping design guidelines.	Landscape design for this developments aligns with the Sustainable Large Development bulletin
16.10	Describe how edible landscape plantings expand into the public realm and be accessible to the public or residents of the development.	On L3, garden plots are mainly proposed as space dividers. Given their location, they will be accessible to both the public and residents. The strata will determine plot division and assignment to residents or the public in the future. On the rooftops, garden plots serve as dividers between private patios and semi-private spaces and are intended for resident use. The strata will also handle the logistics of dividing and assigning these plots to specific units in the future.
16.11	Outline the total edible landscape area as subtotal of total landscape area. This includes allocation to plants with edible leaves, fruits, flowers, nuts and berries.	Check Appendix D in the Landscape set for the area rationale to answer this question. Edible planting makes up 8.51% of the total landscaped area.
16.12	Provide the edible plant species selected for each edible landscape area and number of each plants that will be provided.	Refer to L3.1 for the edible plant selection. The planting plan will be provided during the Design Development phase of this project.

Childcare

	City Comment	Proponent Response
17.1	Staff are supportive of the applicant exploring childcare on this site and require updated plans to reflect childcare use. Please refer to the City of Vancouver Childcare Design Guidelines for childcare design considerations and requirements.	Although a dedicated childcare facility is not proposed for this project, the development embraces an intergenerational approach. It features thoughtfully designed children's play areas, including both outdoor playgrounds and indoor play spaces.



Additional Information

Rezoning Policy for Sustainable Large Developments



City of Vancouver *Land Use and Development Policies and Guidelines*

Planning, Urban Design and Sustainability Department

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REZONING POLICY FOR SUSTAINABLE LARGE DEVELOPMENTS

Adopted by City Council on July 25, 2018

Effective Date September 1, 2018*

Amended on September 15, 2020, January 19, 2021, July 20, 2021, and July 25, 2023

Note: This policy replaces Revised Action A-2 of the EcoDensity/EcoCity Revised Charter and Initial Actions

* Note: The affordable housing requirements in this policy apply to all large developments city-wide, except those areas that have recently adopted community plans (e.g. Cambie Corridor Unique Sites, large inclusionary housing projects in the West End) and large developments that have submitted a formal rezoning enquiry (application for rezoning advice) as of June 20, 2018. Those projects with an accepted letter of enquiry will proceed under the previous affordable housing requirements contained in the Rezoning Policy for Sustainable Large Developments amended December 16, 2014.

This policy is effective September 1, 2018 and is mandatory for all large development rezoning applications accepted as complete on or after September 1, 2018.

Large developments are those that:

- (a) Involve a land parcel or parcels having a total site size of 8,000 sq. m (1.98 acres) or more, or
- (b) Contain 45,000 sq. m (484,375 sq. ft.) or more of new development floor area

Projects that are limited in scope may be excluded from the requirements of this policy, including:

- (a) Text amendments to the existing zoning for minor changes to large developments
- (b) Projects that contain less than 4,700 sq. m (50,590 sq. ft.) of new development.

In such cases, a request for partial or total exemption from the policy requirements should be discussed with the rezoning planner prior to rezoning application submission. Alternatives can be considered and, if warranted, some of the requirements may be waived by the Director of Planning in cases of hardship or conflict between requirements.

OVERALL POLICY INTENT

Large developments are expected to demonstrate leadership in sustainable design. While the policy is divided into sections for ease of readability and implementation, it is expected that large developments will use an integrated design approach and employ district-scale solutions where appropriate.

Note that City staff may involve external agencies such as TransLink, Vancouver School Board, and Vancouver Coastal Health to inform the rezoning review.

July 2023

City's Rezoning Policy

The **Southwynd Place Redevelopment** aligns closely with the **City of Vancouver's Policy for Sustainable Large Developments**. The redevelopment encompasses various aspects that fulfill the policy's objectives, focusing on sustainable site design, community needs, affordability, environmental sustainability, and overall well-being.

Site Design

The redevelopment contributes to the City's Greenest City 2020 Action Plan and urban sustainability goals. This alignment is achieved by integrating principles of sustainable site design into the project's layout. The redevelopment aims to enhance green spaces, increase canopy cover, and provide accessible green spaces for residents. The project incorporates natural systems and sustainable landscaping practices to improve biodiversity, habitat provision, and rainwater management. In terms of affordability and community needs, the Southwynd Place Redevelopment proposal aligns with the Housing Vancouver Strategy, aiming to provide a mix of housing options, including affordable and diverse housing types.

Near Net Zero Emissions

The project will follow design guidelines based on **Near Zero Emissions Buildings**, low embodied carbon, energy system sub-metering and reporting, and low-emitting materials. The consultant team will explore total cost of ownership to identify cost effective and viable low embodied carbon practices that support climate resilience and energy efficiency. By incorporating these sustainability features, the redevelopment aims to ensure energy efficiency, adaptability for seniors, and adherence to rainwater management strategies.

Social Sustainability

The project's focal point is the provision of **affordable housing for seniors, families, and essential service workers**. This will deliver on the commitment to provide housing options with priority groups such as seniors, women and children, and essential service workers. The design of the project clearly reflects the emphasis on affordable housing, intergenerational living, and the availability of diverse housing choices. Addressing environmental sustainability, the proposal goes beyond the City's Green Policy objectives.

Amenity and Community

The Southwynd Place Redevelopment project also places a strong emphasis on amenity space and well-being. Diverse communal spaces are planned, including welcoming entryways, social areas, activity zones, and green spaces. **These spaces will be designed to encourage social interaction, physical activity, and address the negative impacts of isolation and loneliness.** By fostering a sense of community and promoting well-being, the project aims to enrich the lives of its future residents and the community.

Design

The project's commitment to architectural excellence will be demonstrated in its design. **The redevelopment strives to create a sense of place and home for residents** through efficient and livable floor plans, architectural interest, and complementary material choices, while contributing positively to the visual character of the surrounding neighborhood.

Comprehensive Development

The Southwynd Place Redevelopment proposal comprehensively aligns with the City's Policy for Sustainable Large Developments. The project **fulfills the policy's objectives** through its dedication to sustainable site design, provision of diverse housing options, commitment to environmental sustainability, creation of inviting amenity spaces, and adherence to architectural excellence. Beyond meeting the outlined policy requirements, the new site is delivering on community needs, affordability, and the overall well-being of its residents and wider community.

Rezoning Policy for Sustainable Large Developments

Overview

The Southwynd Place Redevelopment project meets the objectives and requirements of the City “Rezoning Policy for Sustainable Large Developments” in the following ways - below is a high level overview of how the project meets the requirements. A separate document regarding this City Policy is attached to the overall Rezoning Submission.

Sustainable Site Design



The site is less than 300M away from a mass-transit station and the associated commercial entities surrounding it, and adjacent to multiple bicycle routes.

A large courtyard between buildings will help to activate social activities. The seniors’ building (Building 1) features a private rooftop area designed to accommodate social and fitness activities, along with communal gardens.

Buildings 2 and 4 also have large podium rooftop areas with indoor and outdoor amenities.

Sustainable Food Systems



The project embraces sustainability by including shared garden plots on rooftop podiums, along with urban agriculture planters and edible landscaping wherever possible. These features aim to support local food production and foster a sense of community.

Green Mobility



There is every intention to enhance different modes of transportation.

The proposal focuses on enhancing transportation options through thoughtful TDM measures, helping to reduce parking needs and promote greener ways of getting around.

Potable Water Management



For the different programmatic elements as well as for irrigation, grey water re-use is anticipated as a means of reducing overall potable water use.

High efficient fixtures will be utilized throughout.

Groundwater Management



The project will be designed to meet the City’s requirements of the **Groundwater Management Bulletin**, issued in February 2023.

Zero Waste Planning



The redevelopment will meet the requirements of The Zero Waste Design and Operations Plan for both the residential and non-residential programs.

As well, there will be thoughtful consideration of the deconstruction opportunities and practices in the removal of the existing Southwynd project.

Affordable Housing



At the core of this project, the mandate is to provide a **100% social housing project** that will be operated by two long-standing, responsible and reputable non-market housing providers (Kiwanis and Soroptomist).

Resilience



The cladding and project materials for the buildings will be of high quality that will require minimal maintenance and will be less likely to degrade over time (focus on natural materials and less vinyl/plastic). Large overhangs on the south elevations will reduce overall solar heat gain and all units will be furnished with in-suite cooling. Extensive green roofs are anticipated to reduce heat island effect.

Overall Project Statistics

Site Information

SITE DIMENSIONS	323'-11" x 325'-4"	
	AREA (SF)	AREA (m2)
Site Area	82,888	7,701
Dedications	828	77
Net Site Area	82,060	7,624

Site Information

SETBACKS	REQUIRED	PROPOSED
SW Marine Drive	5.0m (16'-5")	5.0m (16'-5")
Yukon Street	5.0m (16'-5")	5.0m (16'-5")
East-West Lane (North)	4.57m (15'-0")	4.57m (15'-0")
North-South Lane (East)	6.1m (20'-0")	6.1m (20'-0")
East-West Lane (East)	4.57m (15'-0")	4.57m (15'-0")
East Side Yard	1.83m (6'-0")	1.83m (6'-0")

Floor Area Summary

FLOOR AREA SUMMARY	AREA (SF)	AREA (m2)	FAR
GFA Area	611,864	56,844	N/A
FSR Area	579,114	53,801	6.99

Unit Summary

Tenure	Units
Total Housing Units	847
Above HILs Rate Housing	592
Below HILs Rate Housing	255

Individual Building Heights (Ground Level TOS to Roof TOP)

	PERMITTED	PROPOSED
Building 1	N/A	6 STOREYS (62'-6")
Building 2	N/A	20 STOREYS (195'-4")
Building 3	N/A	32 STOREYS (311'-8")
Building 4	N/A	28 STOREYS (273'-4")

Maximum Building Height (Entire Project)

Elevation	ELEV [FT]
Building 3 - Top of Roof Parapet	346.17
Building 3 - Avg Lowest Grade (South Side)	31.75
Proposal Maximum Building Height	314.42

Project Area Summary Statistics - Total Project

Project Total

Building	ABOVE-HILs RATE HOUSING									BELOW-HILs RATE HOUSING									TOTALS								
	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	FSR	% Of Total	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	FSR	% Of Total	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	Eff [%]	FSR
1	40,977	6,466	33,796	86	1,843	1,074	38,060	0.46	70.0%	17,587	3,200	13,925	37	807	461	16,319	0.20	30.0%	58,564	9,666	47,721	123	2,650	1,535	54,379	81.5%	0.66
2	106,738	19,273	84,397	140	3,025	3,068	100,645	1.21	69.1%	47,215	8,004	37,896	60	925	1,315	44,975	0.54	30.9%	153,953	27,277	122,293	200	3,950	4,383	145,620	79.4%	1.76
3	143,900	30,843	111,275	190	4,992	1,781	137,127	1.65	69.6%	62,741	13,640	48,338	82	2,149	763	59,828	0.72	30.4%	206,640	44,483	159,613	272	7,141	2,544	196,955	77.2%	2.38
4	133,576	23,946	106,511	176	4,620	3,171	125,785	1.52	69.1%	59,131	12,302	45,470	76	1,397	1,359	56,375	0.68	30.9%	192,707	36,248	151,981	252	6,017	4,530	182,160	78.9%	2.20
Total	425,190	80,528	335,979	592	14,480	9,094	401,617	4.85	69.4%	186,674	37,146	145,630	255	5,278	3,898	177,497	2.14	30.6%	611,864	117,674	481,608	847	19,758	12,992	579,114	79%	6.99

Project Area Summary Statistics - Per Building

Building 1

Level	ABOVE-HILs RATE HOUSING									BELOW-HILs RATE HOUSING									TOTALS								
	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	FSR	% Of Total	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	FSR	% Of Total	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	Eff [%]	FSR
3	996	274				722	274			8,681	1,832	6,538	18	400	311	7,970			9,677	2,106	6,538	18	400	1,033	8,244	67.6%	
4	922	144	1,136	2	43		879			8,755	1,368	7,387	19	407		8,348			9,677	1,512	8,165	21	450		9,227	84.4%	
5	9,677	1,512	8,165	21	450		9,227												9,677	1,512	8,165	21	450		9,227	84.4%	
6	9,677	1,512	8,165	21	450		9,227												9,677	1,512	8,165	21	450		9,227	84.4%	
7	9,677	1,512	8,165	21	450		9,227												9,677	1,512	8,165	21	450		9,227	84.4%	
8	9,677	1,512	8,165	21	450		9,227												9,677	1,512	8,165	21	450		9,227	84.4%	
Roof	351					351	0			151					151	0			502					502	0	0.0%	
Total	40,977	6,466	33,796	86	1,843	1,074	38,060	0.46	70.0%	17,587	3,200	13,925	37	807	461	16,319	0.20	30.0%	58,564	9,666	47,363	123	2,650	1,535	54,379	81%	0.66

Building 2

Level	ABOVE-HILs RATE HOUSING									BELOW-HILs RATE HOUSING									TOTALS								
	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	FSR	% Of Total	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	FSR	% Of Total	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	Eff [%]	FSR
3	4,107	1896	0			2,211	1,896			4,736	812.4	2,976	5	50	948	3,738			8,843	2,708	2,976	5	50	3,159	5,634	33.7%	
4										9,062	1,443	7,619	12	175		8,887			9,062	1,443	7,619	12	175		8,887	84.1%	
5										9,062	1,443	7,619	12	175		8,887			9,062	1,443	7,619	12	175		8,887	84.1%	
6										9,062	1,443	7,619	12	175		8,887			9,062	1,443	7,619	12	175		8,887	84.1%	
7										9,062	1,443	7,619	12	175		8,887			9,062	1,443	7,619	12	175		8,887	84.1%	
8	3,776	601	3,175	5	0		3,776			5,286	842	4,444	7	175		5,111			9,062	1,443	7,619	12	175		8,887	84.1%	
9	6,624	1,102	4,665	8	175	857	5,592			367					367			6,991	1,102	4,665	8	175	1,224	5,592	66.7%		
10	6,991	1,102	5,889	10	225		6,766											6,991	1,102	5,889	10	225		6,766	84.2%		
11	6,991	1,102	5,889	10	225		6,766											6,991	1,102	5,889	10	225		6,766	84.2%		
12	6,991	1,102	5,889	10	225		6,766											6,991	1,102	5,889	10	225		6,766	84.2%		
13	6,991	1,102	5,889	10	225		6,766											6,991	1,102	5,889	10	225		6,766	84.2%		
14	6,991	1,102	5,889	10	225		6,766											6,991	1,102	5,889	10	225		6,766	84.2%		
15	6,991	1,102	5,889	10	225		6,766											6,991	1,102	5,889	10	225		6,766	84.2%		
16	6,991	1,102	5,889	10	225		6,766											6,991	1,102	5,889	10	225		6,766	84.2%		
17	6,991	1,102	5,889	10	225		6,766											6,991	1,102	5,889	10	225		6,766	84.2%		
18	6,991	1,102	5,889	10	225		6,766											6,991	1,102	5,889	10	225		6,766	84.2%		
19	6,991	1,102	5,889	10	225		6,766											6,991	1,102	5,889	10	225		6,766	84.2%		
20	6,991	1,102	5,889	9	200		6,791											6,991	1,102	5,889	9	200		6,791	84.2%		
21	6,991	1,102	5,889	9	200		6,791											6,991	1,102	5,889	9	200		6,791	84.2%		
22	6,991	1,102	5,889	9	200		6,791											6,991	1,102	5,889	9	200		6,791	84.2%		
ROOF	1,348	1,348					1,348			578	578					578			1,926	1,926					1,926	0%	
Total	106,738	19,273	84,397	140	3,025	3,068	100,645	1.21	69.1%	47,215	8,004	37,896	60	925	1,315	44,975	0.54	30.9%	153,953	27,277	122,293	200	3,950	4,383	145,620	79%	1.76

Note:

Placement of HIL and Above HIL housing subject to change.

Project Area Summary Statistics - Per Building

Building 3

Level	ABOVE-HILs RATE HOUSING									BELOW-HILs RATE HOUSING									TOTALS								
	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	FSR	% Of Total	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	FSR	% Of Total	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	Eff [%]	FSR
2	1,271	1,271					1,271			1,786	545	1,241	1	25		1,761			3,057	1,816	1,241	1	25		3,032	41%	
3	1,781					1,781	0			4,717	1,252	2,702	4	111	763	3,843			6,498	1,309	2,645	4	111	2,544	3,843	41%	
4										6,498	1,309	5,189	9	236		6,262			6,498	1,309	5,189	9	236		6,262	80%	
5										6,498	1,309	5,189	9	236		6,262			6,498	1,309	5,189	9	236		6,262	80%	
6										6,498	1,309	5,189	9	236		6,262			6,498	1,309	5,189	9	236		6,262	80%	
7										6,498	1,309	5,189	9	236		6,262			6,498	1,309	5,189	9	236		6,262	80%	
8										6,498	1,309	5,189	9	236		6,262			6,498	1,309	5,189	9	236		6,262	80%	
9										6,498	1,309	5,189	9	236		6,262			6,498	1,309	5,189	9	236		6,262	80%	
10										6,498	1,309	5,189	9	236		6,262			6,498	1,309	5,189	9	236		6,262	80%	
11										6,498	1,309	5,189	9	236		6,262			6,498	1,309	5,189	9	236		6,262	80%	
12	2,888	582	2,306	4	111		2,777			3,610	727	2,883	5	125		3,485			6,498	1,309	5,189	9	236		6,262	80%	
13	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
14	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
15	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
16	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
17	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
18	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
19	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
20	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
21	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
22	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
23	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
24	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
25	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
26	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
27	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
28	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
29	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
30	6,498	1,309	5,189	9	236		6,262												6,498	1,309	5,189	9	236		6,262	80%	
31	6,498	1,309	5,189	8	211		6,287												6,498	1,309	5,189	8	211		6,287	80%	
32	6,498	1,309	5,189	8	211		6,287												6,498	1,309	5,189	8	211		6,287	80%	
33	6,498	1,309	5,189	8	211		6,287												6,498	1,309	5,189	8	211		6,287	80%	
ROOF	1,502	1,502	0				1,502			644	644					644			2,145	2,145	0				2,145	0%	
Total	143,900	30,843	111,275	190	4,992	1,781	137,127	1.65	69.6%	62,741	13,640	48,338	82	2,149	763	59,828	0.72	30.4%	206,640	44,540	159,556	272	7,141	2,544	196,955	77%	2.38

Note:
Placement of HIL and Above HIL housing subject to change.

Project Area Summary Statistics - Per Building

Building 4

Level	ABOVE-HILs RATE HOUSING									BELOW-HILs RATE HOUSING									TOTALS								
	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	FSR	% Of Total	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	FSR	% Of Total	GFA [sf]	Circ Area [sf]	Rentable Area [sf]	Units	Storage Excl [sf]	Amenity Excl [sf]	FSR Area [sf]	Eff [%]	FSR
1	1,975	1,975	0				1,975			3,109	846	2,263	4	75		3,034			5,084	2,821	2,263	4	75		5,009	44.5%	
2										6,504	1,773	4,731	8	150		6,354			6,504	1,773	4,731	8	150		6,354	72.7%	
3	1,904		0			1,904	0			7,793	1,725	5,252	9	150	816	6,827			9,697	1,725	5,252	9	150	2,720	6,827	54.2%	
4										9,697	1,725	7,972	13	200		9,497			9,697	1,725	7,972	13	200		9,497	82.2%	
5										9,697	1,725	7,972	13	200		9,497			9,697	1,725	7,972	13	200		9,497	82.2%	
6										9,697	1,725	7,972	13	200		9,497			9,697	1,725	7,972	13	200		9,497	82.2%	
7	1,267					1,267	0			5,110	1,024	3,543	6	161	543	4,406			6,377	1,024	3,543	6	161	1,810	4,406	55.6%	
8										6,377	1,033	5,344	9	236		6,141			6,377	1,033	5,344	9	236		6,141	83.8%	
9	5,841	918	4,923	8	211		5,630			536	115	421	1	25		511			6,377	1,033	5,344	9	236		6,141	83.8%	
10	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
11	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
12	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
13	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
14	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
15	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
16	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
17	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
18	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
19	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
20	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
21	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
22	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
23	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
24	6,377	1,033	5,344	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
25	6,377	1,033	5,396	9	236		6,141												6,377	1,033	5,344	9	236		6,141	83.8%	
26	6,377	1,033	5,344	8	211		6,166												6,377	1,033	5,344	8	211		6,166	83.8%	
27	6,377	1,033	5,344	8	211		6,166												6,377	1,033	5,344	8	211		6,166	83.8%	
28	6,377	1,033	5,344	8	211		6,166												6,377	1,033	5,344	8	211		6,166	83.8%	
ROOF	1,426	1,426					1,426			611	611					611			2,037	2,037					2,037	0%	
Total	133,576	23,946	106,511	176	4,620	3,171	125,785	1.52	69.1%	59,131	12,302	45,470	76	1,397	1,359	56,375	0.68	30.9%	192,707	36,248	151,929	252	6,017	4,530	182,160	79%	2.20

Note:

Placement of HIL and Above HIL housing subject to change.

Project Unit Summary Statistics - Total Project

Total

	ABOVE-HILs RATE HOUSING					BELOW-HILs RATE HOUSING							TOTALS					
	Total Units [#]	Area [sf]	Avg Unit Area [sf]	%	Family Units [%]	Senior Units [#]	Worker Units [#]	Single Parent Family Units [#]	Total Units [#]	Area [sf]	Avg Area [sf]	%	Family Units	Units	Area	Avg	%	Family Units
Studio	197	77,511	393.5	33%	30.2%	87	10	0	97	36,550	376.8	38%	31.0%	294	114,061	388.0	35%	30.2%
1BR	216	114,384	529.6	36%		56	25	0	81	42,007	518.6	32%		297	156,391	526.6	35%	
2BR	159	127,830	804.0	27%		0	0	74	74	61,330	828.8	29%		233	189,160	811.8	28%	
3BR	20	18,120	906.0	3%		0	0	3	3	3,012	1,004.0	1%		23	21,132	918.8	3%	
Total	592	337,845	570.7	100%		143	35	77	255	142,899	560.4	100%		847	480,744	567.6	100%	

Project Residential Units

Type	Units [#]	Avg Unit Size [sf]	Unit Mix [%]
Studio	294	292.52	34.7%
1BR	297	507.44	35.1%
2BR	233	811.85	27.5%
3BR	23	918.78	2.7%
Total	847	527.75	100.0%

Project Residential Units/Bldg

	Bldg 1 Units [#]	Bldg 2 Units [#]	Bldg 3 Units [#]	Bldg 4 Units [#]	Total Units [#]	% Total
Studio	113	41	58	82	294	34.7%
1BR	10	89	118	80	297	35.1%
2BR	0	70	95	68	233	27.5%
3BR	0	0	1	22	23	2.7%
Total	123	200	272	252	847	100.0%

Project Unit Summary Statistics - Per Building

Building 1

	ABOVE-HILs RATE HOUSING					BELOW-HILs RATE HOUSING							TOTALS							
	Total Units [#]	Area [sf]	Avg Unit Area [sf]	%	Family Units [%]	Senior Units [#]	Worker Units [#]	Single Parent Family Units [#]	Total Units [#]	Area [sf]	Avg Area [sf]	%	Family Units	Units	Area	Avg	%	Family Units		
Studio	76	28,060	369.2	54%	0%	37			37	13,541	366.0	100%	0%	113	41,601	368.2	92%	0%		
1BR	10	5,680	568.0	7%		0			0	0	0.0	0%		10	5,680	568.0	8%			
2BR																				
3BR																				
Total	86	33,740	392.3	61%		37			37	13,541	366	100%		123	47,281	384.4	100%			

Building 2

	ABOVE-HILs RATE HOUSING					BELOW-HILs RATE HOUSING							TOTALS					
	Total Units [#]	Area [sf]	Avg Unit Area [sf]	%	Family Units [%]	Senior Units [#]	Worker Units [#]	Single Parent Family Units [#]	Total Units [#]	Area [sf]	Avg Area [sf]	%	Family Units	Units	Area	Avg	%	Family Units
Studio	25	10,091	403.6	18%	35.0%	13	3		16	6,130	383.1	27%	35.0%	41	16,221	395.6	21%	35.0%
1BR	66	33,968	514.7	47%		17	6		23	11,524	501.0	38%		89	45,492	511.1	45%	
2BR	49	41,726	851.6	35%				21	21	18,603	885.9	35%		70	60,329	861.8	35%	
3BR																		
Total	140	85,785	612.8	100%		30	9	21	60	36,257	1770	100%		200	122,042	610.2	100%	

Building 3

	ABOVE-HILs RATE HOUSING					BELOW-HILs RATE HOUSING							TOTALS					
	Total Units [#]	Area [sf]	Avg Unit Area [sf]	%	Family Units [%]	Senior Units [#]	Worker Units [#]	Single Parent Family Units [#]	Total Units [#]	Area [sf]	Avg Area [sf]	%	Family Units	Units	Area	Avg	%	Family Units
Studio	40	15,784	394.6	21%	35.3%	14	4		18	7,146	397.0	22%	35.4%	58	22,930	395.3	21%	35.3%
1BR	83	43,541	524.6	44%		25	10		35	18,354	524.4	43%		118	61,895	524.5	43%	
2BR	67	52,204	779.2	35%				28	28	21,739	776.4	34%		95	73,943	778.3	35%	
3BR								1	1	1,200	1,200.0	1%		1	1,200	1200.0	0%	
Total	190	111,529	587.0	100%		39	14	29	82	48,439	2898	100%		272	159,968	588.1	100%	

Building 4

	ABOVE-HILs RATE HOUSING					BELOW-HILs RATE HOUSING							TOTALS					
	Total Units [#]	Area [sf]	Avg Unit Area [sf]	%	Family Units [%]	Senior Units [#]	Worker Units [#]	Single Parent Family Units [#]	Total Units [#]	Area [sf]	Avg Area [sf]	%	Family Units	Units	Area	Avg	%	Family Units
Studio	56	23,576	421.0	32%	35.8%	23	3		26	9,733	374.3	34%	35.5%	82	33,309	406.2	33%	35.7%
1BR	57	31,195	547.3	32%		14	9		23	12,129	527.3	30%		80	43,324	541.6	32%	
2BR	43	33,900	788.4	24%				25	25	20,988	839.5	33%		68	54,888	807.2	27%	
3BR	20	18,120	906.0	11%				2	2	1,812	906.0	3%		22	19,932	906.0	9%	
Total	176	106,791	606.8	100%		37	12	27	76	44,662	2647	100%		252	151,453	601.0	100%	

Note:

Placement of HIL and Above HIL housing subject to change.

Residential Storage - Total Project

Total

Level	IN-SUITE STORAGE										Underground Residential Storage Units [#]			
	BDG 1		BDG 2		BDG 3		BDG 4		TOTAL IN-SUITE		P3	P2	P1	Total
	#	AREA (SF)	#	AREA (SF)	#	AREA (SF)	#	AREA (SF)	#	AREA (SF)				
1							3	75	3	75				
2					1	25	6	150	7	175				
3	16	400	2	50	4	111	6	150	28	711				
4	18	450	7	175	9	236	8	200	42	1061				
5	18	450	7	175	9	236	8	200	42	1061				
6	18	450	7	175	9	236	8	200	42	1061				
7	18	450	7	175	9	236	6	161	40	1022				
8	18	450	7	175	9	236	9	236	43	1097				
9			7	175	9	236	9	236	25	647				
10			9	225	9	236	9	236	27	697				
11			9	225	9	236	9	236	27	697				
12			9	225	9	236	9	236	27	697				
13			9	225	9	236	9	236	27	697				
14			9	225	9	236	9	236	27	697				
15			9	225	9	236	9	236	27	697				
16			9	225	9	236	9	236	27	697				
17			9	225	9	236	9	236	27	697				
18			9	225	9	236	9	236	27	697				
19			9	225	9	236	9	236	27	697				
20			8	200	9	236	9	236	26	672				
21			8	200	9	236	9	236	26	672				
22			8	200	9	236	9	236	26	672				
23					9	236	9	236	18	472				
24					9	236	9	236	18	472				
25					9	236	9	236	18	472				
26					9	236	8	211	17	447				
27					9	236	8	211	17	447				
28					9	236	8	211	17	447				
29					9	236			9	236				
30					9	236			9	236				
31					8	211			8	211				
32					8	211			8	211				
33					8	211			8	211				
TOTAL	106	2650	158	3950	272	7141	231	6017	767	19,758	132	0	0	899

Balcony Summary - Total Project

Total

Level	BLDG 1			BLDG 2			BLDG 3			BLDG 4			BALCONY CALC.
	#	AREA (SF)	%	#	AREA (SF)	%	#	AREA (SF)	%	#	AREA (SF)	%	#
1													
2							1	514	17.7%	6	503	8.0%	7
3	18	917	11.1%	4	960	16.8%	3	514	13.4%	7	636	9.3%	32
4	21	883	9.6%	9	960	10.8%	7	916	14.6%	10	913	9.6%	47
5	21	917	9.9%	9	960	10.8%	7	916	14.6%	10	913	9.6%	47
6	21	883	9.6%	9	960	10.8%	7	916	14.6%	10	913	9.6%	47
7	21	917	9.9%	9	960	10.8%	7	916	14.6%	5	1,476	33.5%	42
8	21	883	9.6%	9	960	10.8%	7	621	9.9%	8	715	11.6%	45
9				6	1,160	20.7%	7	524	8.4%	8	560	9.1%	21
10				8	729	10.8%	7	621	9.9%	8	715	11.6%	23
11				8	646	9.5%	7	524	8.4%	8	560	9.1%	23
12				8	729	10.8%	7	621	9.9%	8	715	11.6%	23
13				8	646	9.5%	7	524	8.4%	8	560	9.1%	23
14				8	729	10.8%	7	621	9.9%	8	715	11.6%	23
15				8	646	9.5%	7	524	8.4%	8	560	9.1%	23
16				8	729	10.8%	7	621	9.9%	8	715	11.6%	23
17				8	646	9.5%	7	524	8.4%	8	560	9.1%	23
18				8	729	10.8%	7	621	9.9%	8	715	11.6%	23
19				8	646	9.5%	7	524	8.4%	8	560	9.1%	23
20				8	729	10.7%	7	621	9.9%	8	715	11.6%	23
21				8	646	9.5%	7	524	8.4%	8	560	9.1%	23
22				8	729	10.7%	7	621	9.9%	8	715	11.6%	23
23							7	524	8.4%	8	560	9.1%	15
24							7	621	9.9%	8	715	11.6%	15
25							7	524	8.4%	8	560	9.1%	15
26							7	621	9.9%	8	715	11.6%	15
27							7	524	8.4%	8	560	9.1%	15
28							7	621	9.9%	8	715	#REF!	15
29							7	524	8.4%				15
30							7	621	9.9%				7
31							7	524	8.3%				7
32							7	621	9.9%				7
33							7	524	8.3%				7
TOTAL	123	5,400	9.9%	159	14,939	10.3%	214	19,577	9.9%	216	18,819	10.3%	720
GRAND TOTAL													10.4%

Parking / Loading Summary

Residential Parking Requirements

Building	Units	Rates			Requirement		
		Rental	Visitor Stalls	Accessible	Visitor Stalls	Accessible	Total Stalls
1	123	n/a	0,05 per DU	1 stall for 7, and 0.034 space per DU	6	5	11
2	200				10	8	18
3	272				14	10	24
4	252				13	9	22
Total	847				43	32	75

Residential Parking Area

Level	Gross Area (sf)	OTB Exclusions (sf)	Net Area (sf)
P3	58,723		58,723
P2	53,378	1,643	51,735
P1	47,044	14,795	32,249
Total Area	159,145	16,438	142,707

Residential Parking Provided

PHASE 1	Level	Visitor Stalls	Accessible	Rental	Total Stalls	PHASE 2	Level	Visitor Stalls	Accessible	Rental	Total Stalls	TOTAL	Level	Visitor Stalls	Accessible	Rental	Total Stalls
	P2	16	4	25	45		P2	27			27				P2	43	4
P3		9	72	81	P3		19	35	54			P3	0	28	107	135	
Total Stalls	16	13	97	126	Total Stalls	27	19	35	81			Total Stalls	43	32	132	207	

Loading Requirements

Building	Units	Rates			Requirement		
		Class-A	Class-B	Class-C	Class-A	Class-B	Class-C
1	123	1 for 50-299 DU	1 for 100-299 DU	n/a	1	1	0
2	200			1	1	0	
3	272			1	1	0	
4	252			1	1	0	
Rental Total	847				4	4	0

Loading Provided

PHASE 1	Level	Class-A	Class-B	Class-C	PHASE 2	Level	Class-A	Class-B	Class-C	TOTAL	Level	Class-A	Class-B	Class-C
	P1						P1						P1	
P2	2	2			P2	2	2			P2	4	4		
P3					P3					P3				
Total	2	2			Total	2	2			Total	4	4		

Bicycles / Passenger Loading Summary

Bicycle Storage Requirements

Building	Class A							Class B				
	Rates				Units			Requirement	Rates	Requirement		
	Shelter / HIL Housing (6.2.1.3 & 6.2.1.4)	Above-HIL Rate housing			Shelter / HIL Housing	Above-HIL Rate housing						
					<65SM	>65SM, <105SM	>105SM					
1	0.75 per DU	1.5 per DU <65SM	2.5 per DU >65SM, <105SM	3 per DU >105SM	37	86	0	0	157	2 for 20 + 1 for additional 20 units	7	
2					60	91	49	0			304	11
3					82	123	67	0			414	15
4					76	113	63	0			384	14
Total					255	413	179	0	1,258		47	

Bicycle Storage Provided

PHASE 1	Level	Class A						Class B	PHASE 2	Level	Class A						Class B	TOTAL	Level	Class A						Class B
		Horizontal	Stacked	Vertical	Locker	Oversized	Total Stalls				Horizontal	Stacked	Vertical	Locker	Oversized	Total Stalls				Horizontal	Stacked	Vertical	Locker	Oversized	Total Stalls	
	P1	556		60	72	39	727	18		P1	185		46	63	19	313	30		P1	741	0	106	135	58	1040	48
	P2	8	46	23			77			P2	67	36	46			149			P2	75	82	69	0	0	226	
	P3									P3									P3							
	Total	564	46	83	72	39	804	18		Total	252	36	92	63	19	462	30		Total	816	82	175	135	58	1,266	48
		70%	6%	10%	9%	5%					55%	8%	20%	14%	4%					64%	6%	22%	11%	5%		

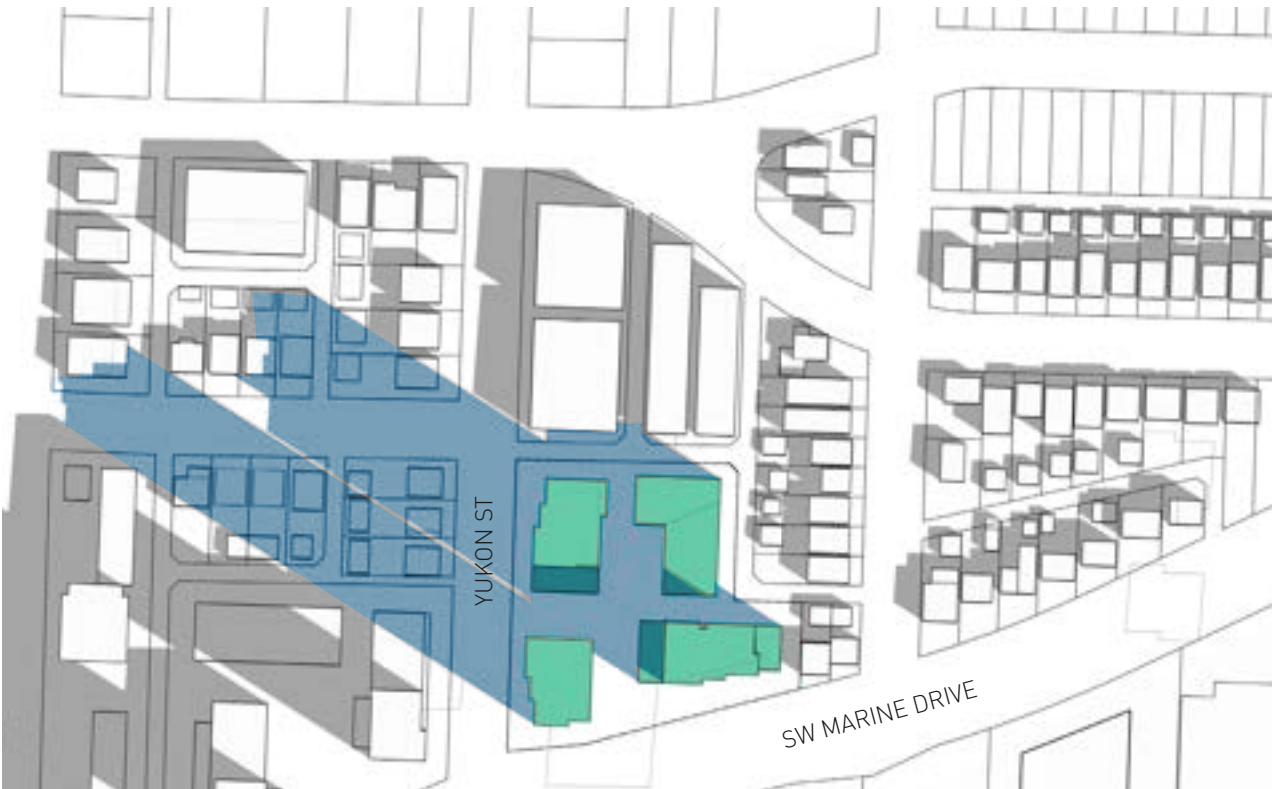
Passenger Loading Requirements

Phase	Units	Class-A	Class-B	Class-C	Total Requirement
Phase 1	323	1 for 50-125 DU + 1 for additional 150 DU	n/a	n/a	3
Phase 2	524				3
Total	847				6

Passenger Loading Requirements

PHASE 1	Level	Class-A	PHASE 2	Level	Class-A	TOTAL	Level	Class-A
	P2	5		P2	1		P2	6
	Total	5		Total	1		Total	6

Shadow Study | Vernal Equinox



03/21 - 10:00AM PDT



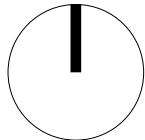
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03/21 - 2:00PM PDT



03/21 - 4:00PM PDT



Shadow Study | Summer Solstice



06/21 - 10:00AM PDT



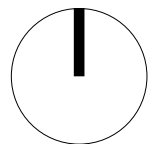
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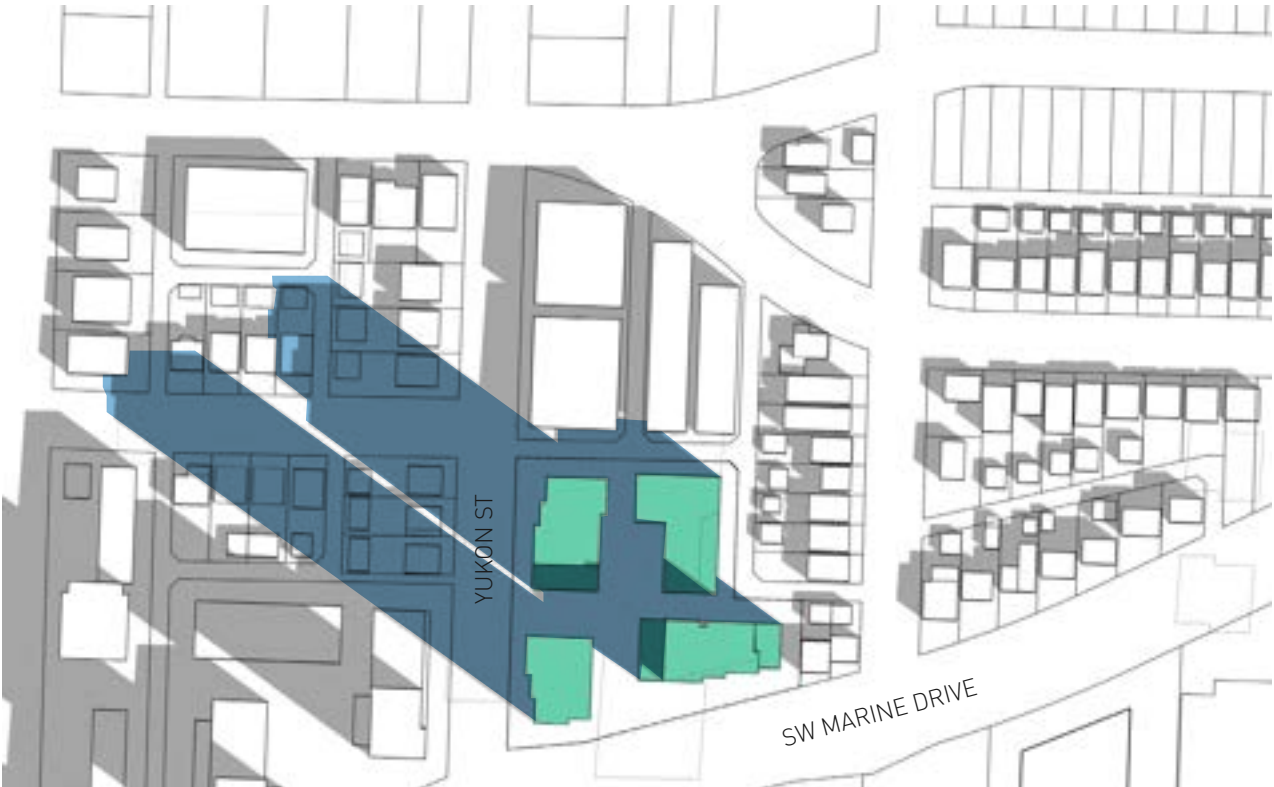
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06/21 - 4:00PM PDT



Shadow Study | Autumnal Equinox



09/21 - 10:00AM PDT



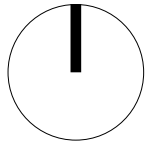
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09/21 - 2:00PM PDT



09/21 - 4:00PM PDT



Shadow Study | Winter Solstice



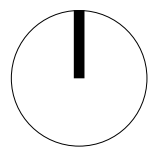
12/21 - 10:00AM PDT



12/21 - 12:00PM PDT



12/21 - 2:00PM PDT



Sustainability Summary

Sustainability Overview

Various aspects of sustainability were quantified for this rezoning proposal.

1. Energy and Emissions Performance Limits:

This proposal meets the performance limits - refer to building breakdown of TEDI, TEUI, and GHG results on next page.

2. Embodied Emissions Limits:

A whole-building life-cycle analysis (LCA) was performed on the entire re-development and the results demonstrate that the project is on track to meet the VBBL life-cycle equivalent carbon dioxide emissions limits for 2025. Refer to the table below.

3. Resilient Buildings Planning:

The Resilient Buildings Planning Worksheet was completed to demonstrate an understanding of the hazards and risks and how the risks may change over time due to climate change. In conjunction with the entire project team, possible resilience strategies were identified to mitigate the identified risks.

These three reviews are detailed and attached under a separate cover which is included in the rezoning submission.

Embodied Carbon Overview

TABLE 1: EMBODIED CARBON INTENSITY EMISSIONS PER COV EMBODIED CARBON GUIDELINE (OCTOBER 2023) – PROPOSED VBBL 2025 ABSOLUTE PATH WITH NO INDUSTRY LEADERSHIP CREDITS

	Proposed Total Embodied Carbon Emissions (kgCO ₂ e)	Embodied Carbon Intensity Benchmark (kgCO ₂ e/m ²)	Embodied Carbon Intensity Limit (10% Reduction) (kgCO ₂ e/m ²)	Proposed Embodied Carbon Intensity (kgCO ₂ e/m ²)	Reductions
Building 2	4,960,459	400	360	356.25 Complies	11%
Building 3	6,244,470			336.76 Complies	16%

TABLE 2: EMBODIED CARBON INTENSITY EMISSIONS PER COV EMBODIED CARBON GUIDELINE (OCTOBER 2023) – PROPOSED VBBL 2025 BASELINE PATH WITH NO INDUSTRY LEADERSHIP CREDITS

	Baseline Total Embodied Carbon Emissions (kgCO ₂ e)	Proposed Total Embodied Carbon Emissions (kgCO ₂ e)	Baseline Embodied Carbon Intensity (kgCO ₂ e/m ²)	Proposed Embodied Carbon Intensity (kgCO ₂ e/m ²)	Reductions
Building 1	2,330,165	2,103,292	427.00	385.43	10% Complies
Building 4	7,315,104	6,491,400	417.58	370.56	11% Complies

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December 12, 2024

Planning, Urban and Sustainability Department
City of Vancouver
453 West 12th Avenue
Vancouver, BC V5Y 1V4

RE: Commitment to Meet the Requirements of the Green Buildings Policy for Rezoning
[8080 Yukon St. Social Housing Project, Vancouver, BC]

As owner's representative of the above project, we submit this letter as part of the Rezoning Application package to confirm our commitment to demonstrate adherence to the City of Vancouver (CoV) Green Buildings Policy for Rezoning (GBPR) requirements. Documentation will be provided as it becomes available at later project stages for the following requirements:

- Complete an enhanced commissioning process throughout the design, construction and occupancy stages of the development;
- Design and build to incorporate energy system main metering and sub-metering.

We trust the above information meets the CoV GBPR's requirements. Please refer to the contact details below should there be any questions.

Sincerely,

Marcela Corzo on behalf of
Kiwanis – Soroptimist Society

Signed by: *Marcela Corzo* 1/15/2025
66518478A082449

Marcela Corzo
Chief Development Officer
E: marcela@purposedrivenroi.com

Sustainability | Energy Model Summary

Building 1

The results of the energy model are summarized in the following tables and figures. This design represents the model inputs as described in detail in Appendix A1.

Table 5. Energy Model Results Summary

Parameter	Requirement (max)	Result (before adj.)	Result (after adj.)	Compliant
TEUI (kWh/m ²)	110	85.1	75.2	Yes
TEDI (kWh/m ²)	25	23.0	13.1	Yes
GHGI (kg CO _{2e} /m ²)	3	0.9	0.8	Yes

The energy model results for TEUI (without adjustment), TEDI (with corridor pressurization adjustment described in 4.1.1) and GHGI compared to the Step 4 and Zero Carbon Step Code EL-4 requirements are shown in Figure 4.

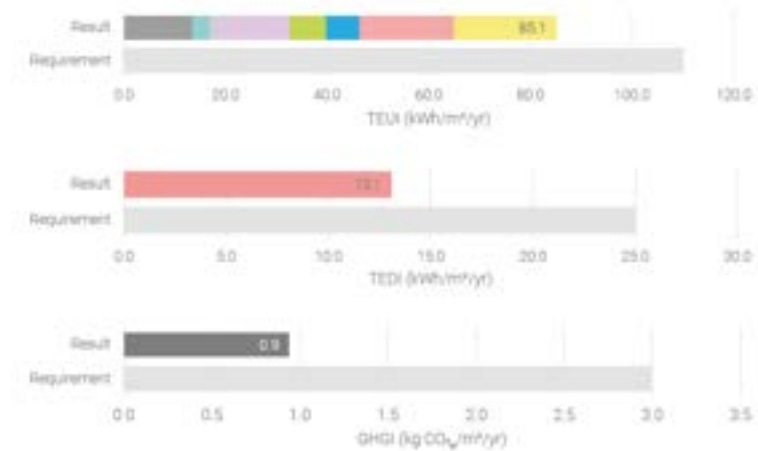


Figure 4. Energy Model Results

Building 3

The results of the energy model are summarized in the following tables and figures. This design represents the model inputs as described in detail in Appendix A1.

Table 5. Energy Model Results Summary

Parameter	Requirement (max)	Result (before adj.)	Result (after adj.)	Compliant
TEUI (kWh/m ²)	120	87.1	77.4	Yes
TEDI (kWh/m ²)	30	37.5	27.8	Yes
GHGI (kg CO _{2e} /m ²)	6	0.9	0.8	Yes

The energy model results for TEUI (without adjustment), TEDI (with corridor pressurization adjustment described in 4.1.1) and GHGI compared to the Step 4 and Zero Carbon Step Code EL-4 requirements are shown in Figure 4.



Figure 4. Energy Model Results

Building 2

The results of the energy model are summarized in the following tables and figures. This design represents the model inputs as described in detail in Appendix A1.

Table 5. Energy Model Results Summary

Parameter	Requirement (max)	Result (before adj.)	Result (after adj.)	Compliant
TEUI (kWh/m ²)	120	85.5	76.7	Yes
TEDI (kWh/m ²)	30	33.4	24.5	Yes
GHGI (kg CO _{2e} /m ²)	6	0.9	0.8	Yes

The energy model results for TEUI (without adjustment), TEDI (with corridor pressurization adjustment described in 4.1.1) and GHGI compared to the Step 4 and Zero Carbon Step Code EL-4 requirements are shown in Figure 4.

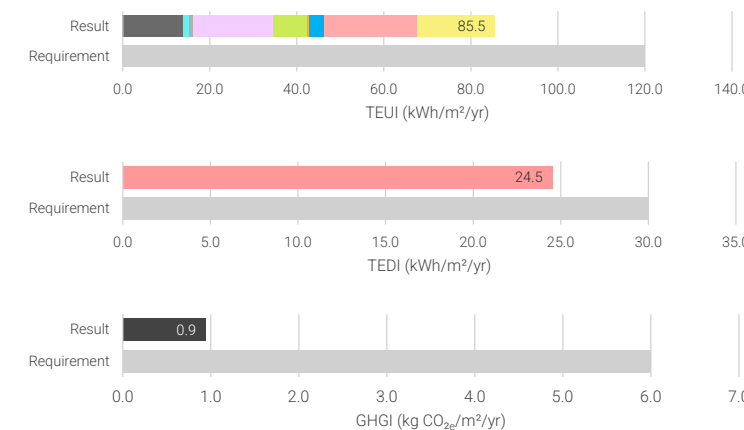


Figure 4. Energy Model Results

Building 4

The results of the energy model are summarized in the following tables and figures. This design represents the model inputs as described in detail in Appendix A1.

Table 5. Energy Model Results Summary

Parameter	Requirement (max)	Result (before adj.)	Result (after adj.)	Compliant
TEUI (kWh/m ²)	120	86.0	77.1	Yes
TEDI (kWh/m ²)	30	36.0	27.1	Yes
GHGI (kg CO _{2e} /m ²)	6	0.9	0.8	Yes

The energy model results for TEUI (without adjustment), TEDI (with corridor pressurization adjustment described in 4.1.1) and GHGI compared to requirements are shown in Figure 4.

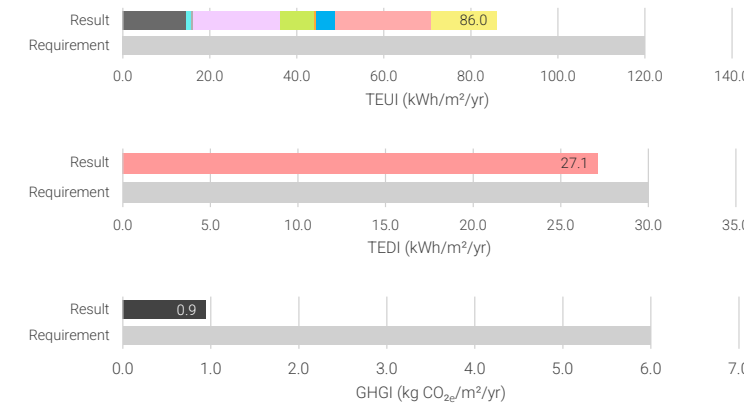


Figure 4. Energy Model Results

Energy Model Summary

Each building was reviewed as an independent building (with associated underground parkade/storage area).

Building 1:

Group C occupancies in buildings up to 6 Storeys, except Hotel and Motel

	TEDI	TEUI	GHGI
Requirement	25	110	3
Building 1	13.1	75.2	0.8

Buildings 2, 3 and 4:

Group C occupancies in buildings over 6 Storeys, except Hotel and Motel

	TEDI	TEUI	GHGI
Requirement	30	120	6
Building 2	24.5	76.7	0.8
Building 3	27.8	77.4	0.8
Building 4	27.1	77.1	0.8

Each building, and collectively, this rezoning proposal, **meets the City of Vancouver requirements** for TEDI, TEUI and GHGI.

Window-to-Wall Ratio

An important measure to understand the overall energy use is to measure the Window-to-Wall Ratio. Generally, the lower the ratio, the higher the envelope performance (offset by the lower amount of glazing on a facade).

VFAR

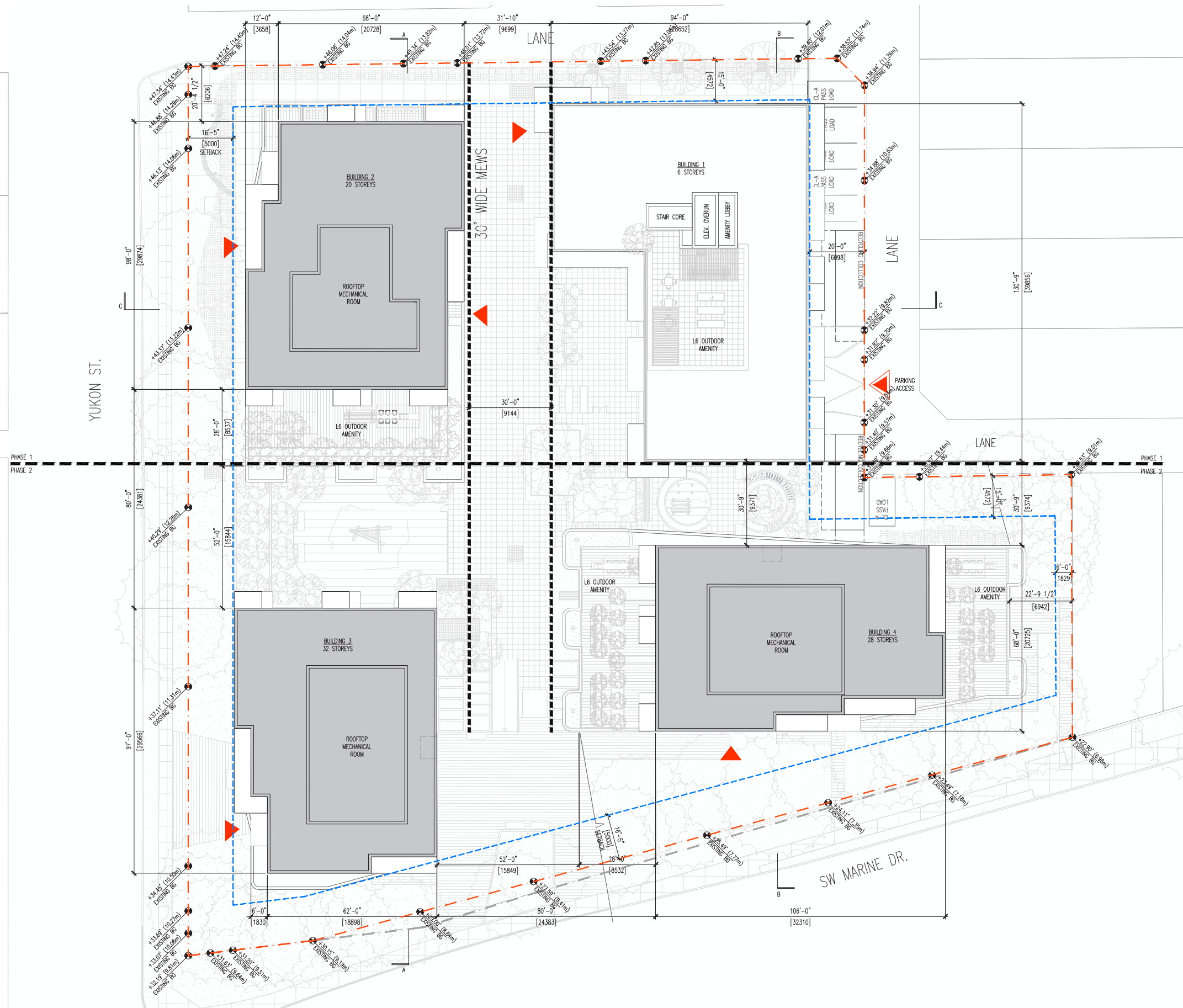
A second important metric to understand building geometry, and how efficient the overall form of a building takes, is to measure the vertical-facade-to-floor-area-ratio (VFAR). The lower the VFAR, the better performing the building envelope is.

	Window-to-Wall Ratio	VFAR
Building 1	37%	0.42
Building 2	29%	0.40
Building 3	34%	0.50
Building 4	37%	0.50



Project Drawings

Site Plan



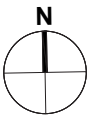
P3 Plan



GBL ARCHITECTS
200 - 224 WEST 8TH AVENUE
VANCOUVER, CANADA V5Y 1N5
T 604 738 1156 F 604 733 5279
GBLARCHITECTS.COM

PILOT INFO:

NOTES
NO DESCRIPTION



NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

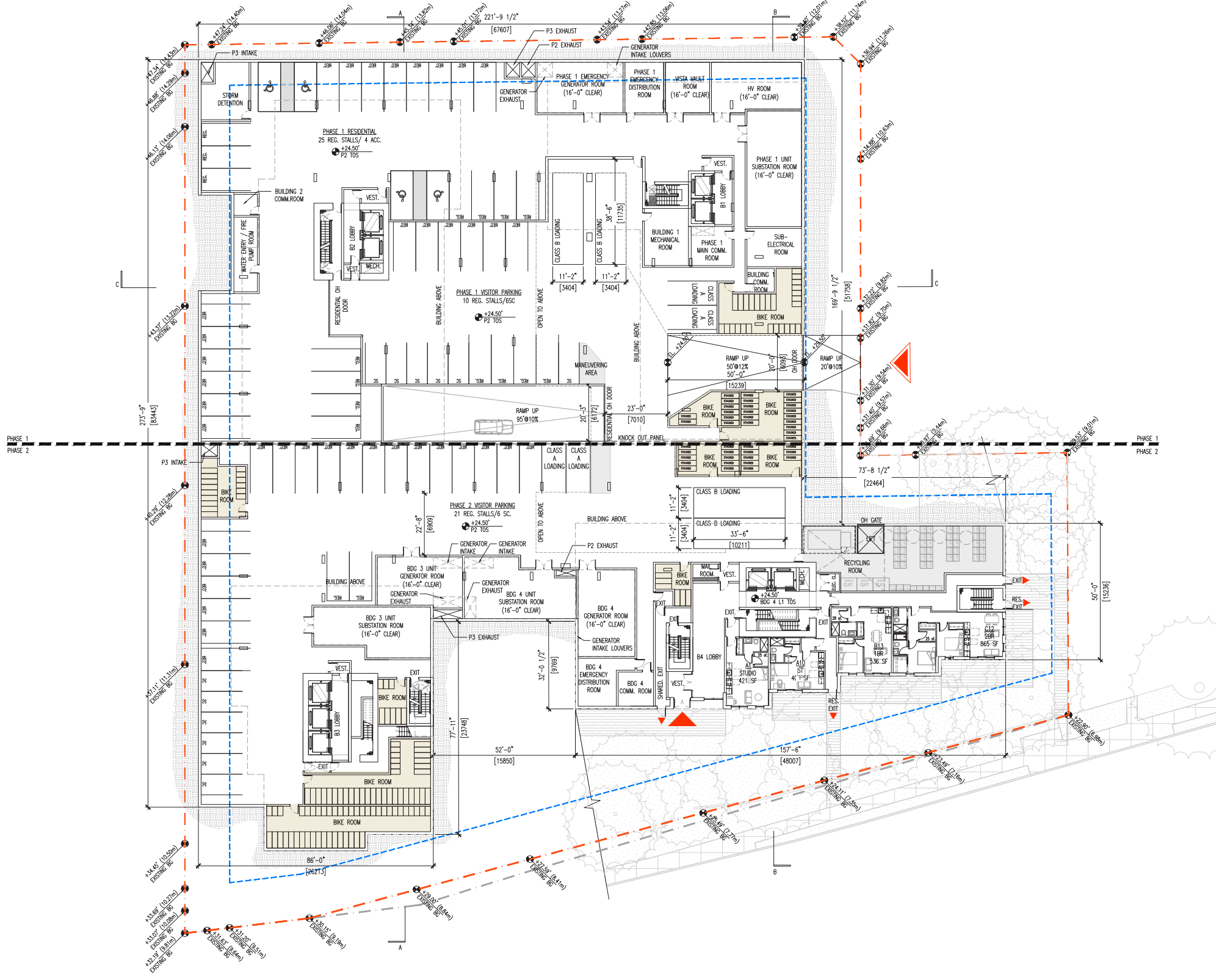
SOUTHWYND
SOCIAL HOUSING
PROJECT
8080 YUKON STREET
VANCOUVER, BC

P3 PLAN

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CHECKED BY	1/16"=1'-0" (1:192)
SCALE	22049
JOB NUMBER	

A2.01

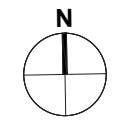
P2/L1 Plan



GBL ARCHITECTS
 300 - 224 WEST 6TH AVENUE
 VANCOUVER, CANADA V5Y 1N5
 T 604.753.1154 F 604.753.5279
 GBLARCHITECTS.COM

PLLOT INFO:

NOTES
 NO DESCRIPTION



NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2023 JUL 27	BCH REVIEW
3	2024 NOV 13	CLIENT REVIEW SET
4	2024 NOV 15	CONSULTANT REVIEW

**SOUTHWYND
 SOCIAL HOUSING
 PROJECT**
 8080 YUKON STREET
 VANCOUVER, BC

L1/P2 PLAN

DATE	ILO
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A3.01

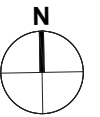
P1/L2 Plan



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200 - 224 WEST 8TH AVENUE
VANCOUVER, CANADA V6Y 1N5
T 604 738 1176 F 604 731 5279
GBLARCHITECTS.COM

PLOT INFO:

NOTES
NO DESCRIPTION



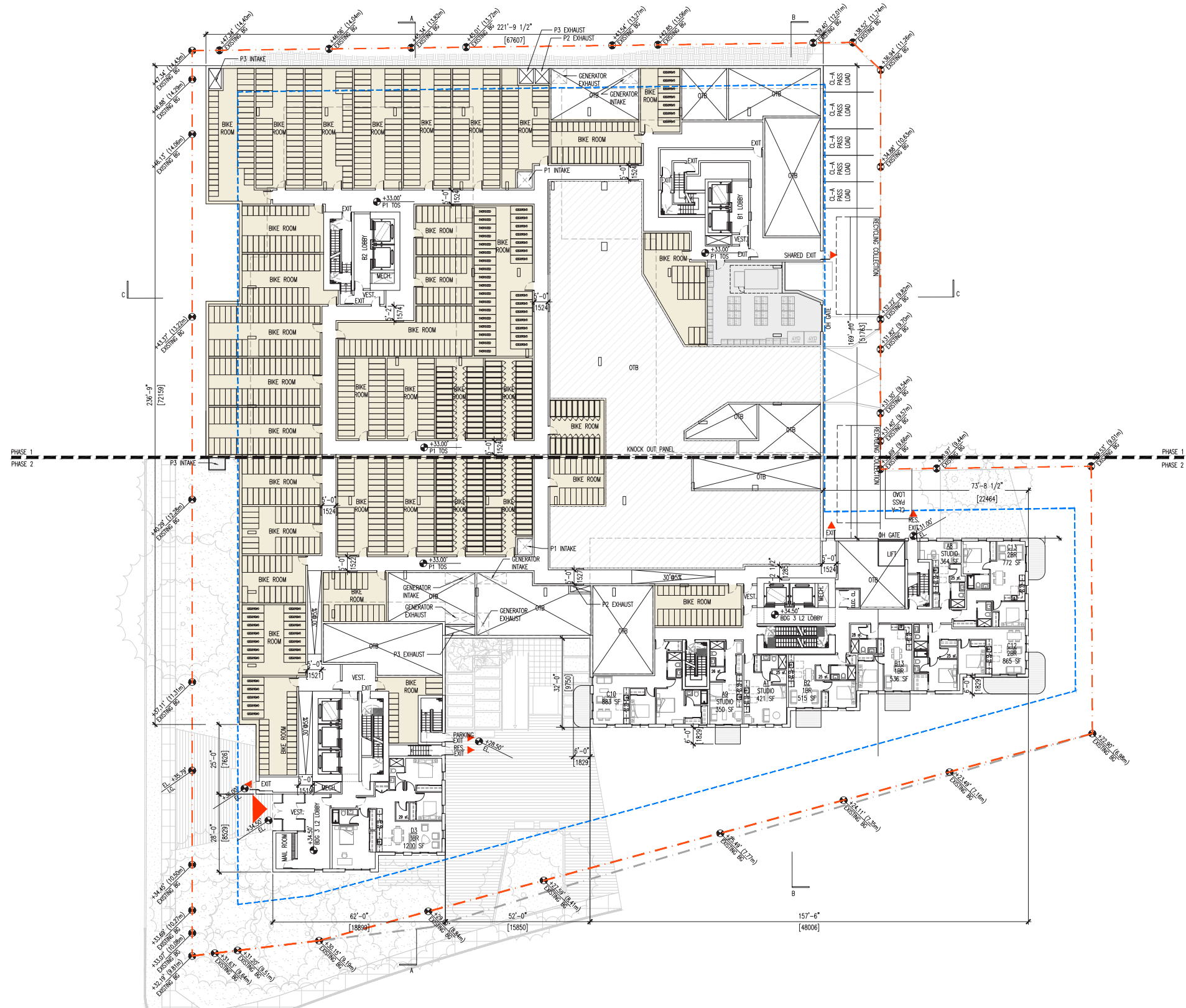
NO.	DATE	REMARKS
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2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND
SOCIAL HOUSING
PROJECT
8080 YUKON STREET
VANCOUVER, BC

L2/P1 PLAN

DATE	ILD
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	22049
JOB NUMBER	

A3.02





L3 Plan - Courtyard Level



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300 - 224 WEST 8TH AVENUE
VANCOUVER, CANADA V6Y 1N5
T 604 738 1156 F 604 731 5379
GBLARCHITECTS.COM

PLOT INFO:

NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND
SOCIAL HOUSING
PROJECT
8080 YUKON STREET
VANCOUVER, BC

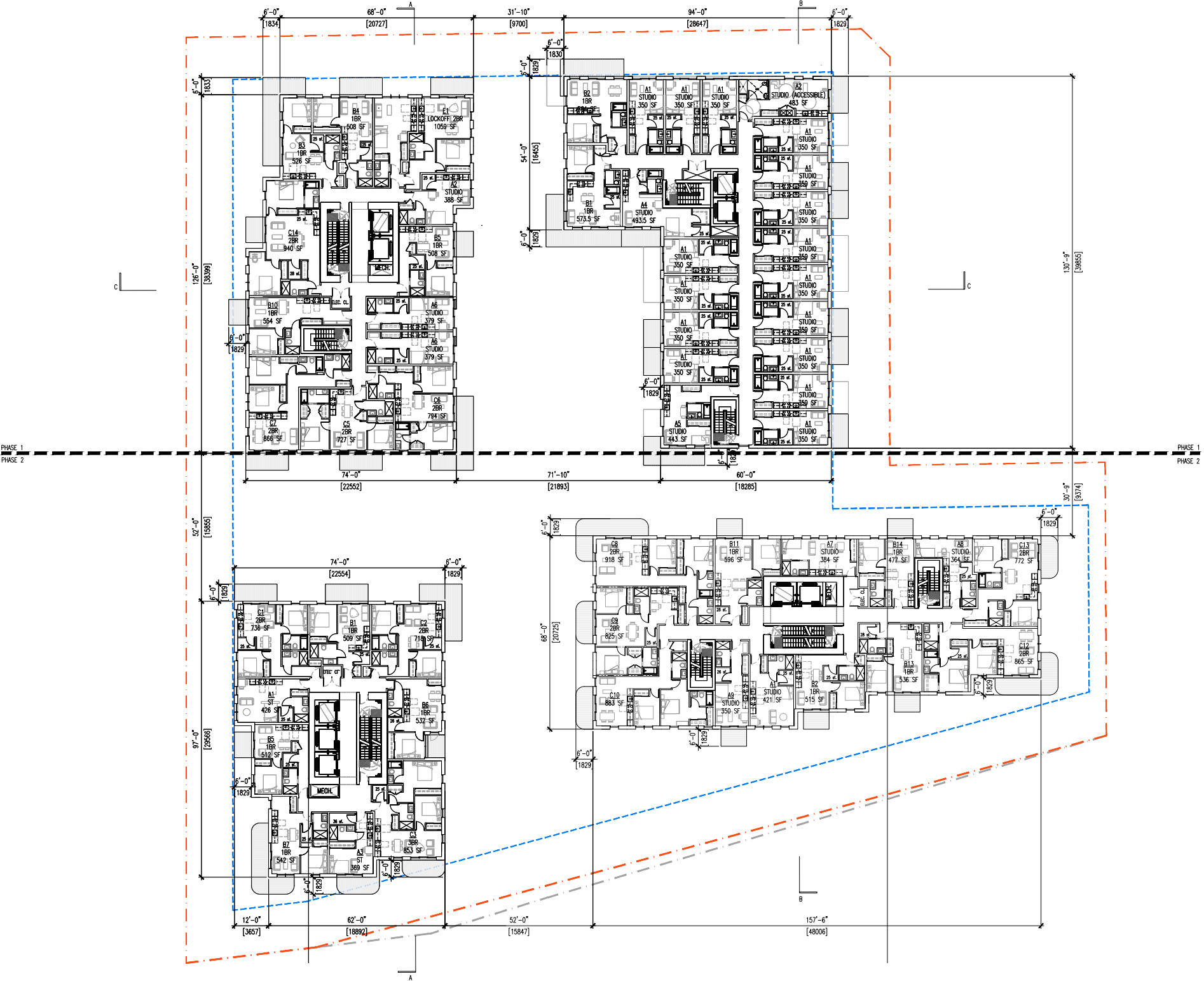
L3 FLOOR PLAN

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SCALE	22049
JOB NUMBER	

A3.03



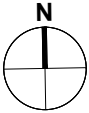
L4-L6 Plan



GBL ARCHITECTS
300 - 224 WEST 8TH AVENUE
VANCOUVER, CANADA V5Y 1N5
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PLINT INFO.

NOTES
NO DESCRIPTION



NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

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PROJECT
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L4-L6 FLOOR PLAN

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DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A3.04

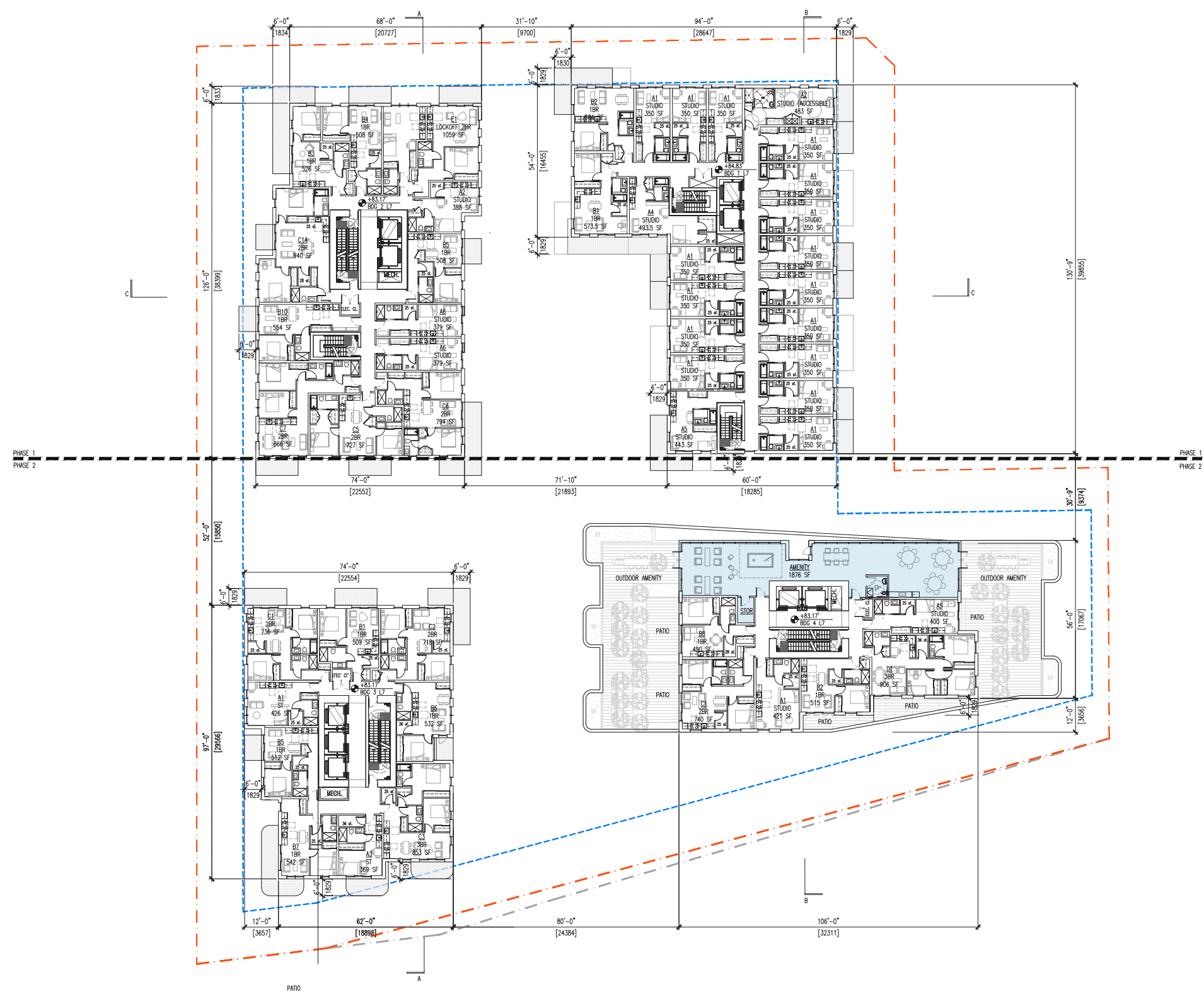
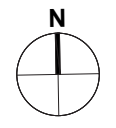
L7 Plan



GBL ARCHITECTS
300 - 224 WEST 8TH AVENUE
VANCOUVER, CANADA V5Y 1N5
T 604 736 1156 F 604 733 5379
GBLARCHITECTS.COM

PLOT INFO:

NOTES
NO DESCRIPTION



NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

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L7 FLOOR PLAN

DATE	ILD
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A3.05

L8 Plan



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VANCOUVER, CANADA V5Y 1N5
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PLLOT INFO.

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NO DESCRIPTION

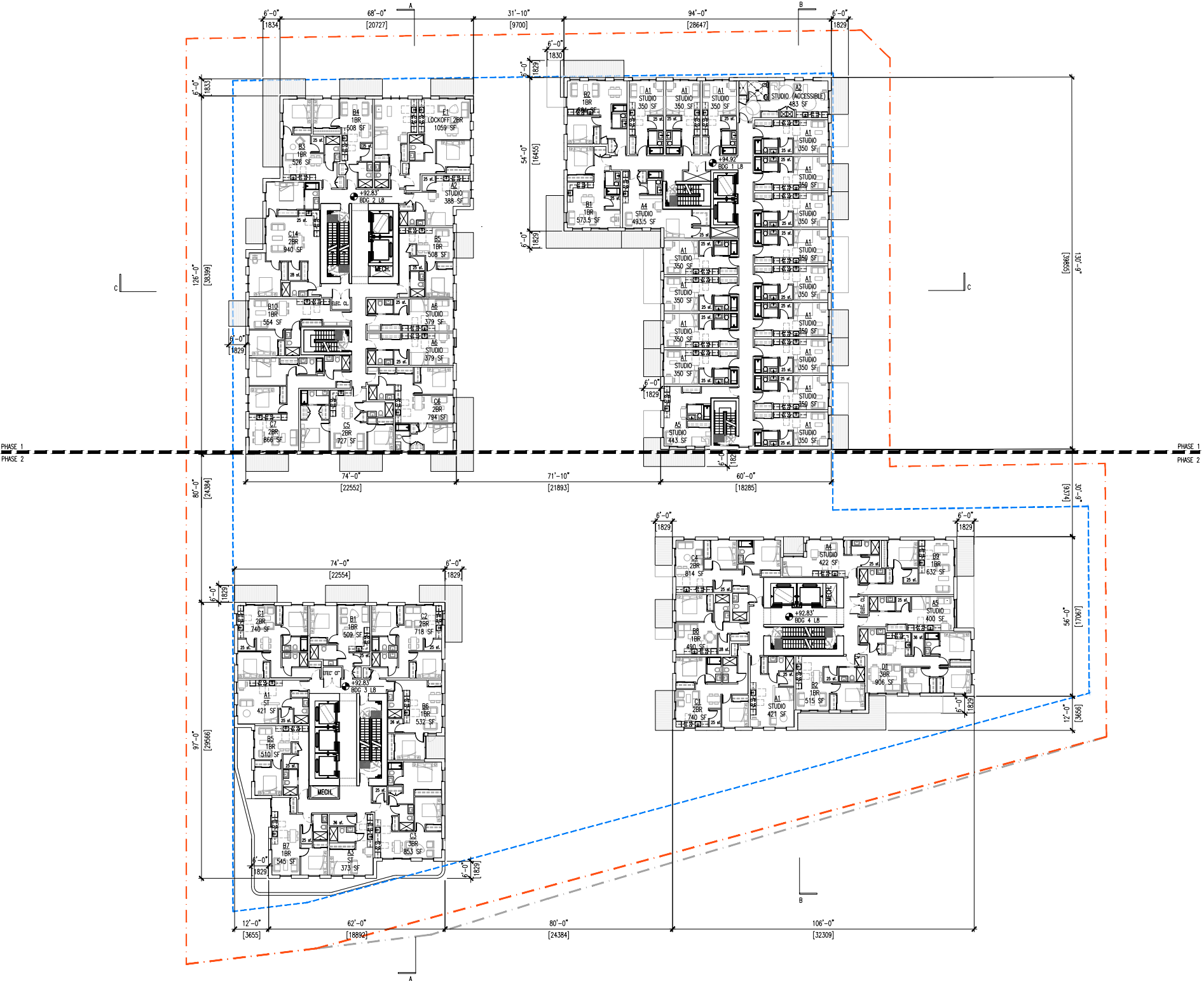
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1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

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L8 FLOOR PLAN

DATE	DRAWN BY	CHECKED BY	SCALE	JOB NUMBER
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A3.06



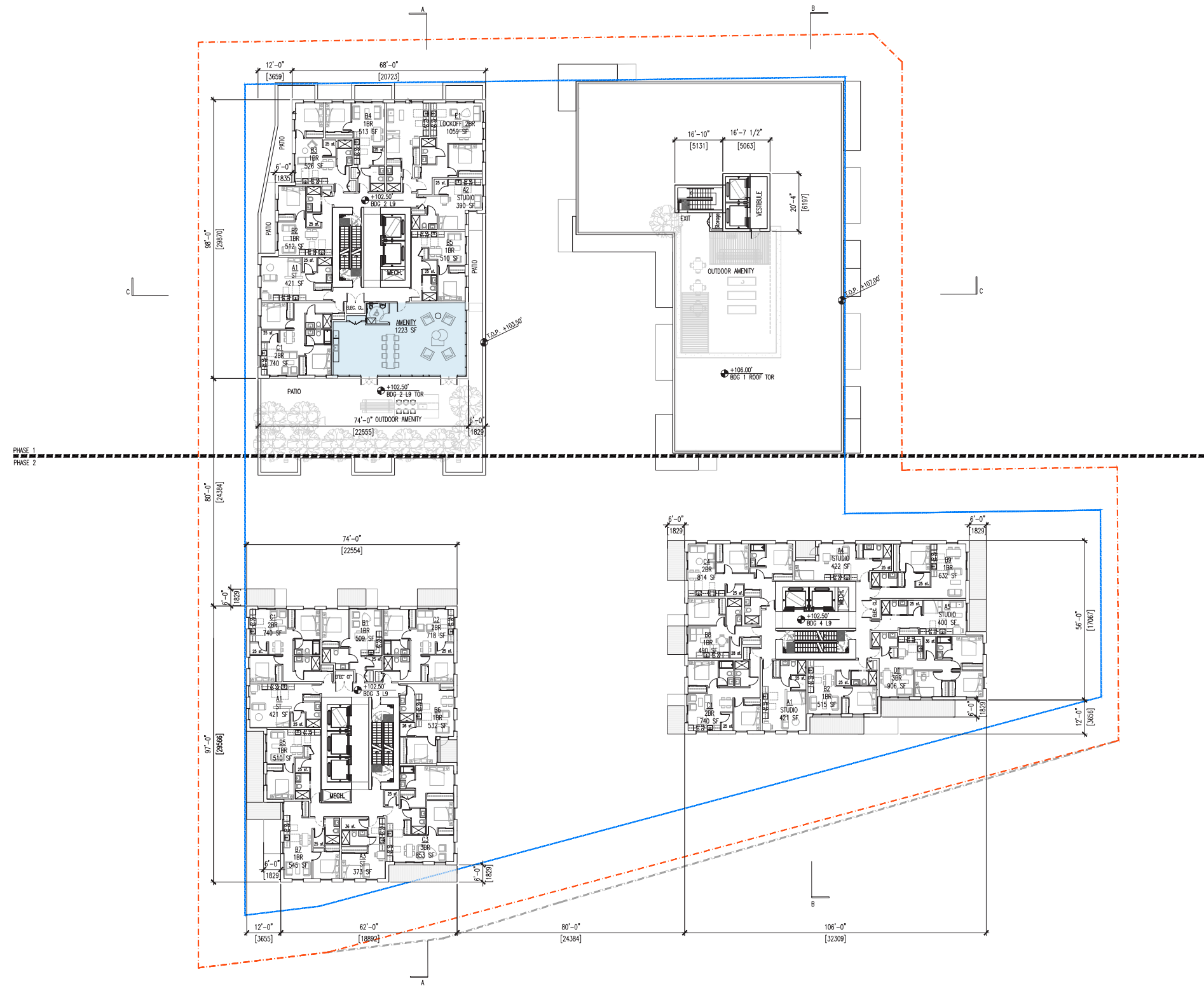
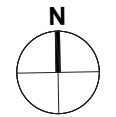
L9 Plan



GBL ARCHITECTS
 200 - 224 WEST 8TH AVENUE
 VANCOUVER, CANADA V5Y 1N5
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PLANT INFO:

NOTES
 NO DESCRIPTION



NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

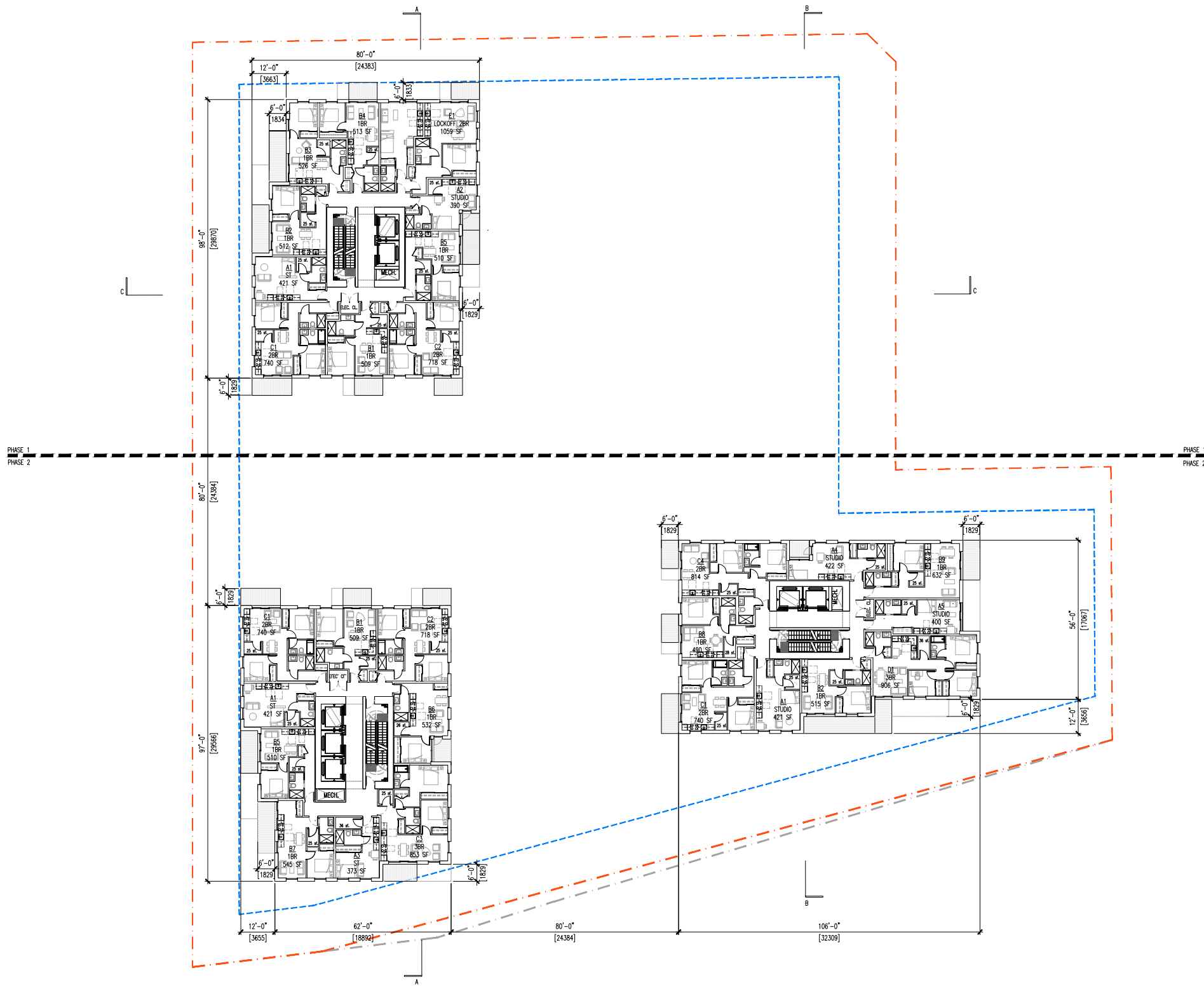
SOUTHWYND
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L9 FLOOR PLAN
 (B1 ROOF)

DATE	ILD
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

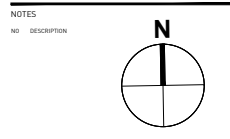
A3.07

L10-L22 Floor Plans



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NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

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L10-L22 FLOOR PLAN

DATE	ILO
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SCALE	22049
JOB NUMBER	

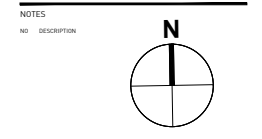
A3.08

L23 Plan



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NOTES



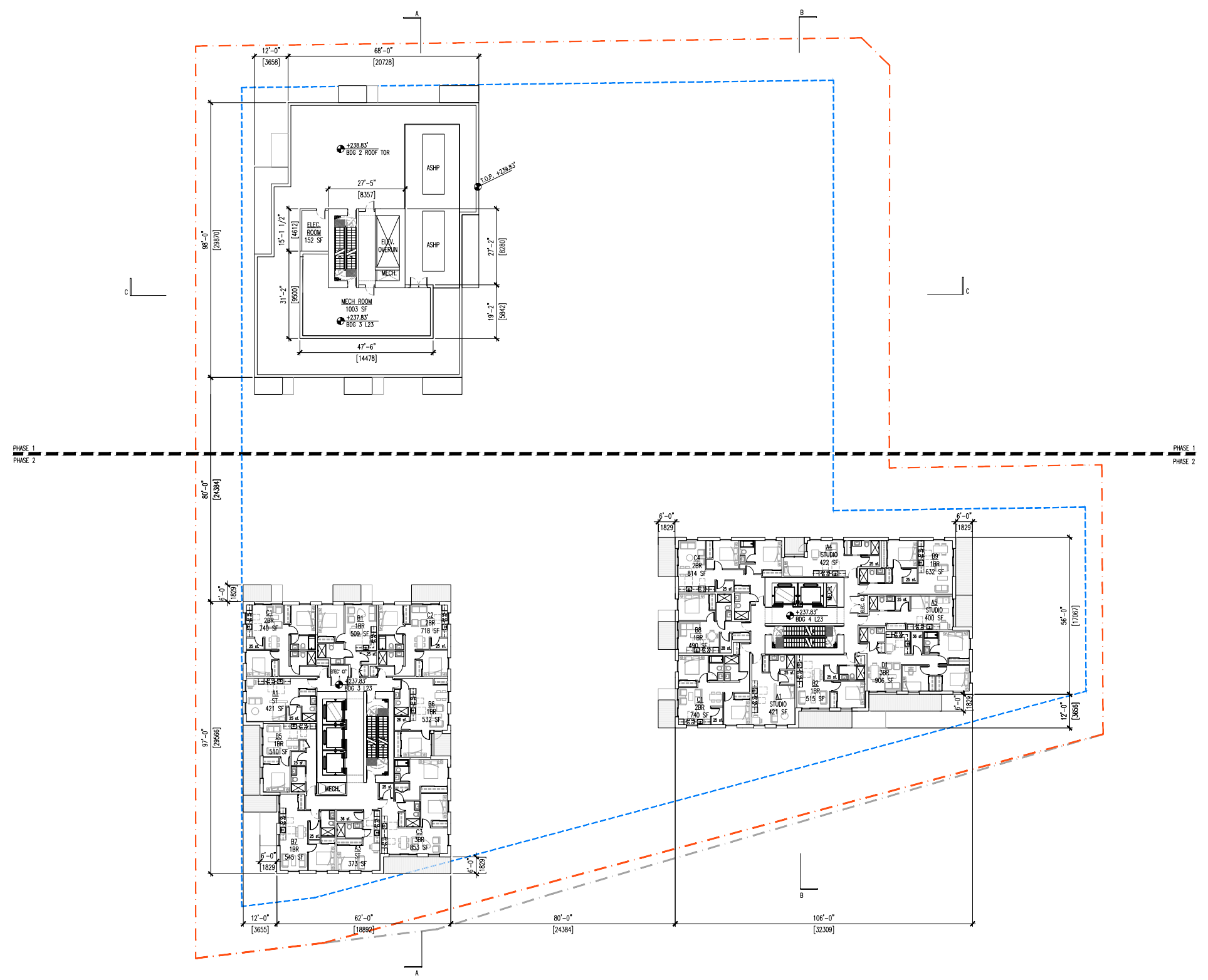
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1	2023 APR 20	PRELIM CONCEPT REVIEW
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4	2025 JAN 15	RZ SUBMISSION

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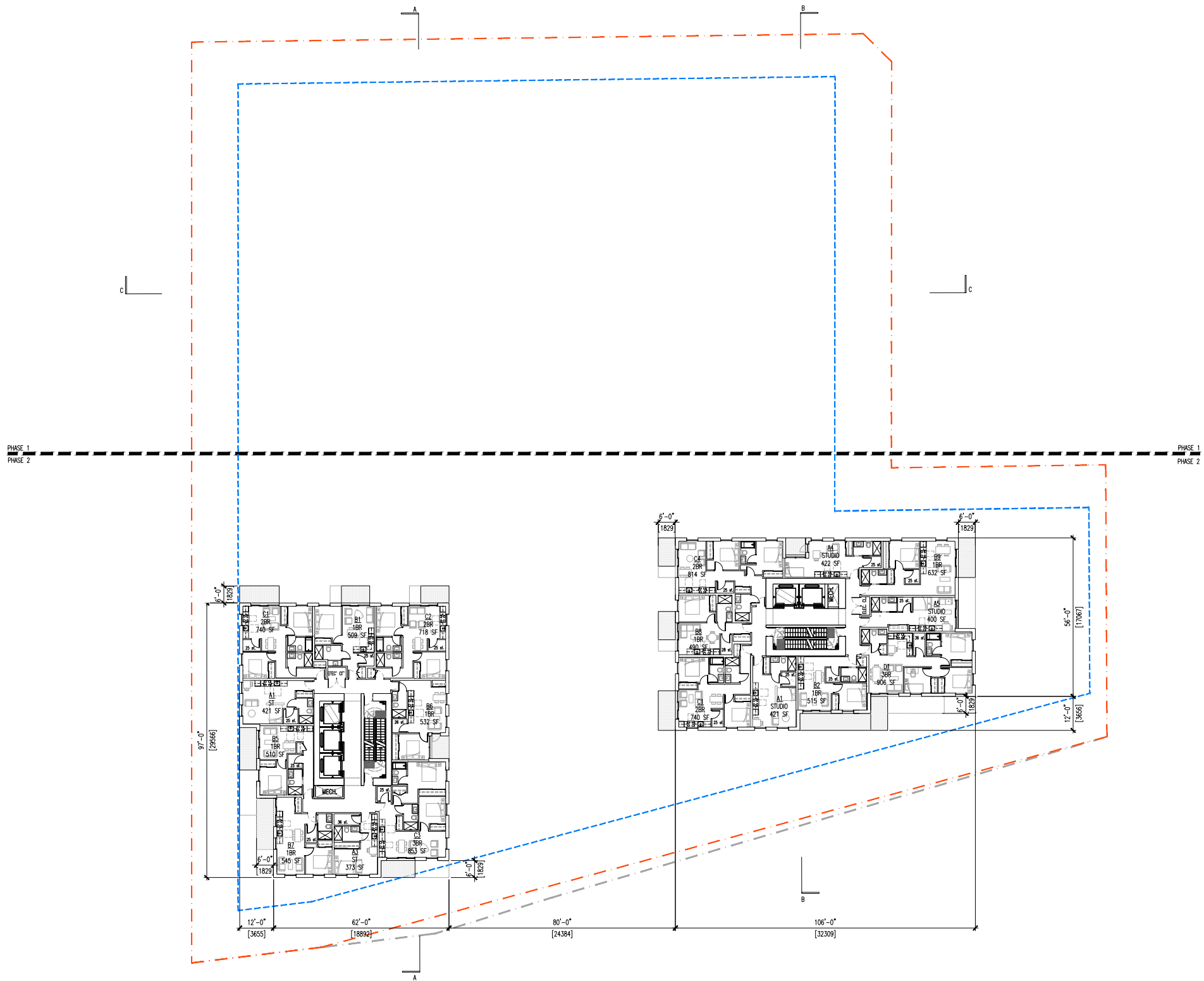
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(B2 ROOF)

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		1/16"=1'-0" (1:192)
		22049

A3.09



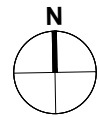
L24-L25 Plan



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NOTES
 NO. DESCRIPTION



NO.	DATE	REMARKS
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4	2025 JAN 15	RZ SUBMISSION

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L24-L25 FLOOR PLAN

DATE	ILO
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

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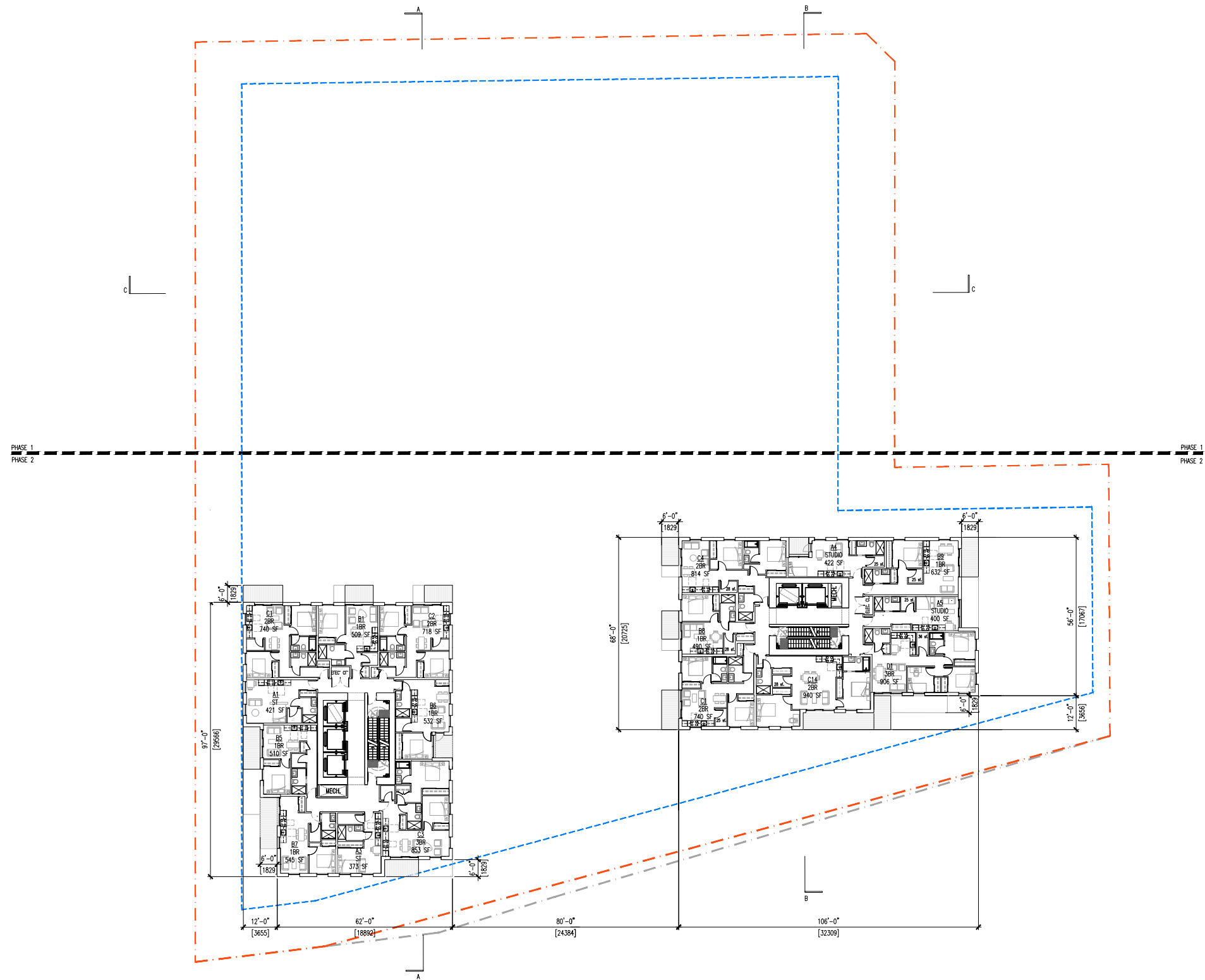
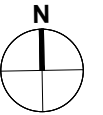
L26-L28 Plan



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200 - 224 WEST 8TH AVENUE
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PLOT INFO:

NOTES
NO DESCRIPTION



NO.	DATE	REMARKS
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2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

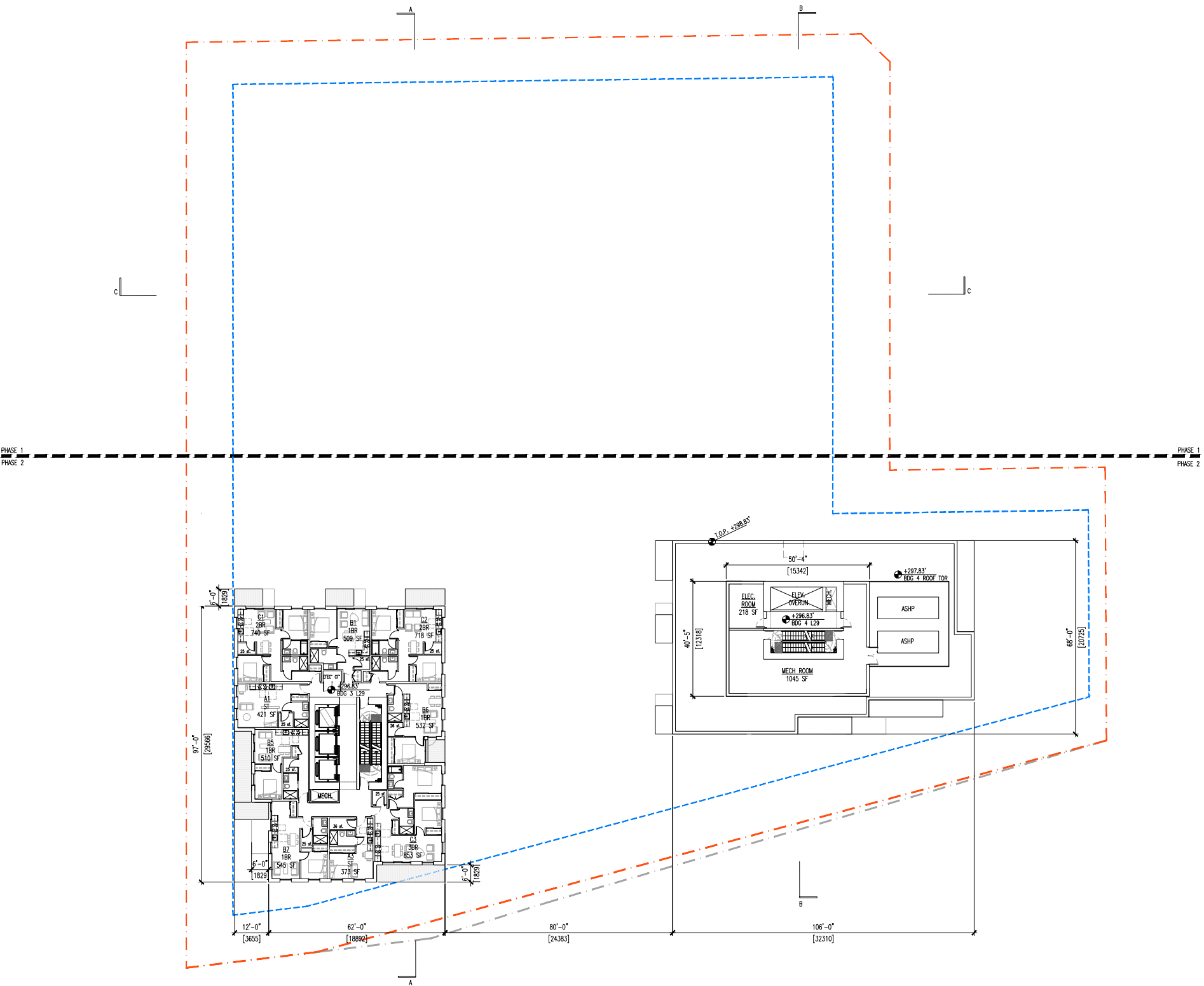
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PROJECT
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L26-L28 FLOOR PLAN

DATE	ILO
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JOB NUMBER	22049

A3.11

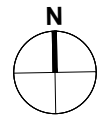
L29 Plan



GBL ARCHITECTS
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PLLOT INFO.

NOTES
NO. DESCRIPTION



NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
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L29 FLOOR PLAN
(B4 ROOF)

DATE	ILO
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	22049
JOB NUMBER	

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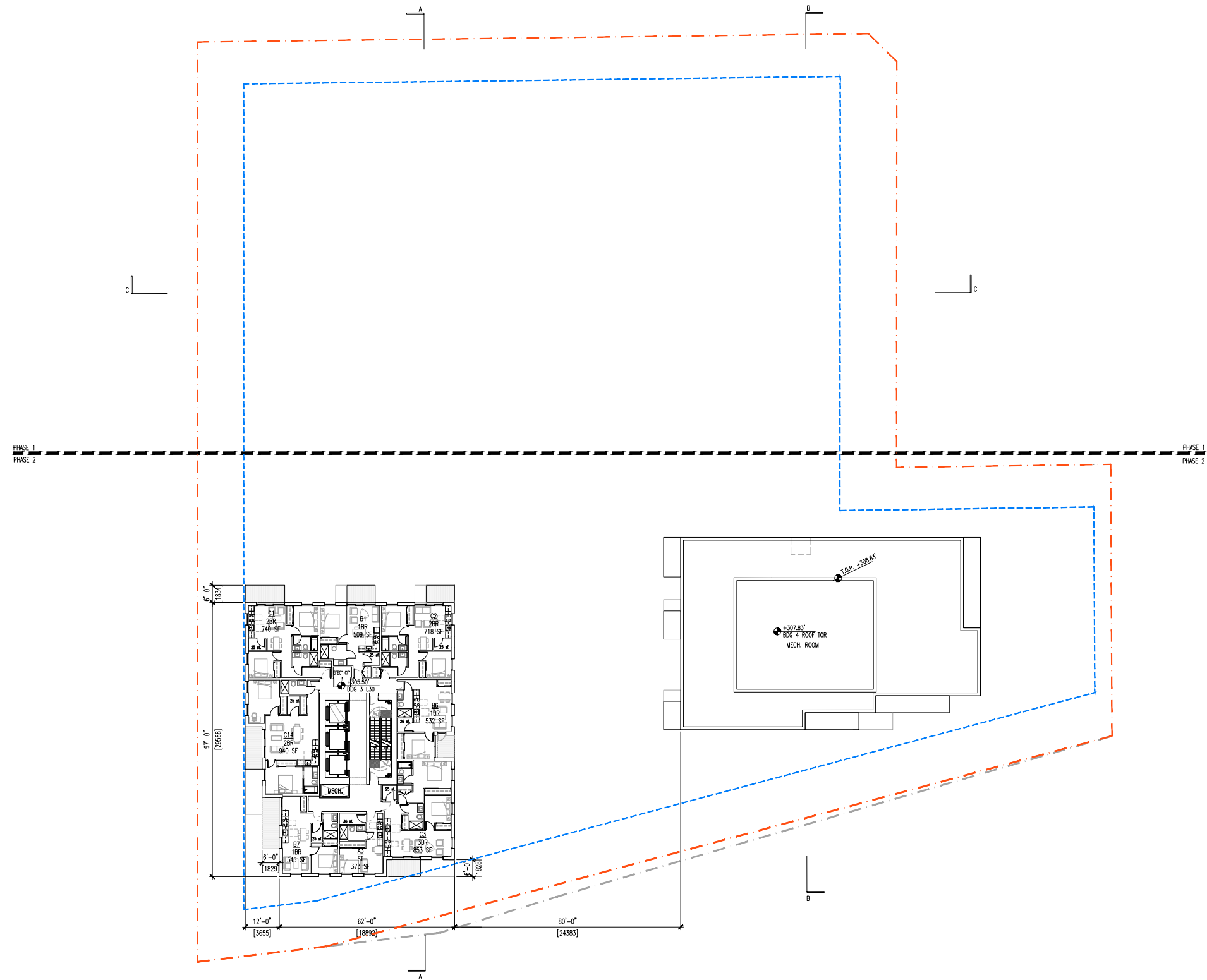
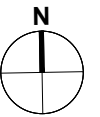
L30 Plan



GBL ARCHITECTS
 200 - 224 WEST 8TH AVENUE
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PLOT INFO:

NOTES
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NO.	DATE	REMARKS
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2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

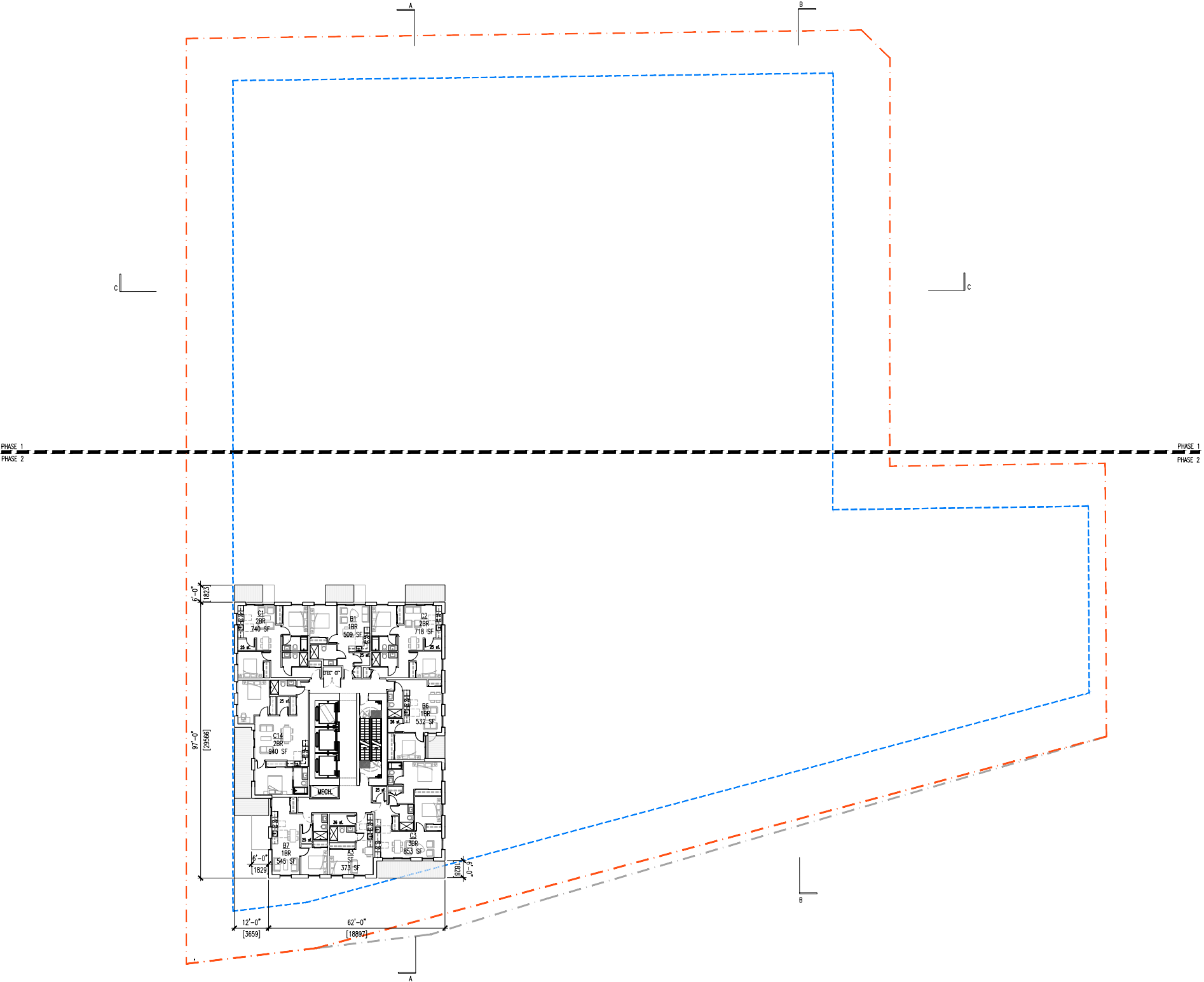
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L30 FLOOR PLAN

DATE	ILO
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JOB NUMBER	22049

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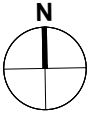
L31-L33 Plan



GBL ARCHITECTS
 300 - 224 WEST 8TH AVENUE
 VANCOUVER, CANADA V5Y 1N5
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NOTES

NO. DESCRIPTION



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L31-L33 FLOOR PLAN

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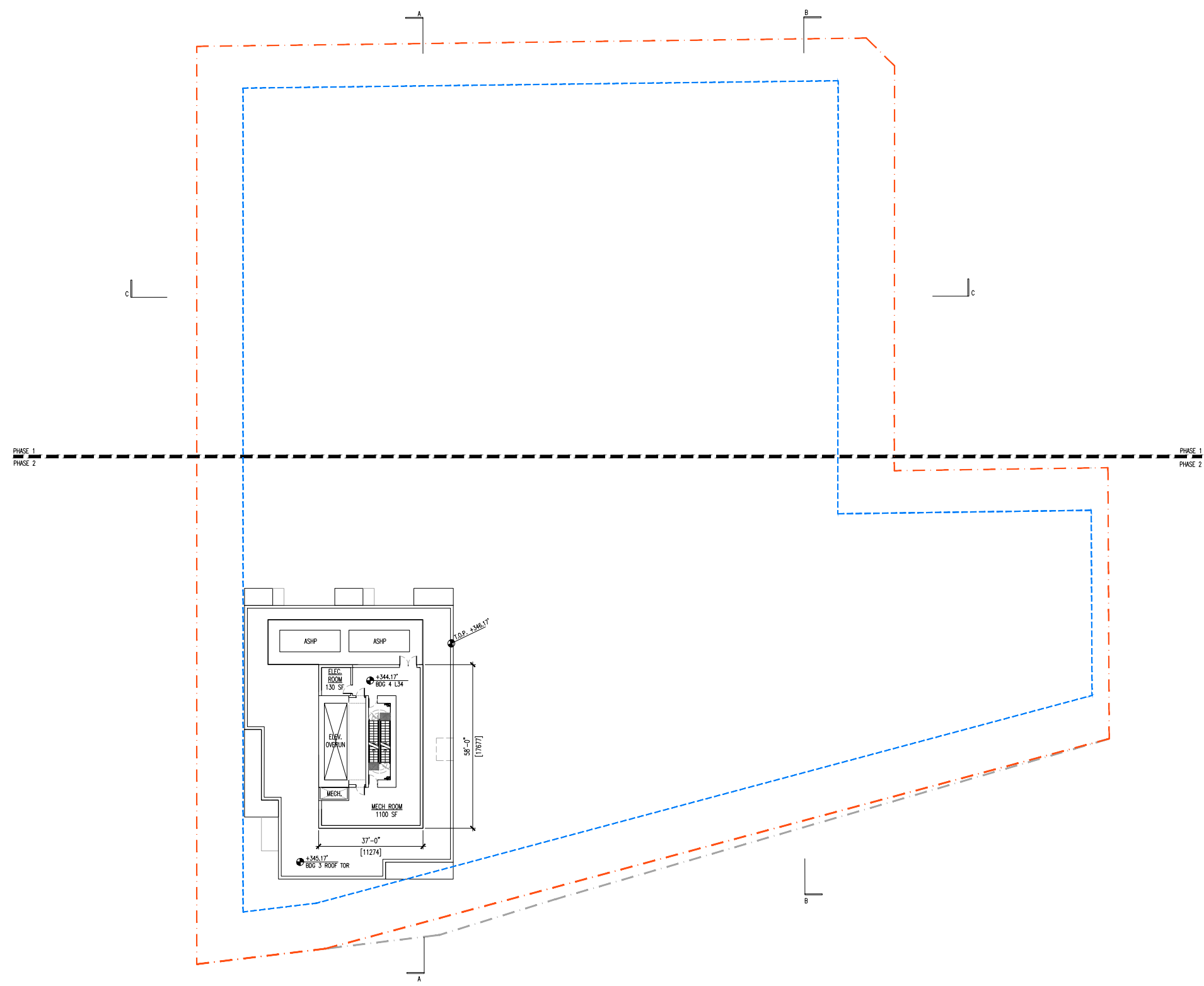
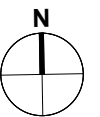
L34 Plan



GBL ARCHITECTS
 200 - 224 WEST 8TH AVENUE
 VANCOUVER, CANADA V5Y 1N5
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PLOT INFO:

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NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
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SOUTHWYND
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 PROJECT
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L34 FLOOR PLAN
 (B3 ROOF)

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JOB NUMBER	22049

A3.15



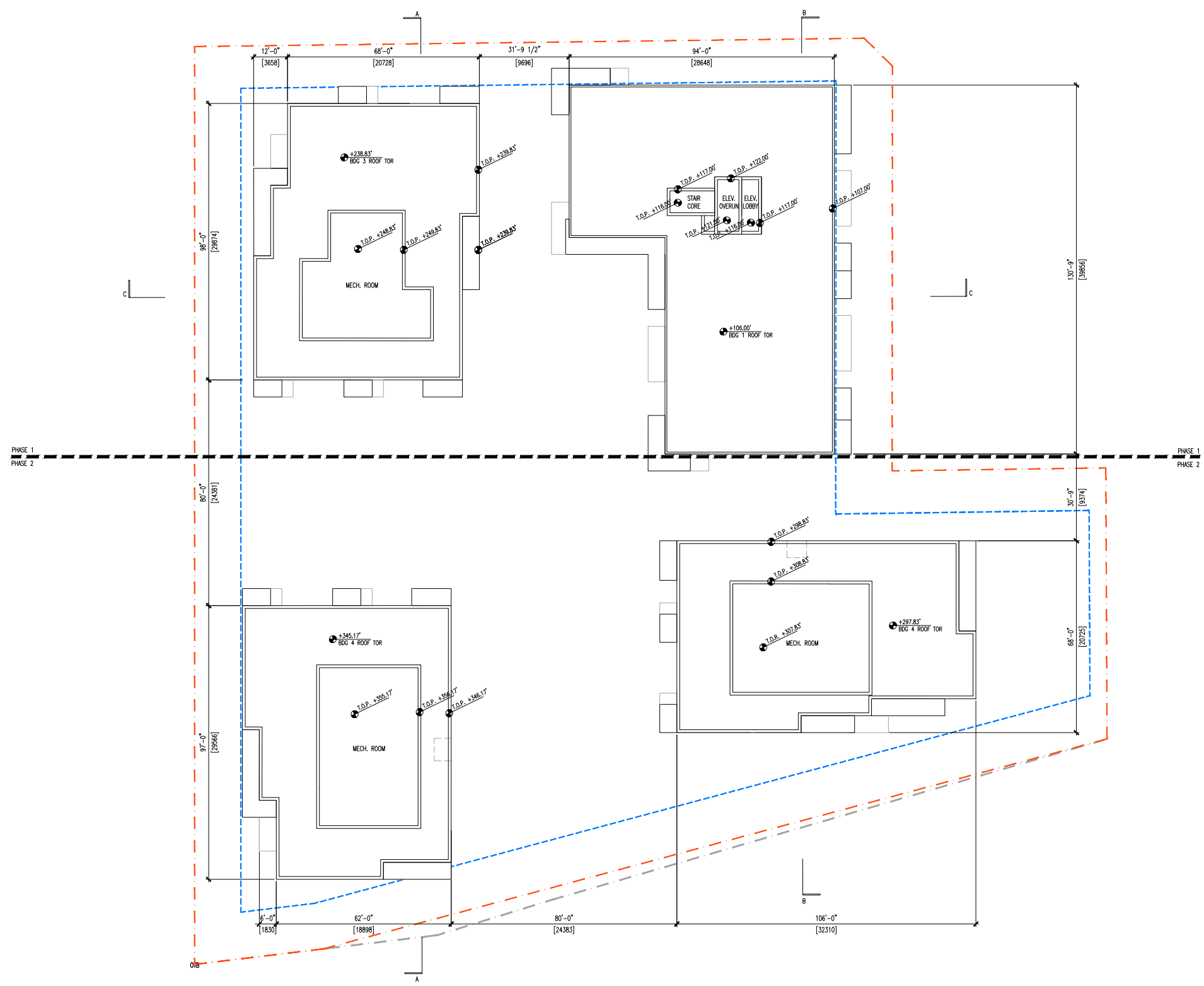
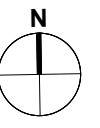
Roof Plan



GBL ARCHITECTS
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NO DESCRIPTION



NO.	DATE	REMARKS
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2	2024 NOV 13	CLIENT REVIEW SET
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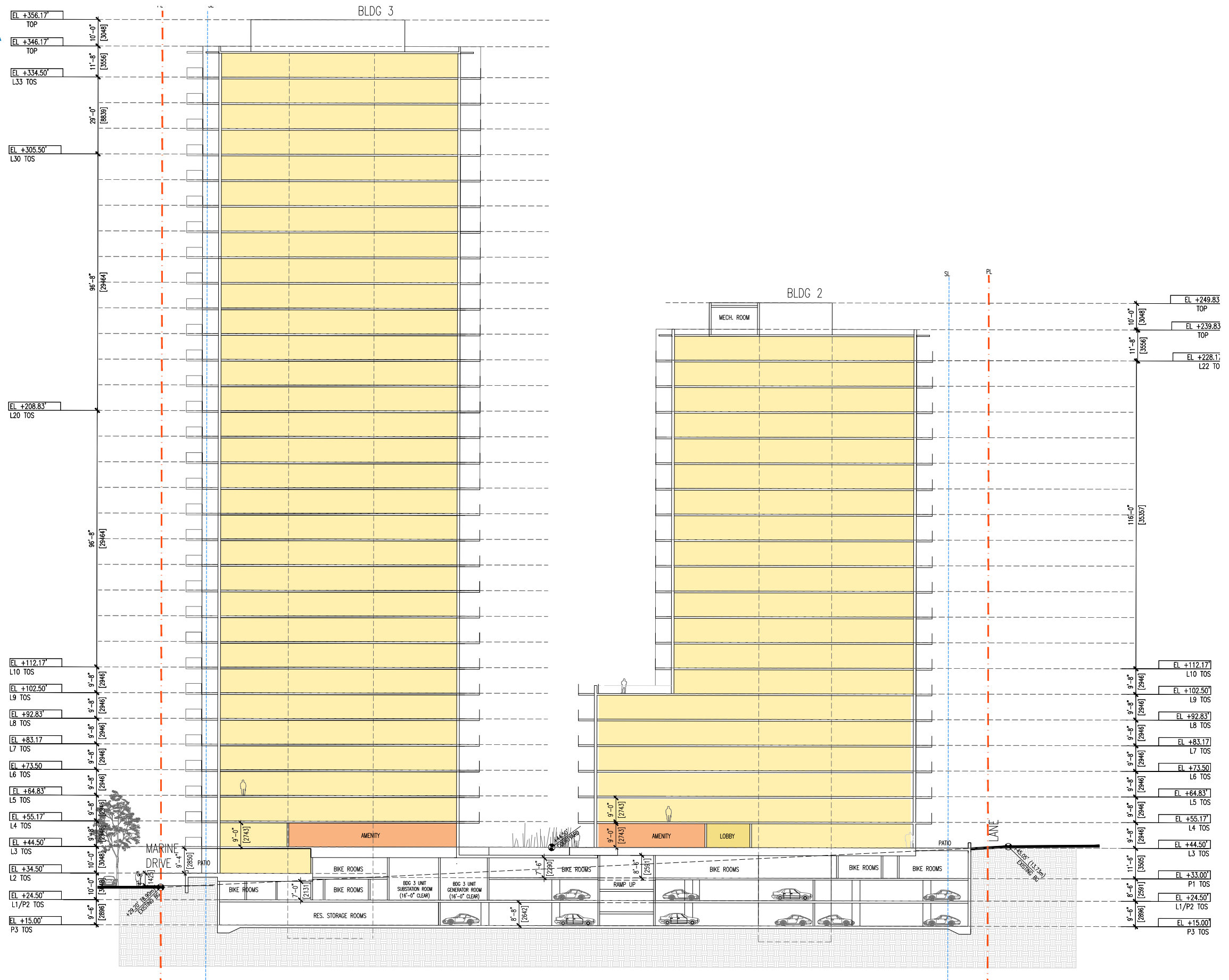
**SOUTHWYND
SOCIAL HOUSING
PROJECT**
8080 YUKON STREET
VANCOUVER, BC

ROOF PLAN

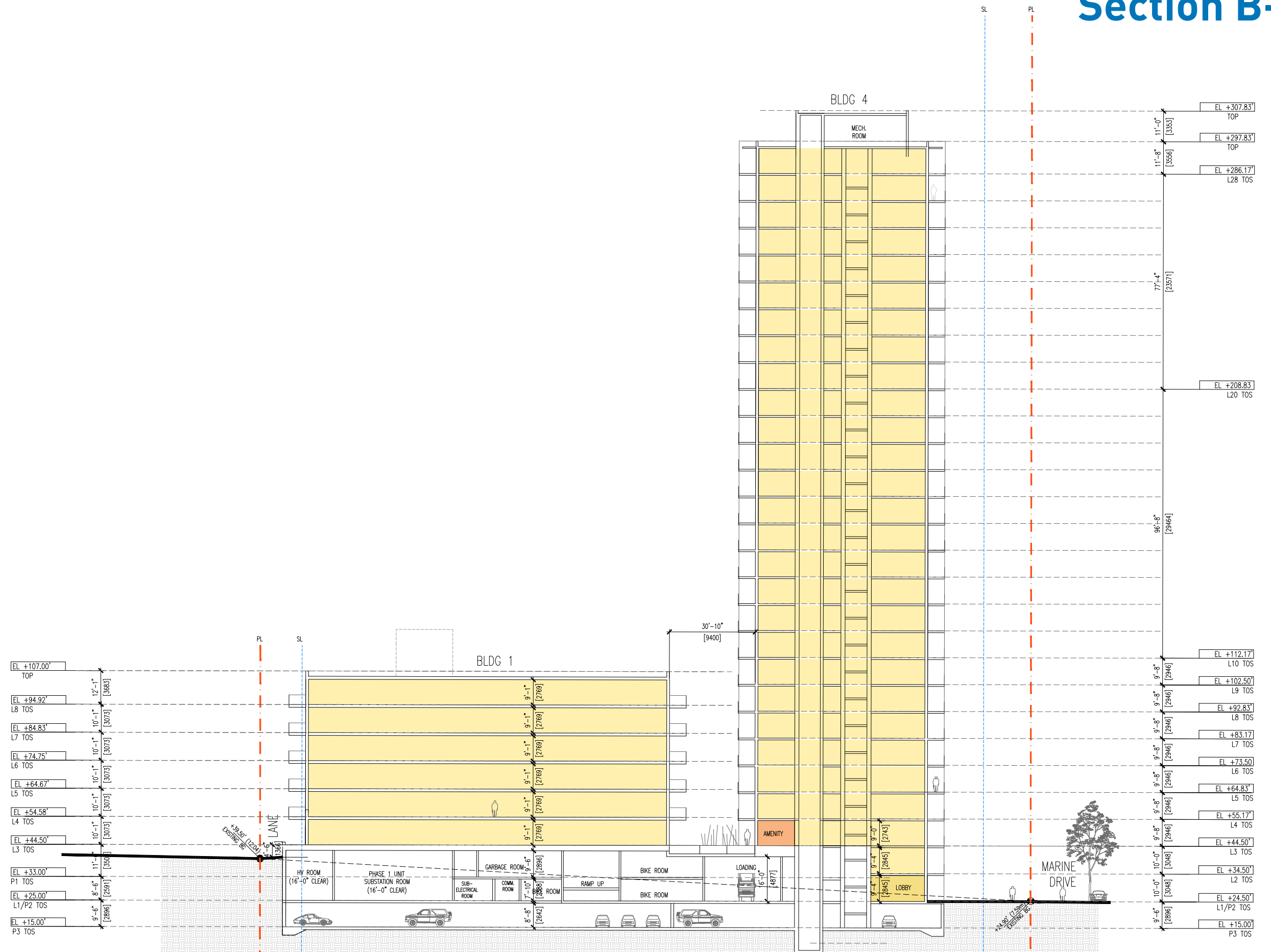
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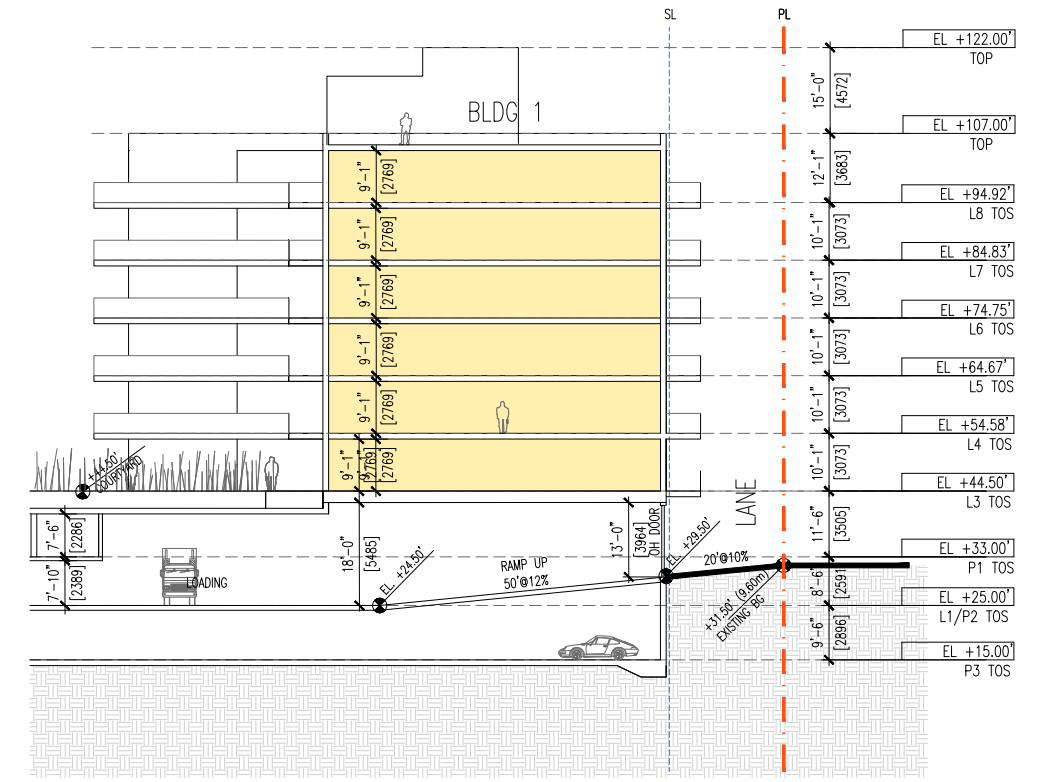
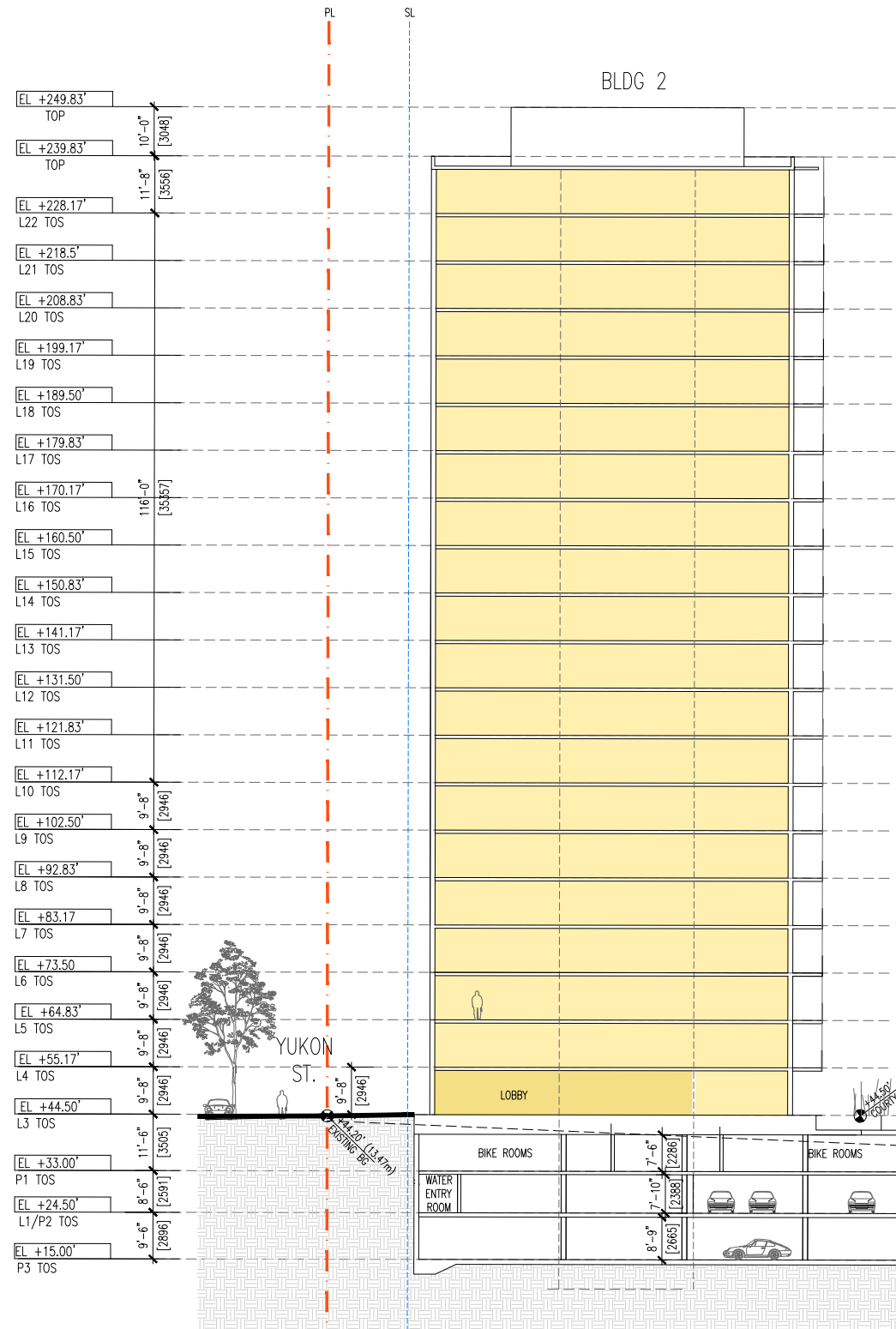
Section A-A



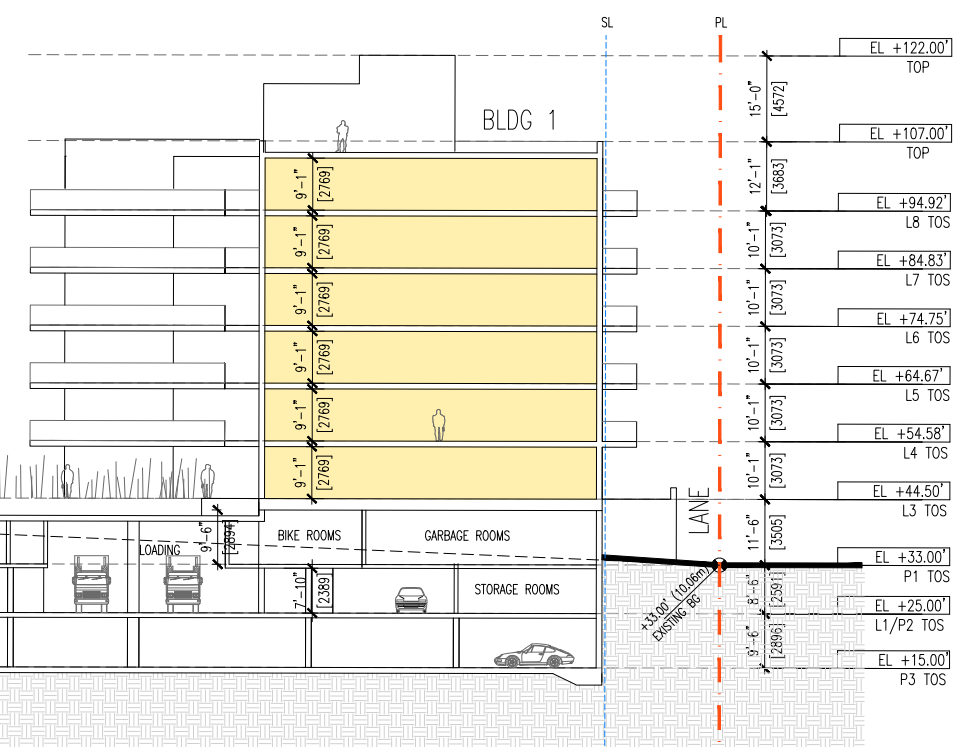
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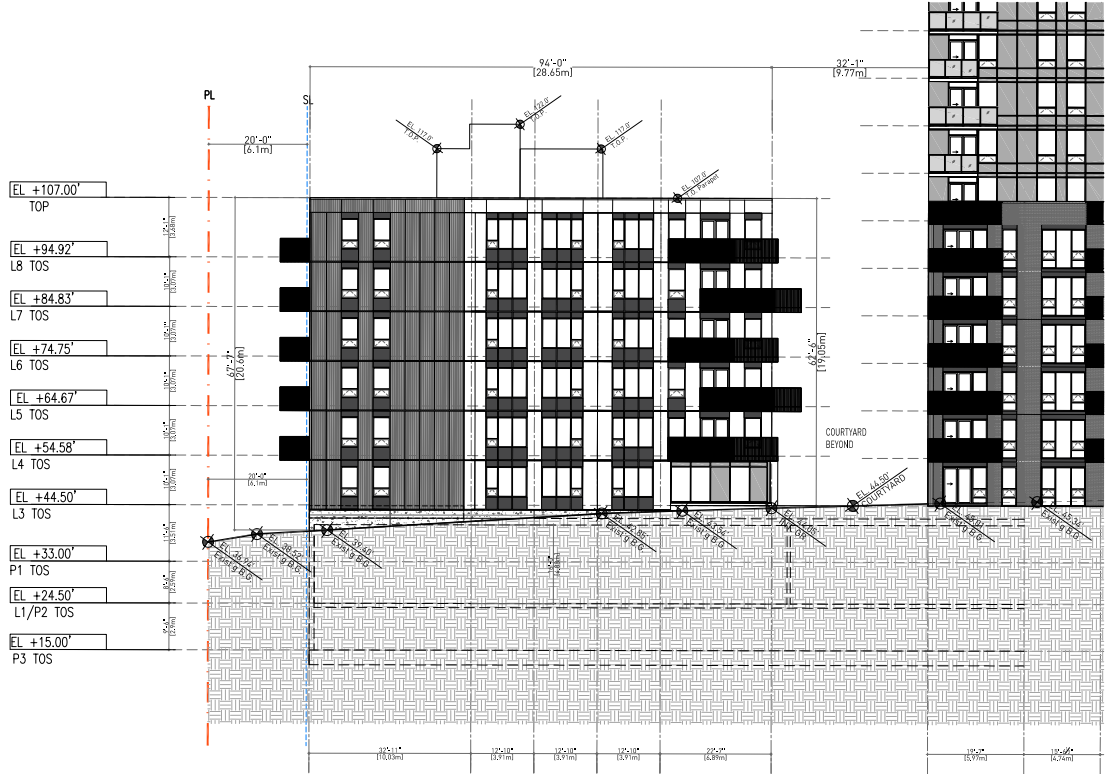
Section C-C



PARKING ENTRANCE SECTION

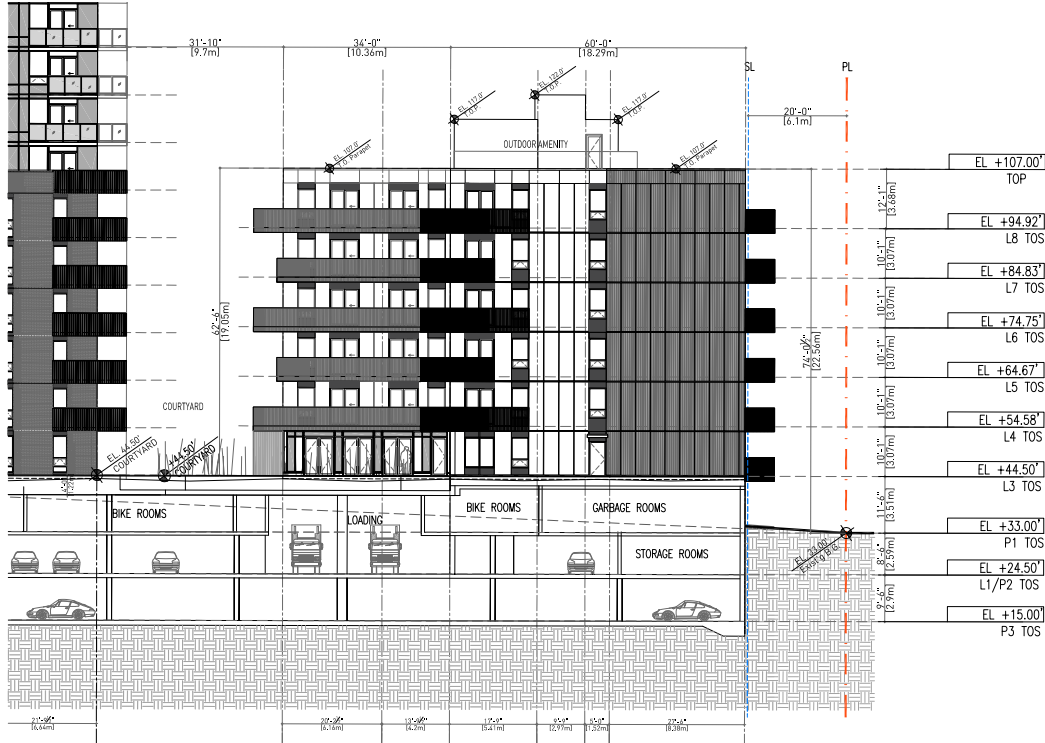


Building 1: South/North Elevations



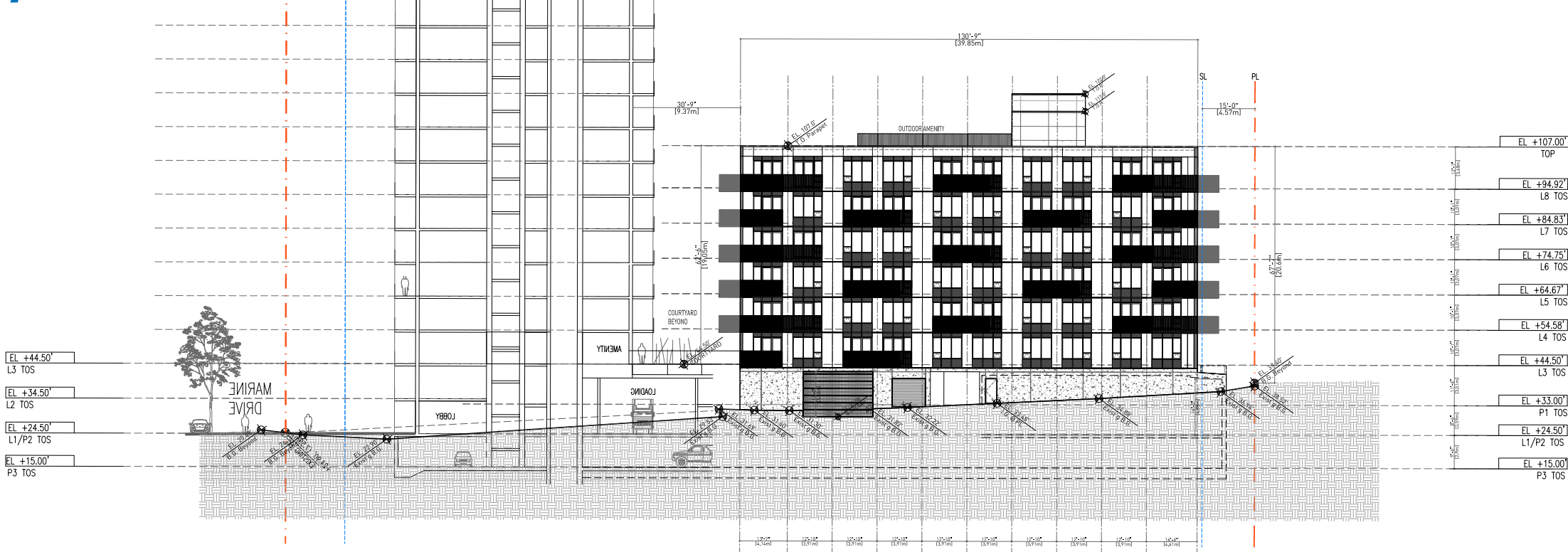
BUILDING 1 - NORTH ELEVATION

BUILDING 2

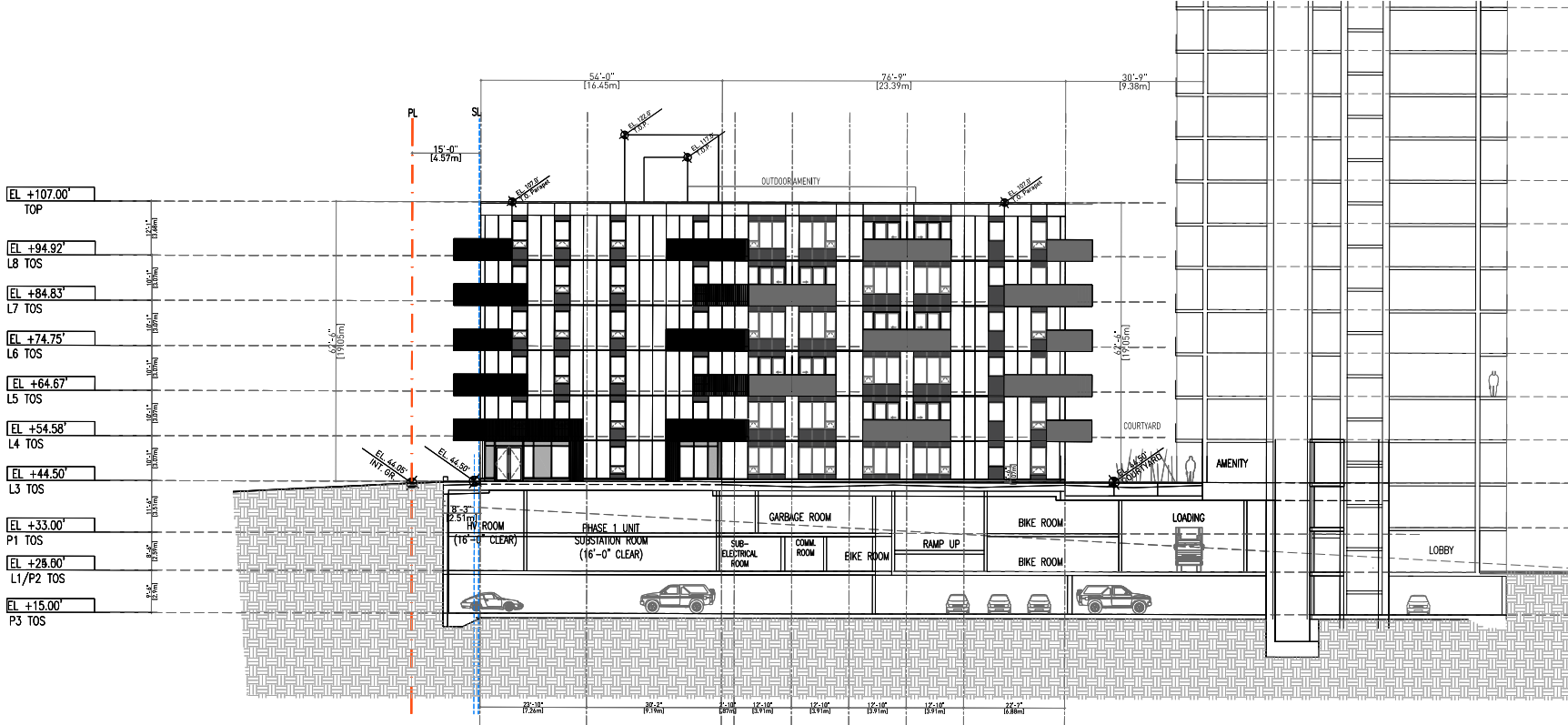


BUILDING 1 - SOUTH ELEVATION

Building 1: East/West Elevations

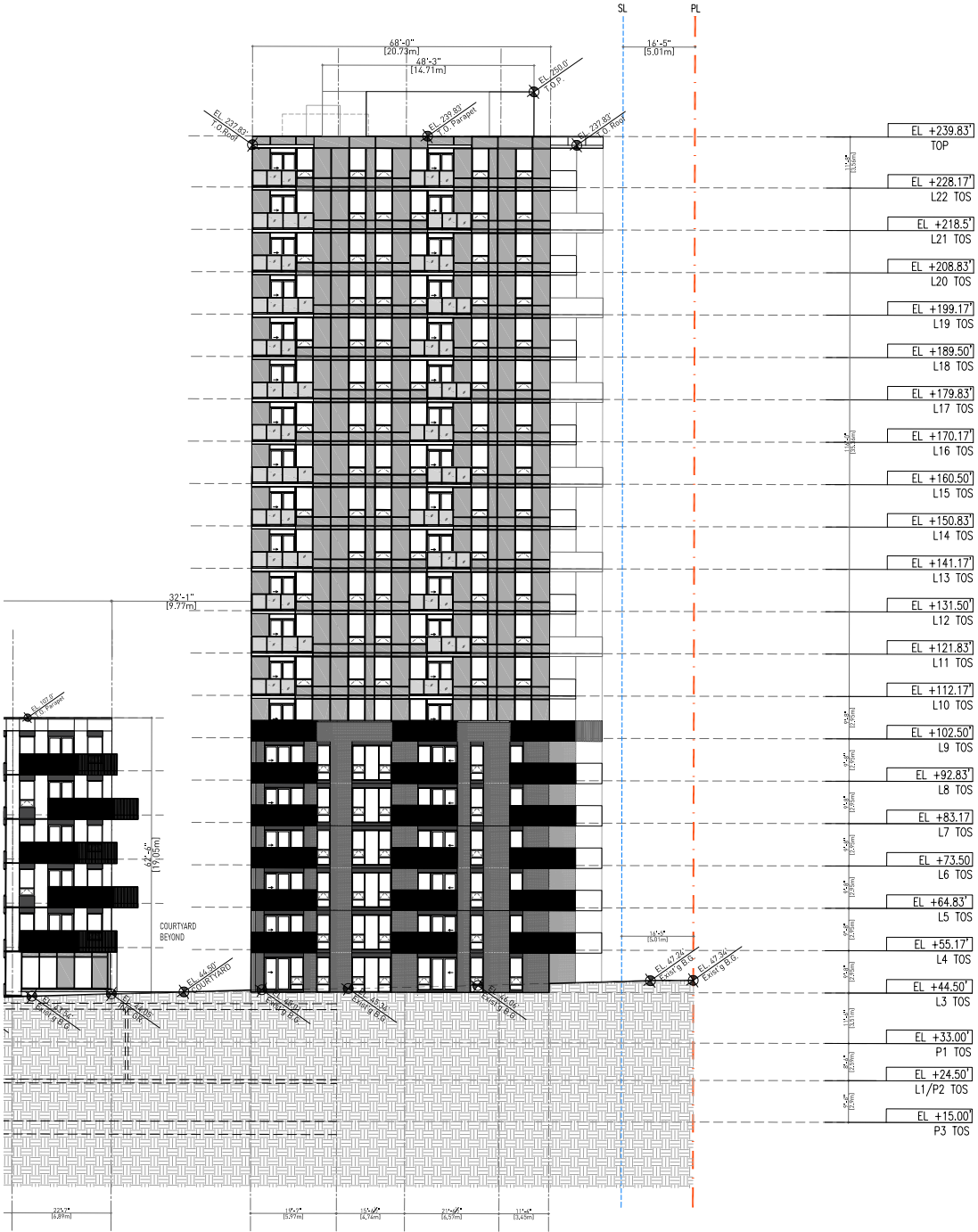


BUILDING 1 - EAST ELEVATION

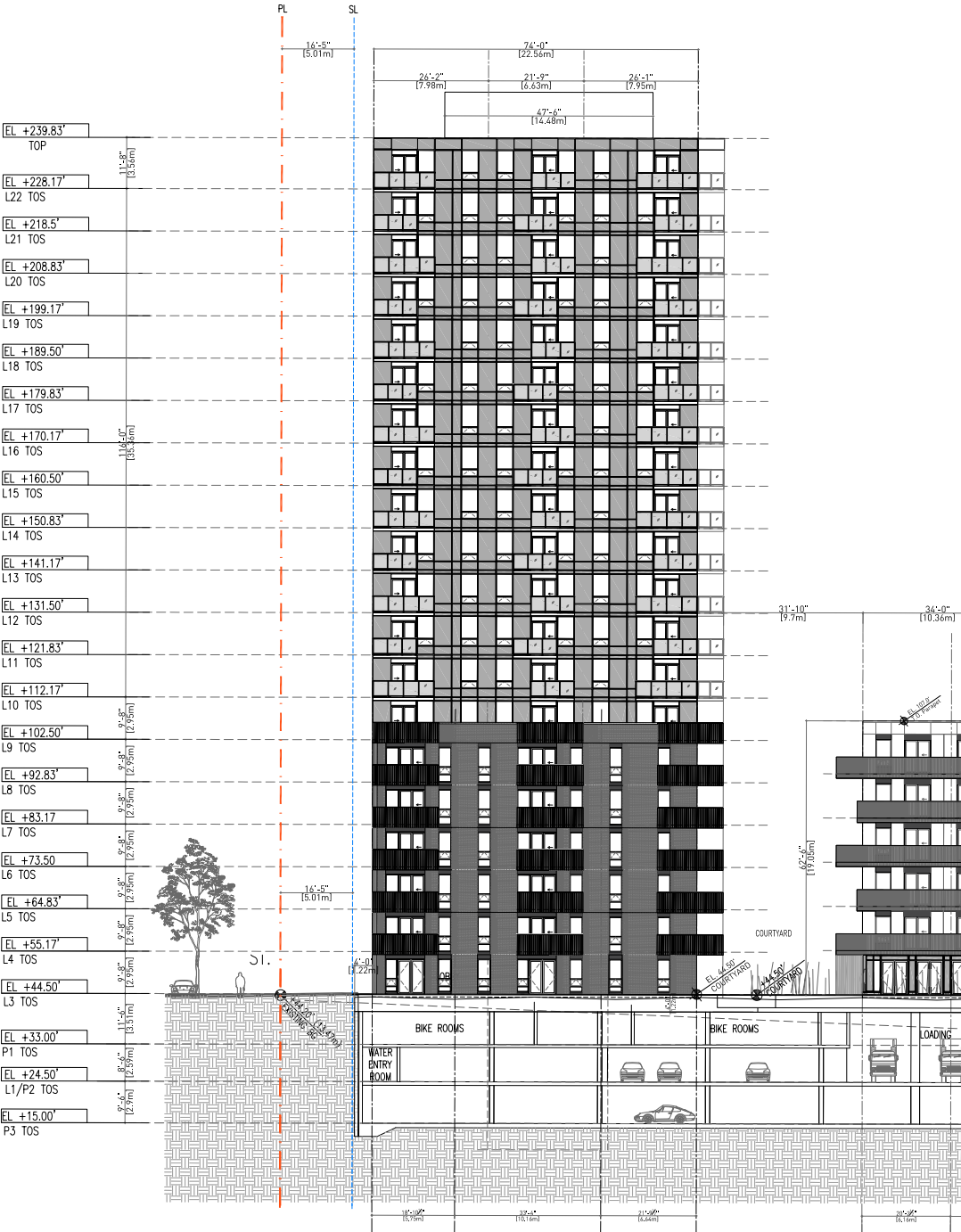


BUILDING 1 - WEST ELEVATION

Building 2: North/South Elevations

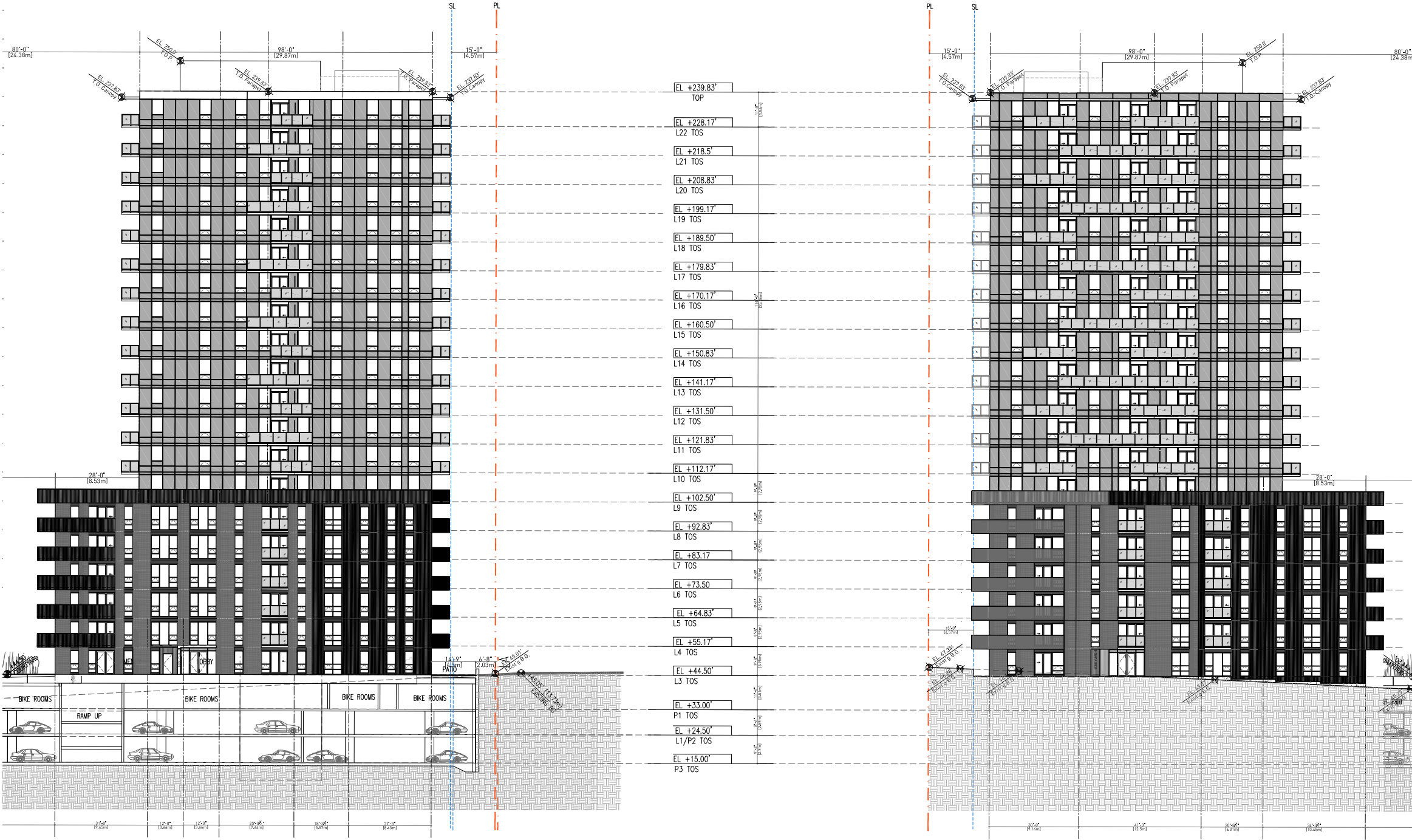


BUILDING 2 - NORTH ELEVATION



BUILDING 2 - SOUTH ELEVATION

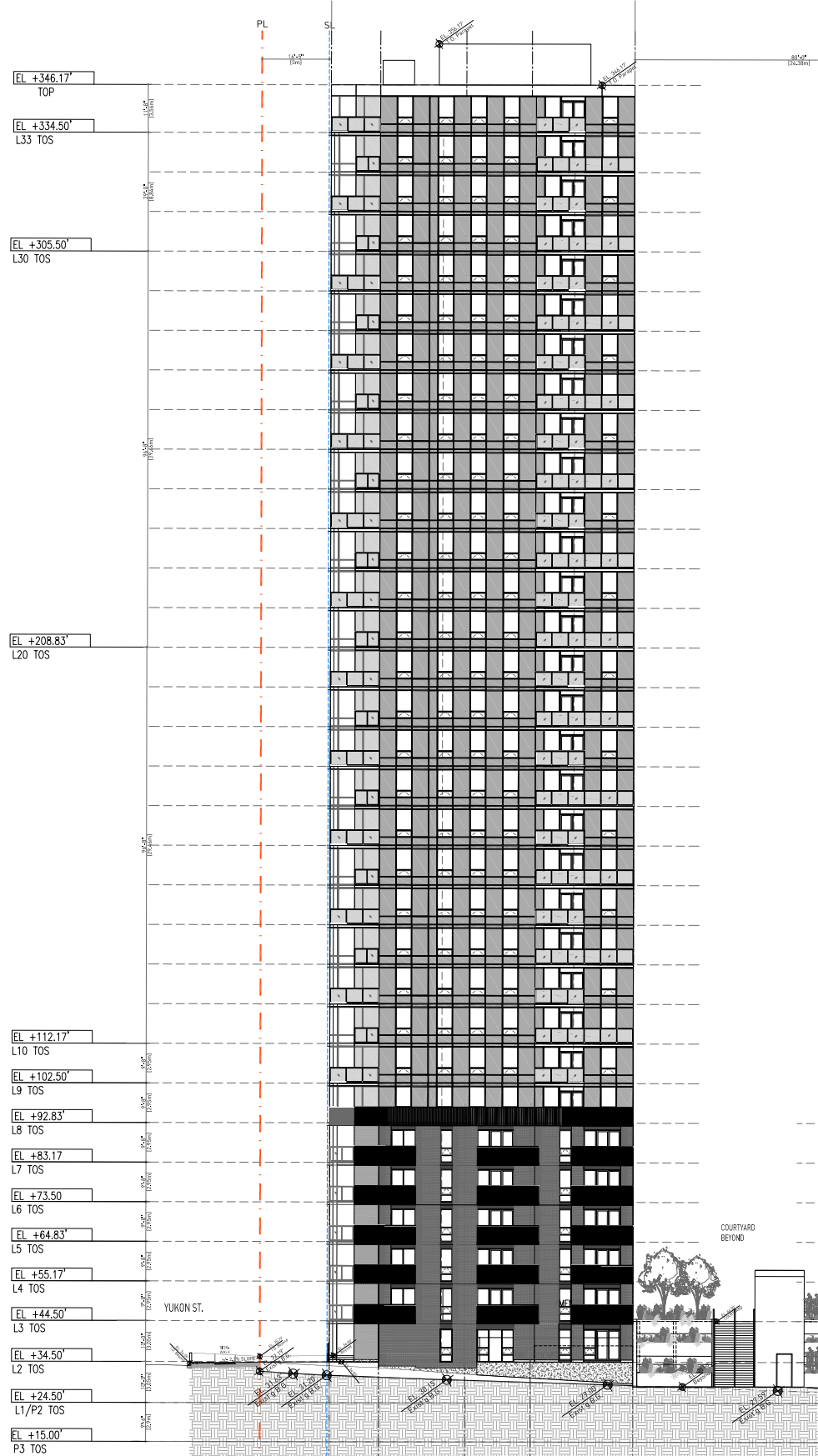
Building 2: East/West Elevations



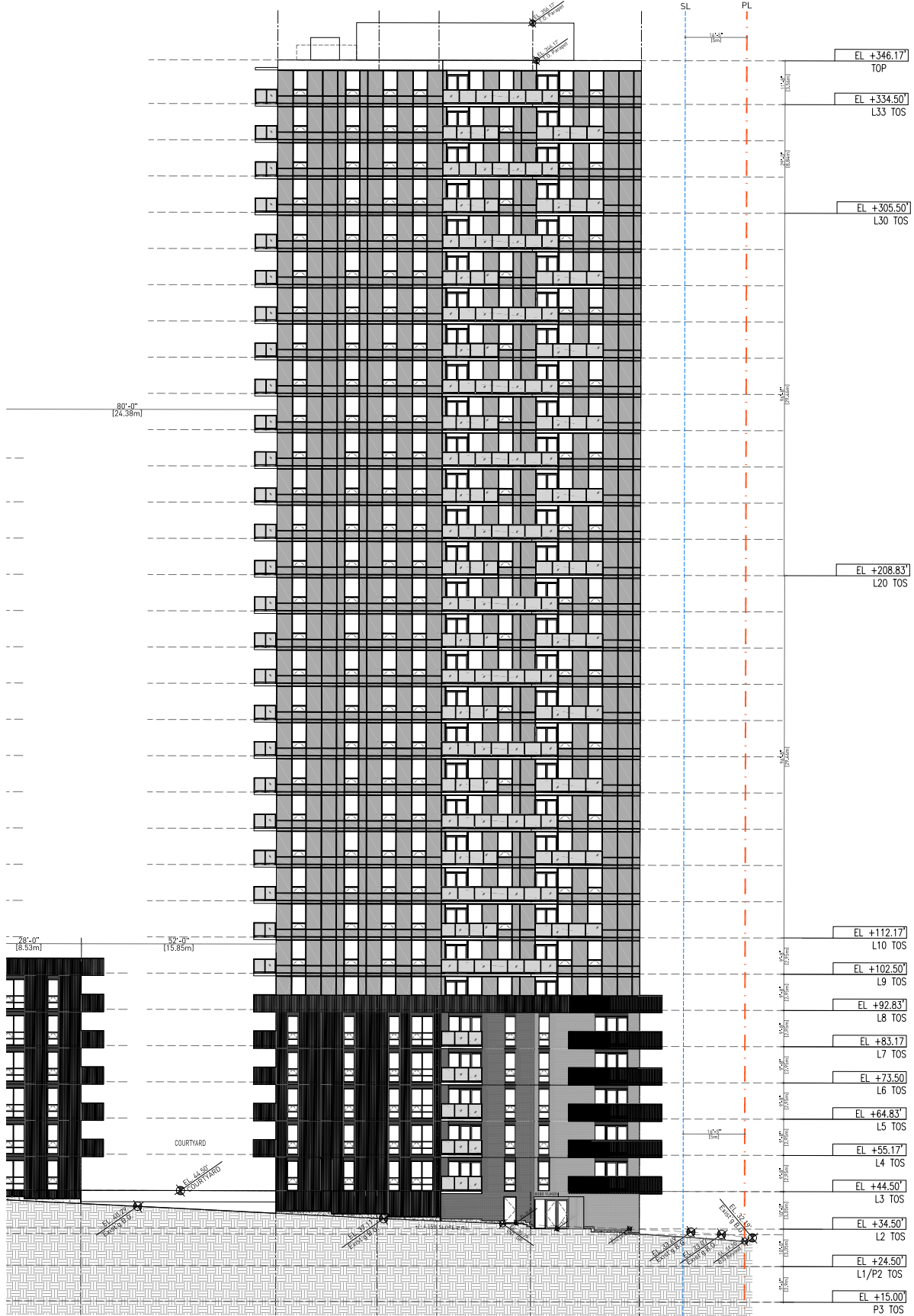
BUILDING 2 - EAST ELEVATION

BUILDING 2 - WEST ELEVATION

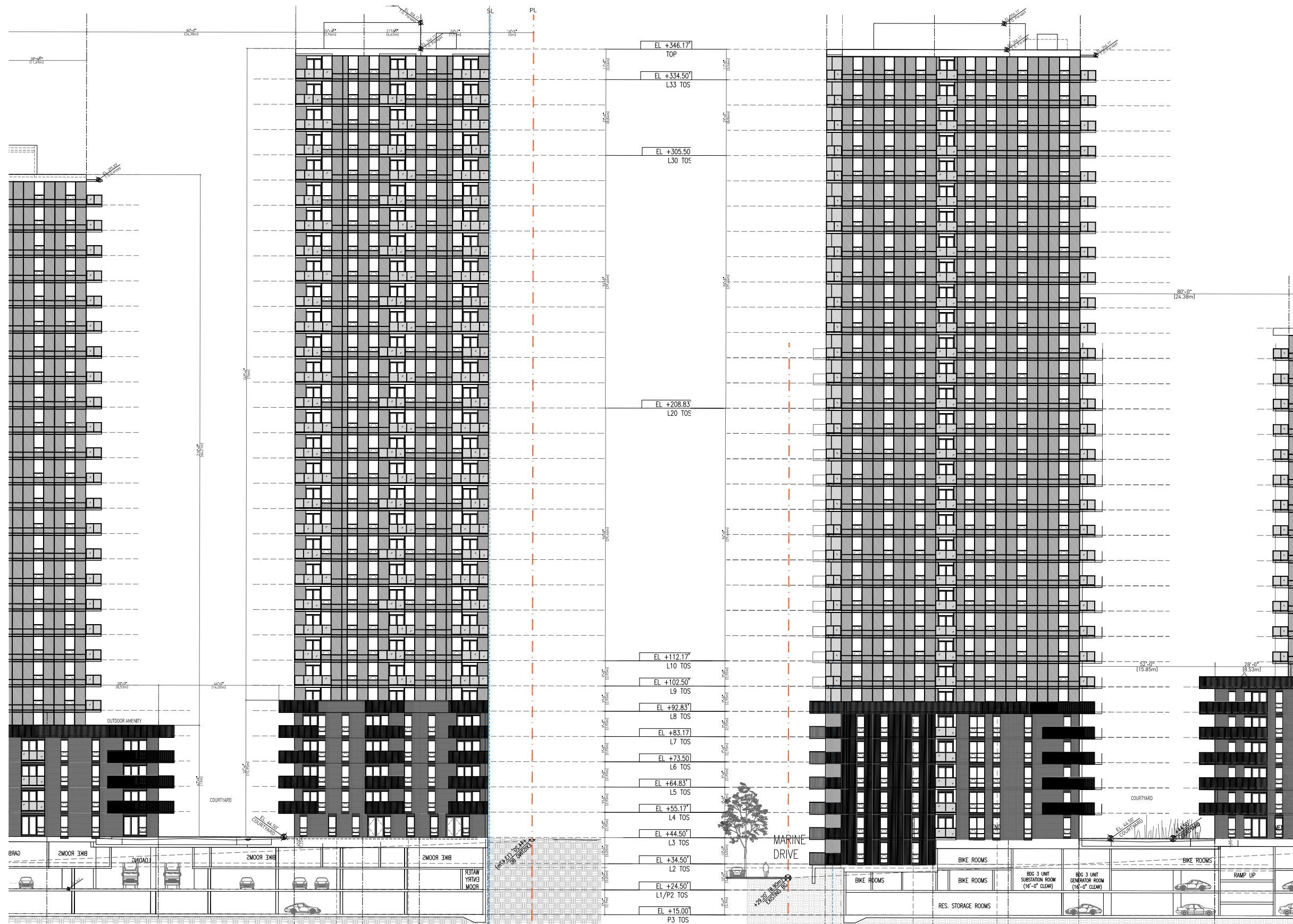
Building 3: South/West Elevations



BUILDING 3 - SOUTH ELEVATION



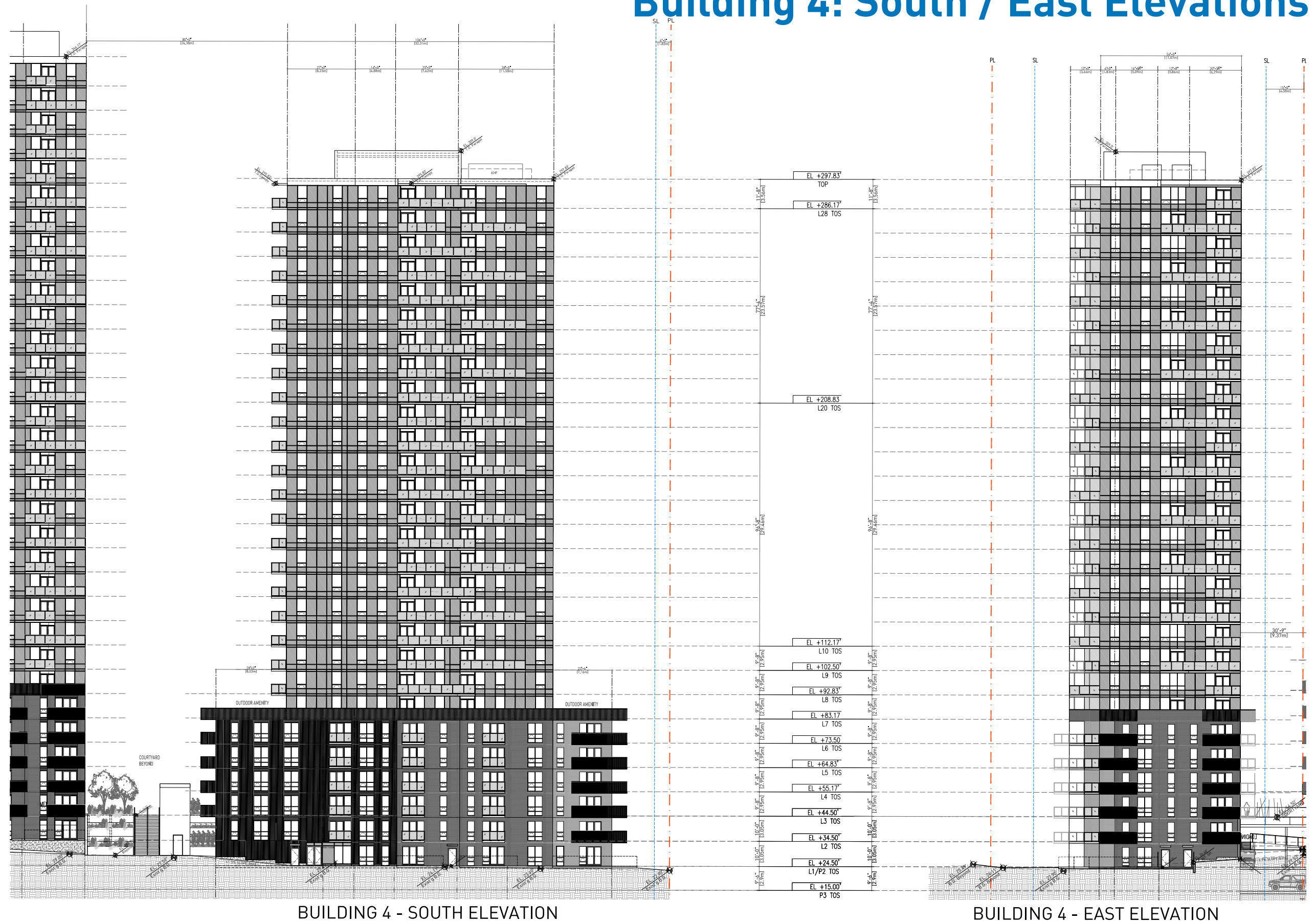
BUILDING 3 - WEST ELEVATION



BUILDING 3 - NORTH ELEVATION

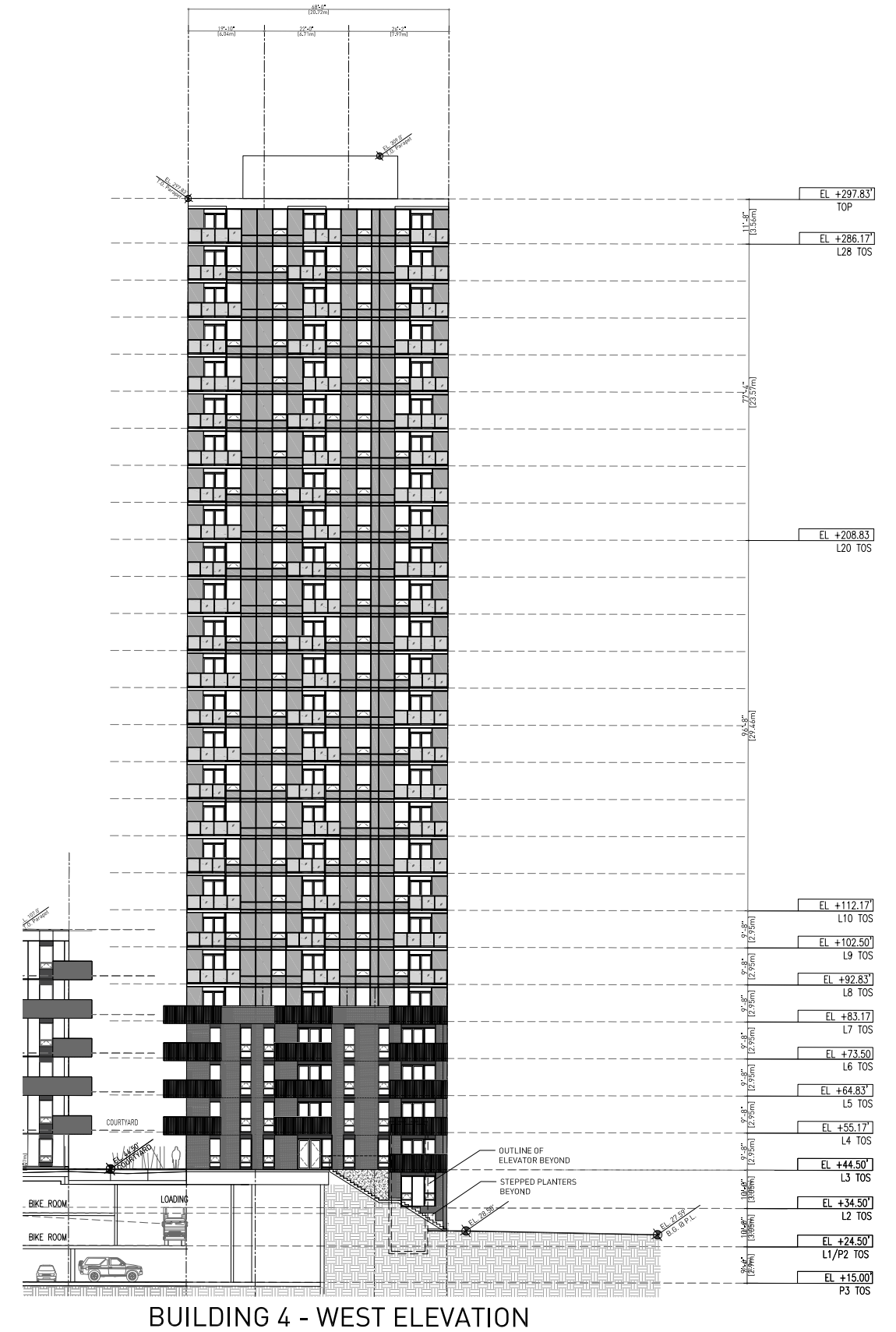
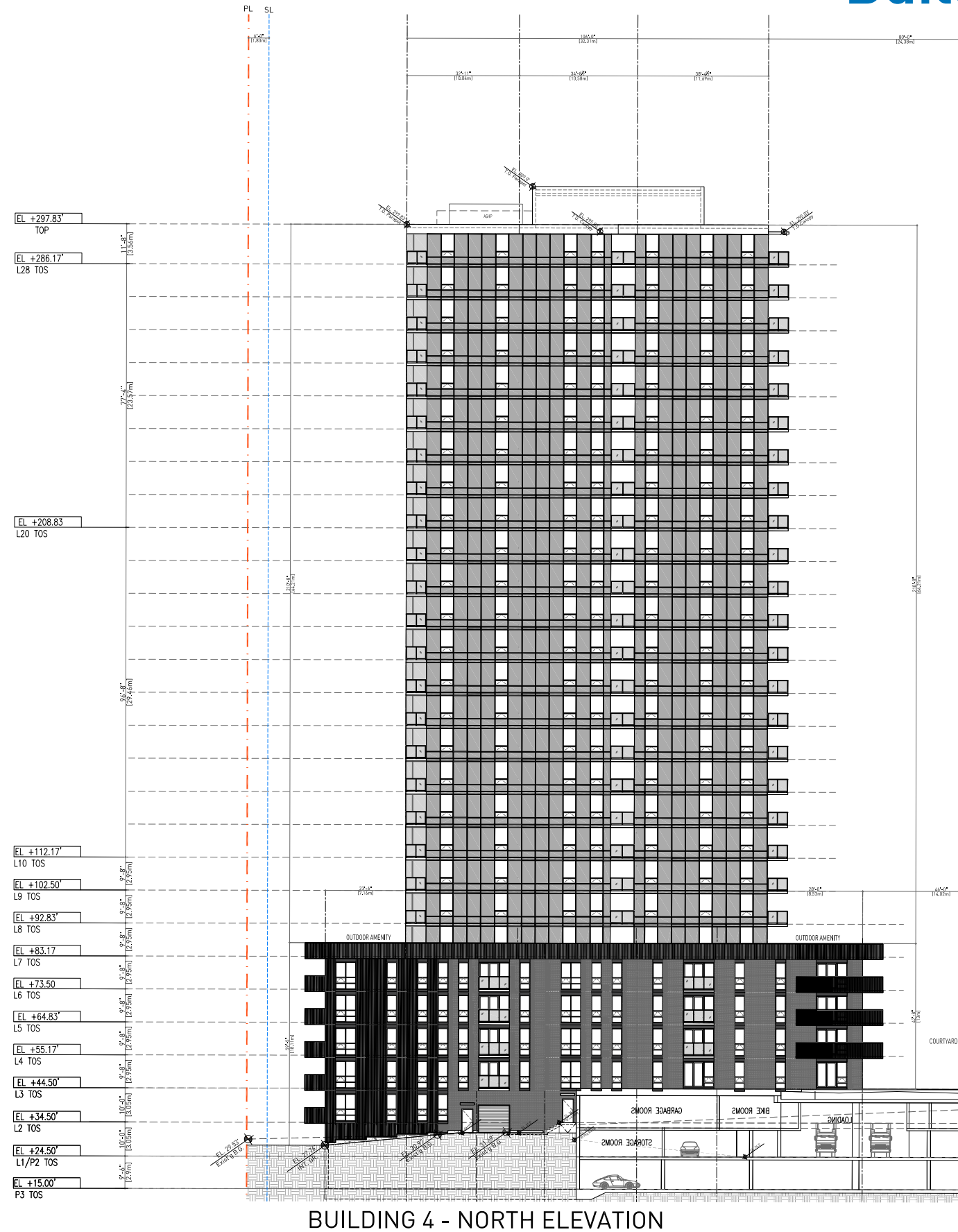
BUILDING 3 - EAST ELEVATION

Building 4: South / East Elevations

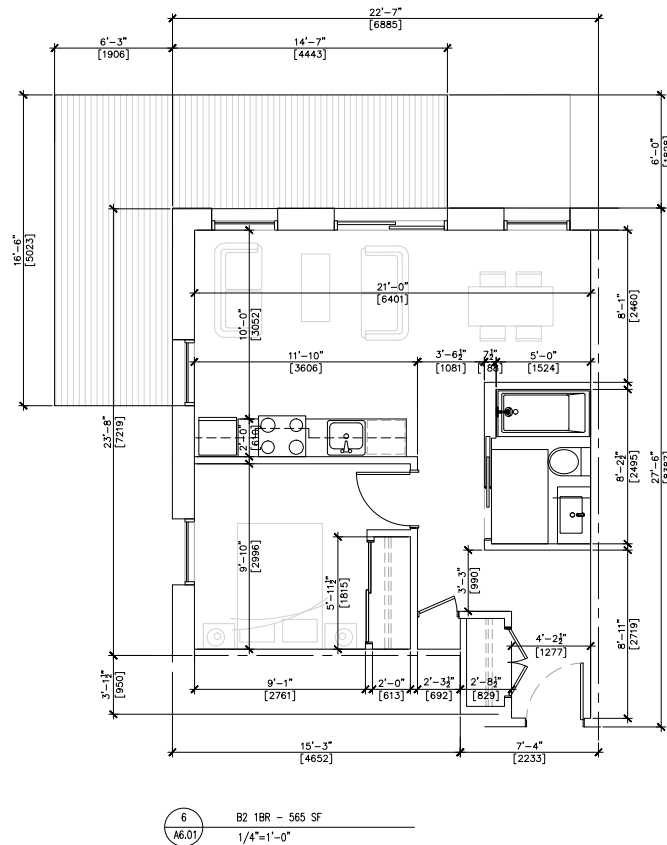
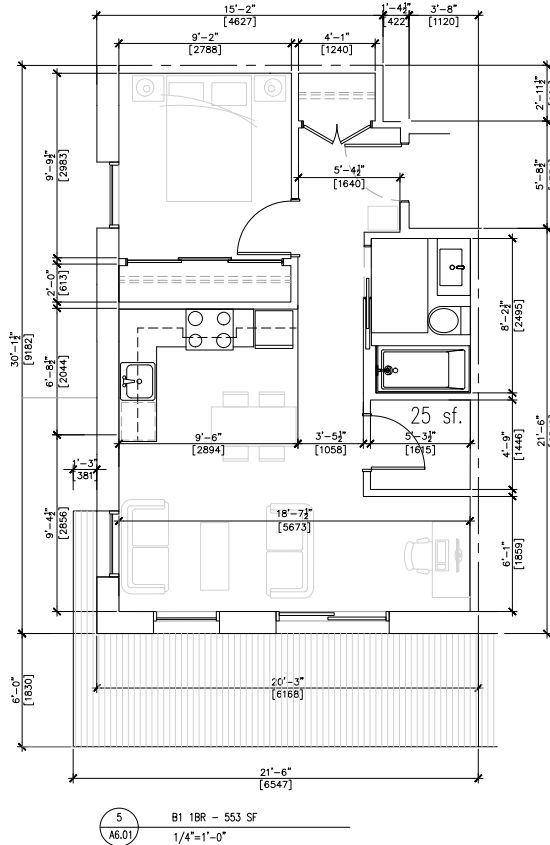
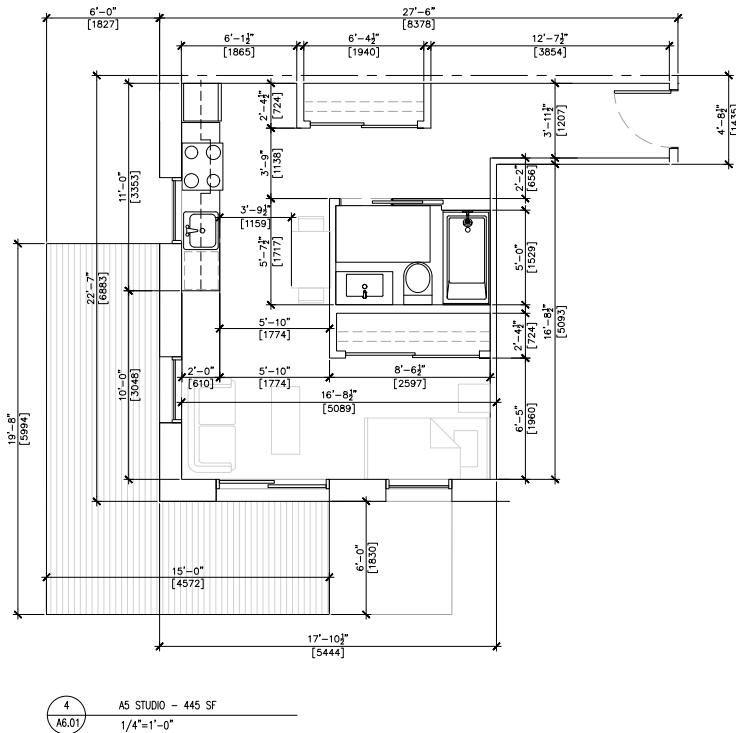
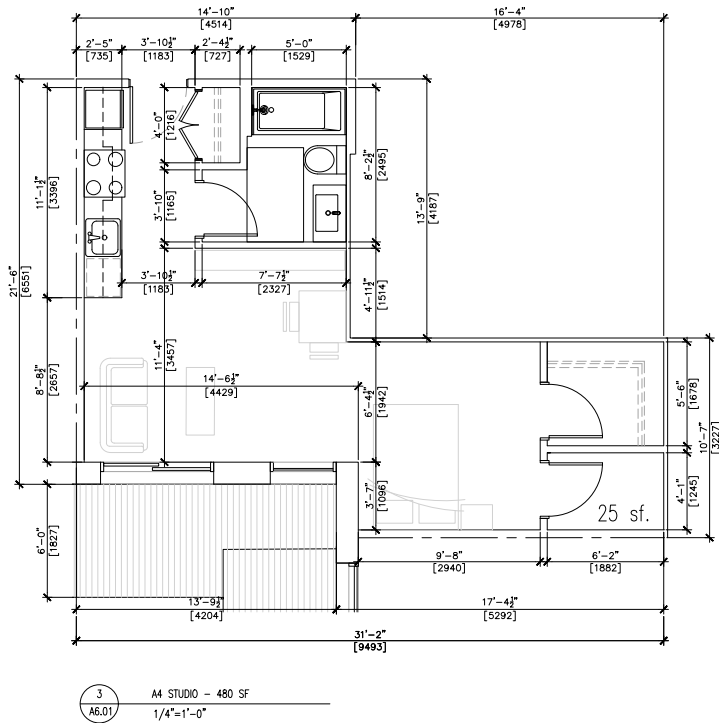
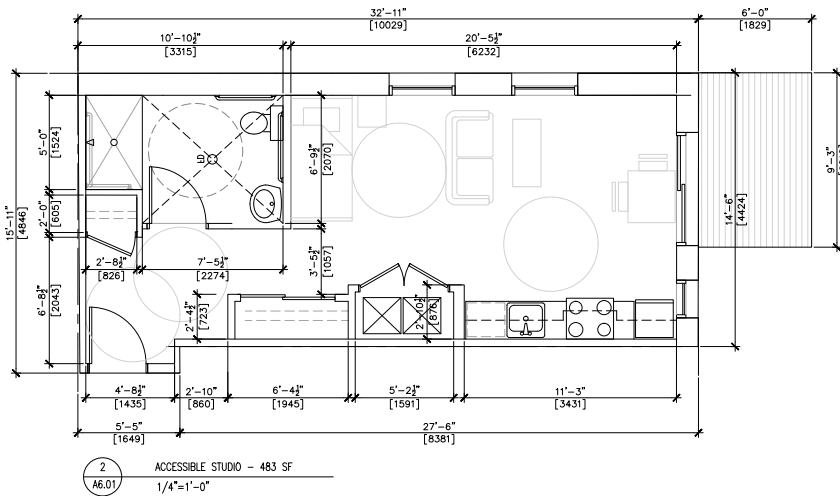
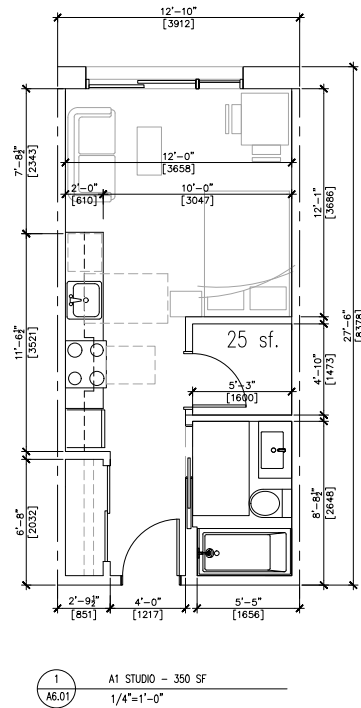




Building 4: South / East Elevations



Unit Plans



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PLOT INFO:

NOTES
NO DESCRIPTION

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SOUTHWYND SOCIAL HOUSING PROJECT
8080 YUKON STREET
VANCOUVER, BC

BUILDING 1 UNIT PLANS

DATE	
DRAWN BY	IJ
CHECKED BY	TCL
SCALE	1/4"=1'-0"
JOB NUMBER	22049

A6.01

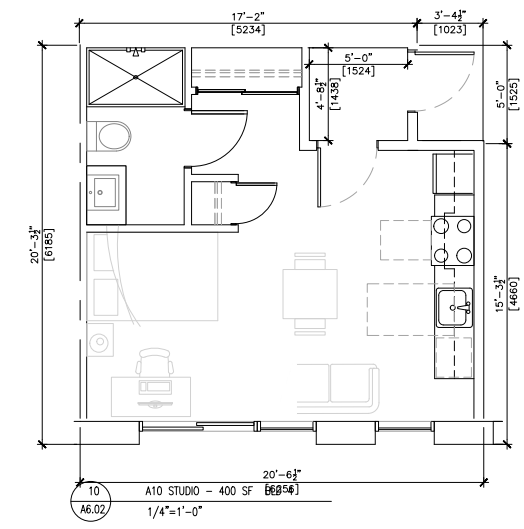
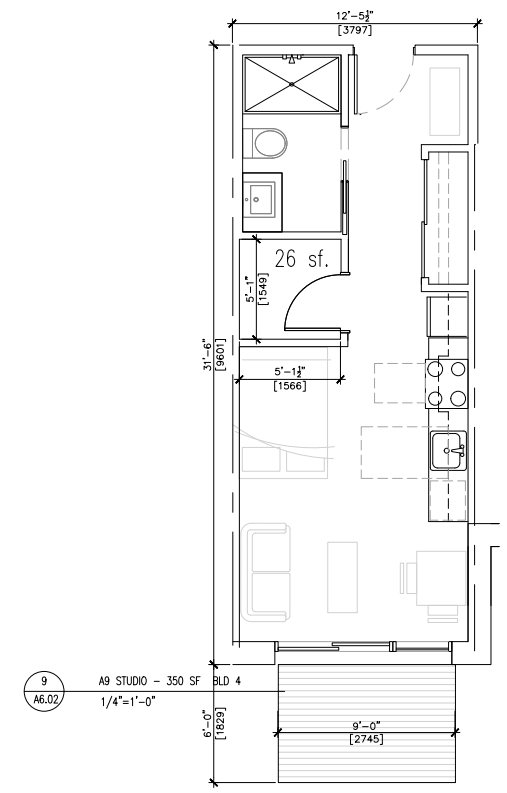
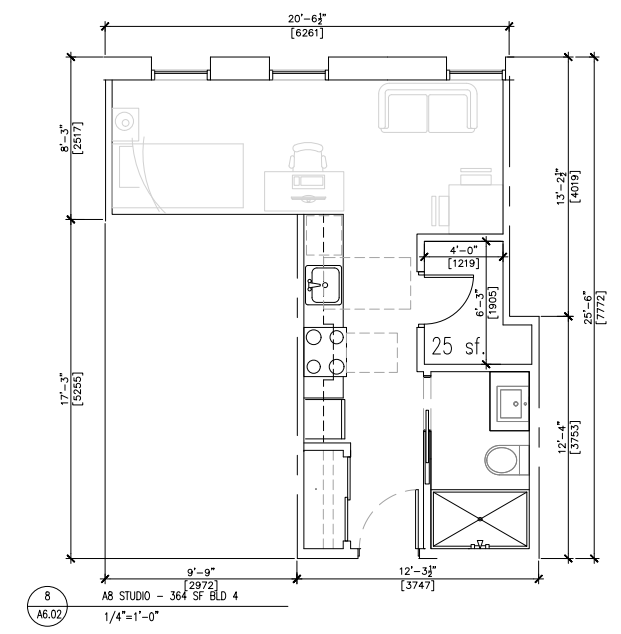
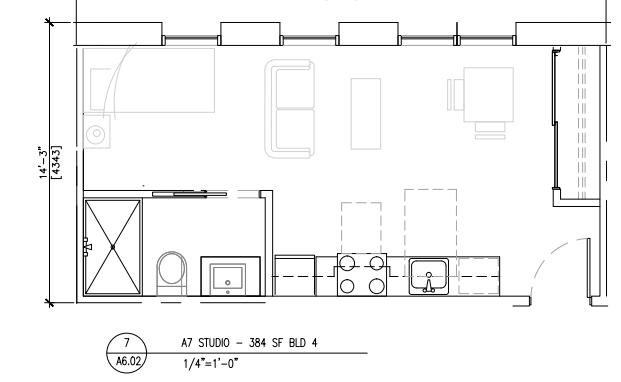
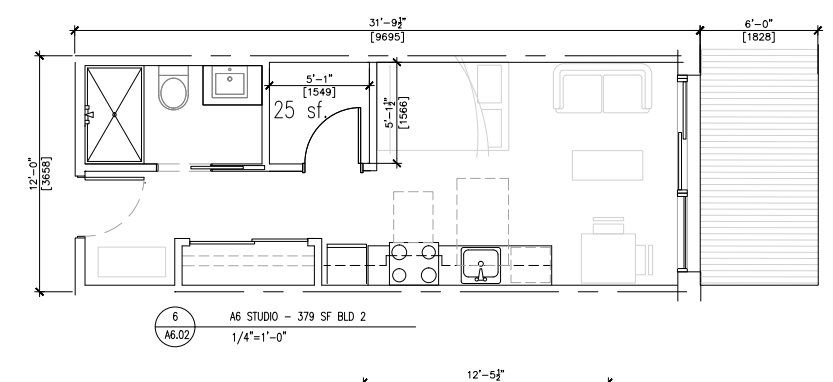
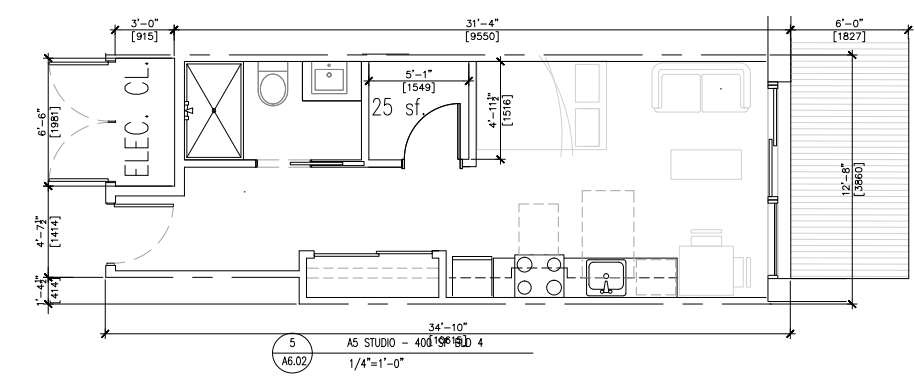
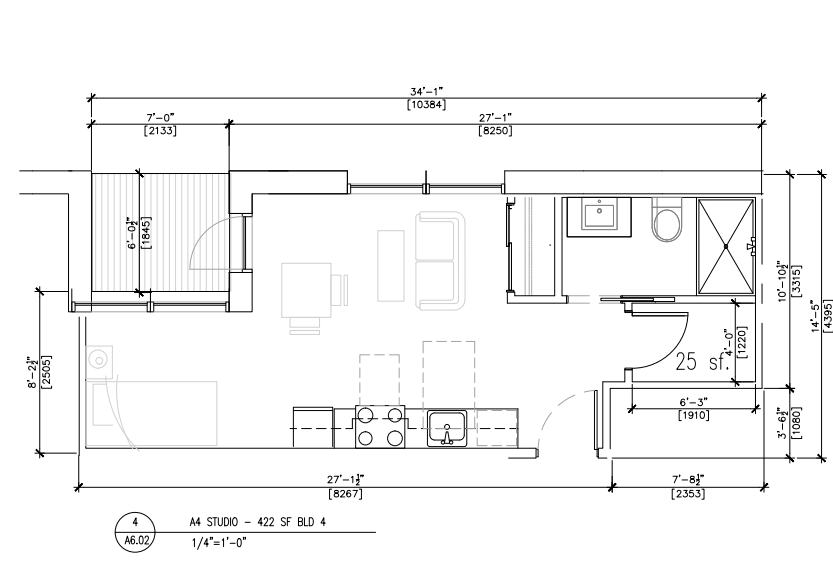
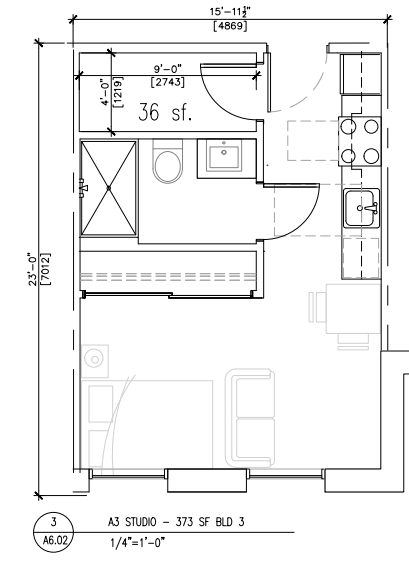
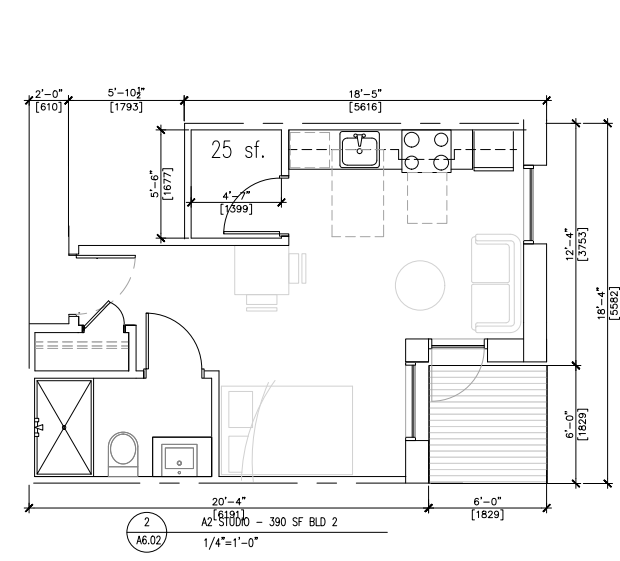
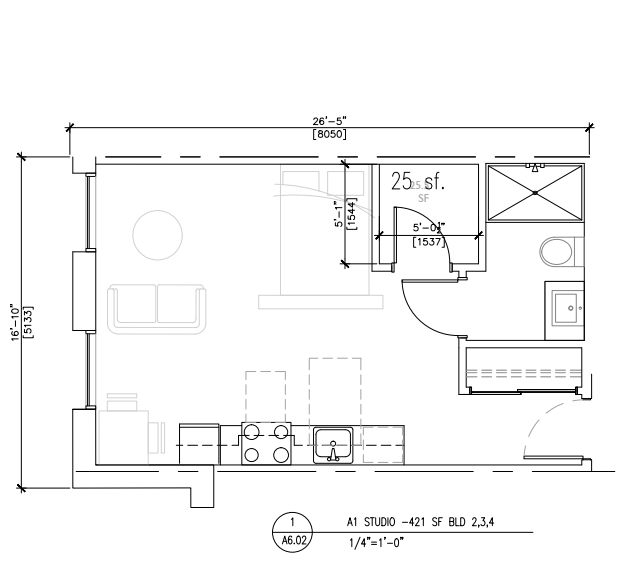
Unit Plans



GBL ARCHITECTS
300 - 224 WEST 8TH AVENUE
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PLOT INFO.

NOTES
NO DESCRIPTION



NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND
SOCIAL HOUSING
PROJECT
8080 YUKON STREET
VANCOUVER, BC

BUILDING 2-4
UNIT PLANS-STUDIOS

DATE
DRAWN BY
CHECKED BY
SCALE
JOB NUMBER

LU
TCL
1/4"=1'-0"
22049

A6.02

Unit Plans



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PLOT INFO:

NOTES

NO DESCRIPTION

REVISIONS

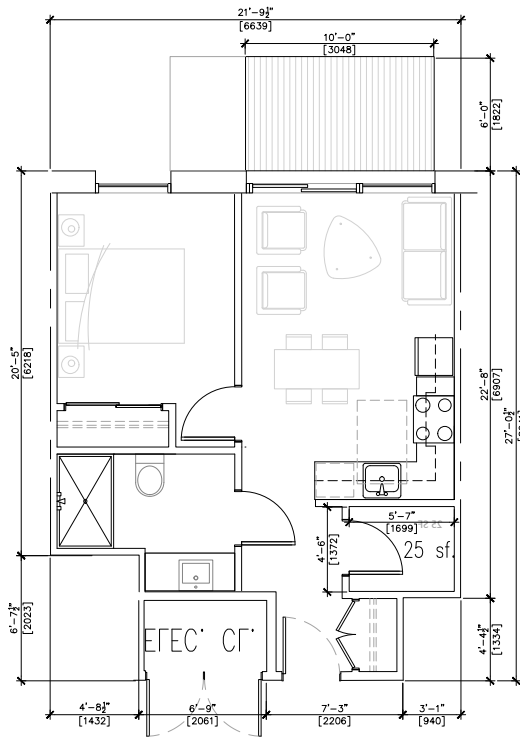
NO.	DATE	REMARKS
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4	2025 JAN 15	RZ SUBMISSION

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SOCIAL HOUSING
PROJECT
8080 YUKON STREET
VANCOUVER, BC

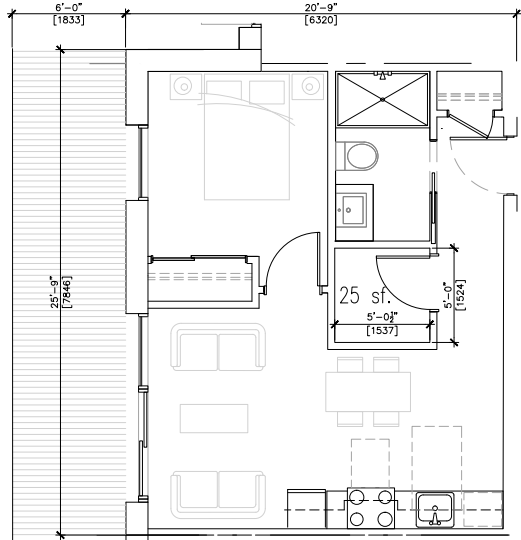
BUILDINGS 2-4
UNIT PLANS-1 BR

DATE	
DRAWN BY	IJ
CHECKED BY	TCL
SCALE	1/4"=1'-0"
JOB NUMBER	22049

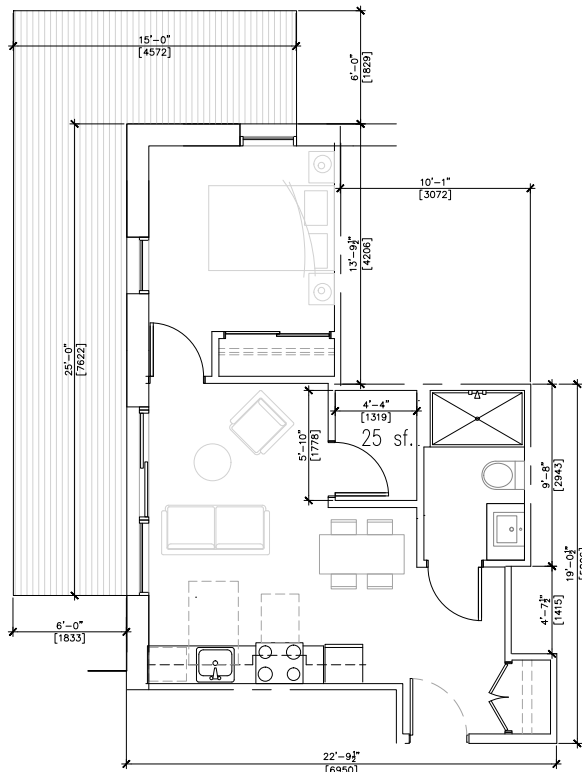
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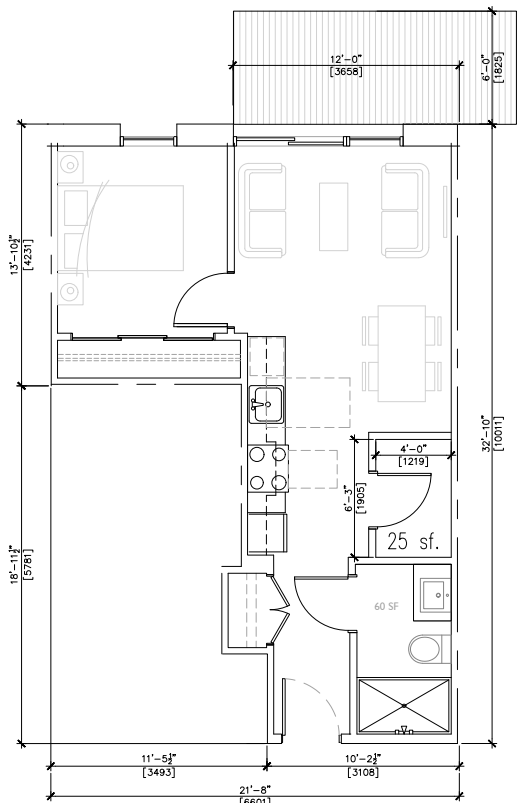
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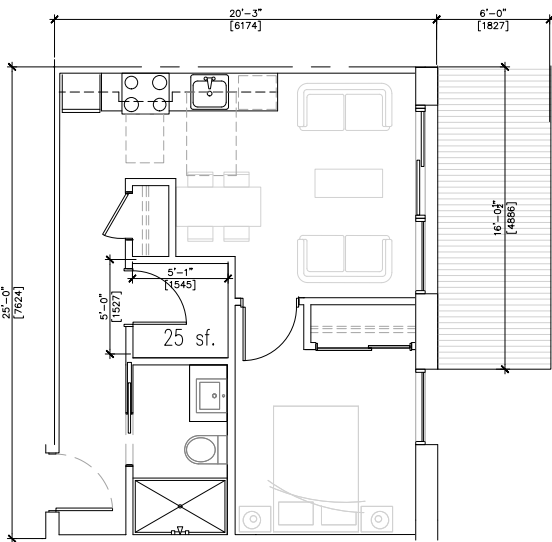
2 B2 1BR - 515 SF BLD 2
1/4"=1'-0"



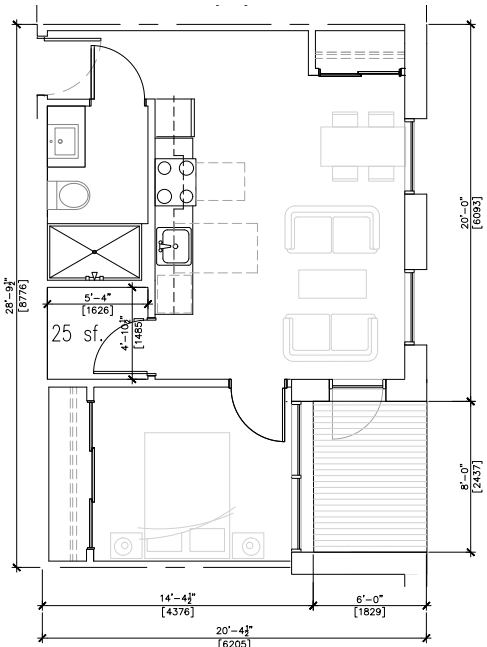
3 B3 1BR - 526 SF BLD 2
1/4"=1'-0"



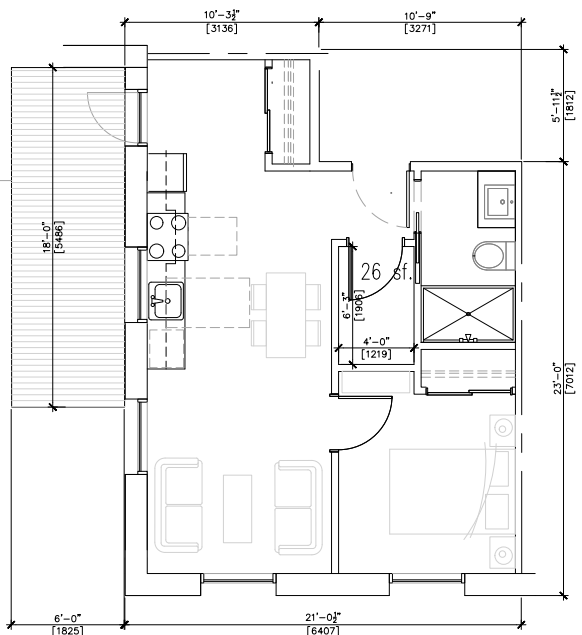
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1/4"=1'-0"



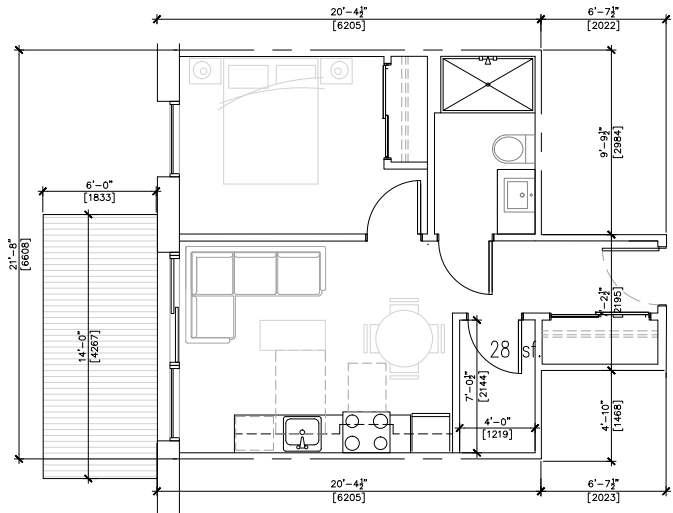
5 B5 1BR - 510 SF BLD 2,3
1/4"=1'-0"



6 B6 1BR - 532 SF BLD 3
1/4"=1'-0"



7 B7 1BR - 545 SF BLD 3
1/4"=1'-0"



8 B8 1BR - 490 SF BLD 4
1/4"=1'-0"

Unit Plans



GBL ARCHITECTS
300 - 224 WEST 8TH AVENUE
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NOTES
NO DESCRIPTION

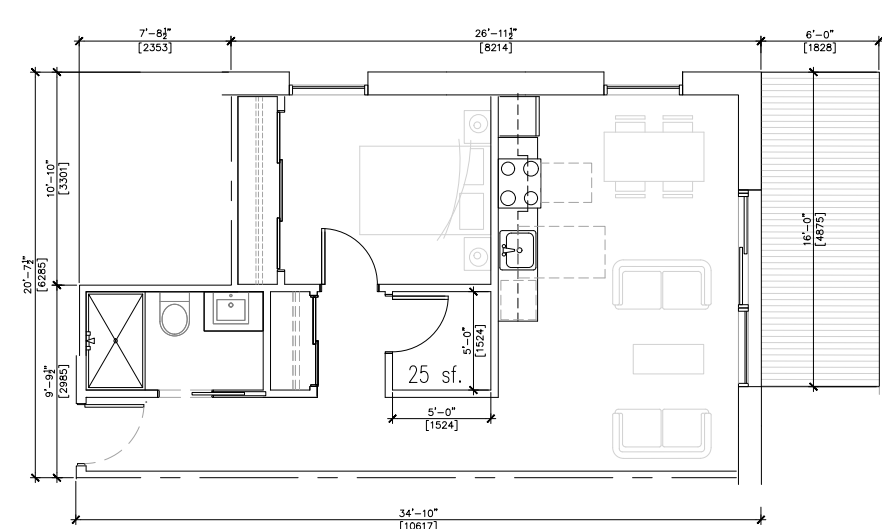
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1	2023 APR 20	PRELIM CONCEPT REVIEW
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4	2025 JAN 15	RZ SUBMISSION

**SOUTHWYND
SOCIAL HOUSING
PROJECT**
8080 YUKON STREET
VANCOUVER, BC

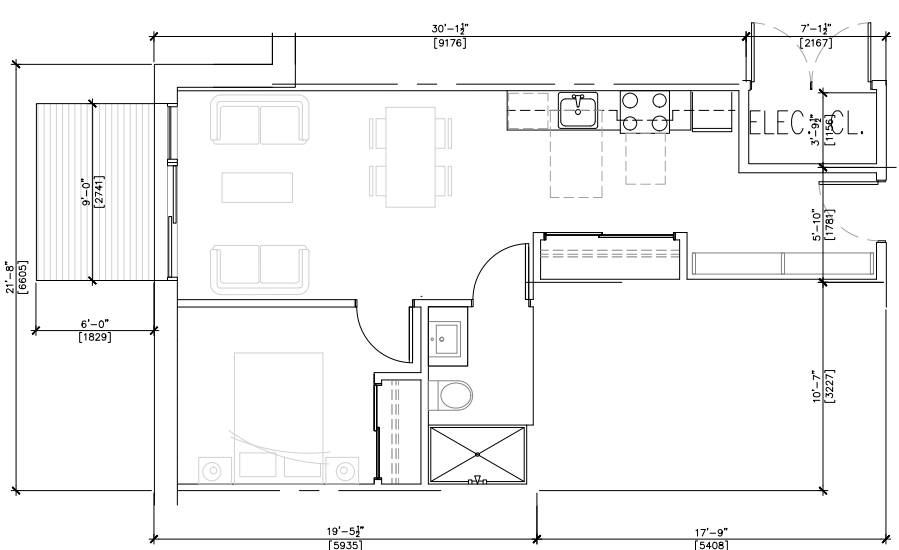
**BUILDINGS 2-4
UNIT PLANS-1 BR**

DATE	DRAWN BY	LU
	CHECKED BY	TCL
	SCALE	1/4"=1'-0"
	JOB NUMBER	22049

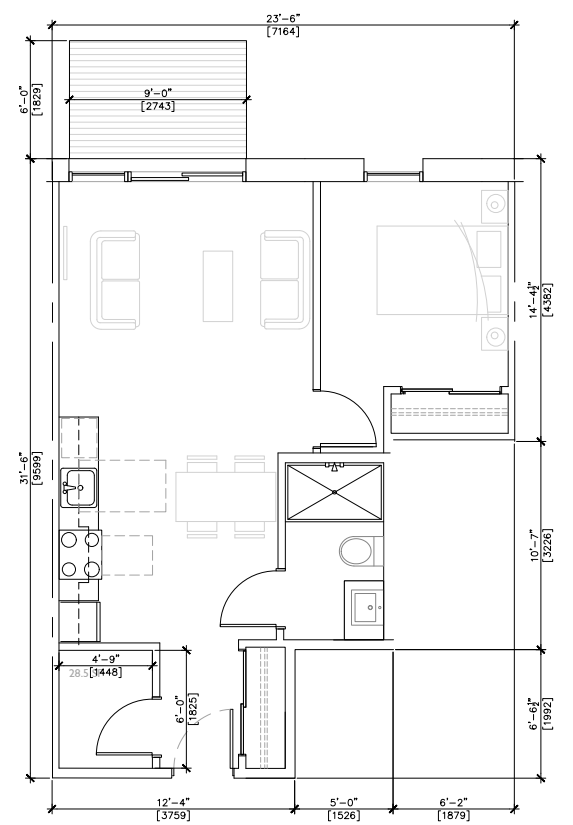
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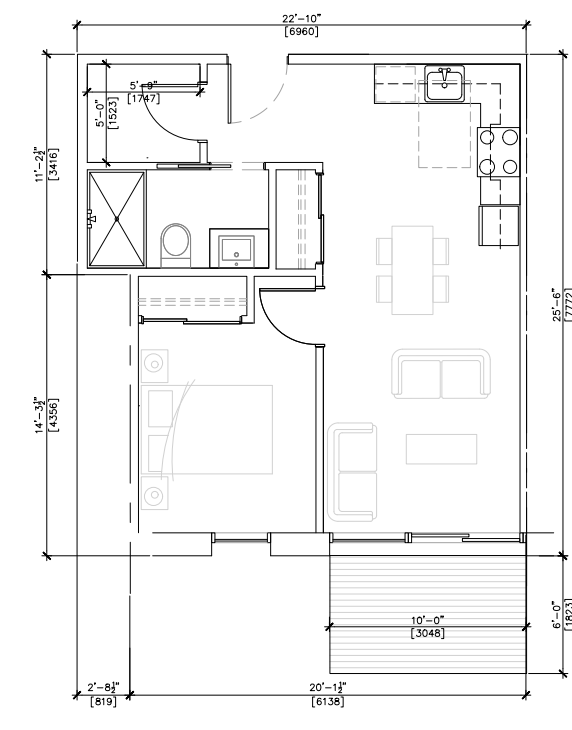
1 B9 1BR - 632 SF BLD 4
A6.04 1/4"=1'-0"



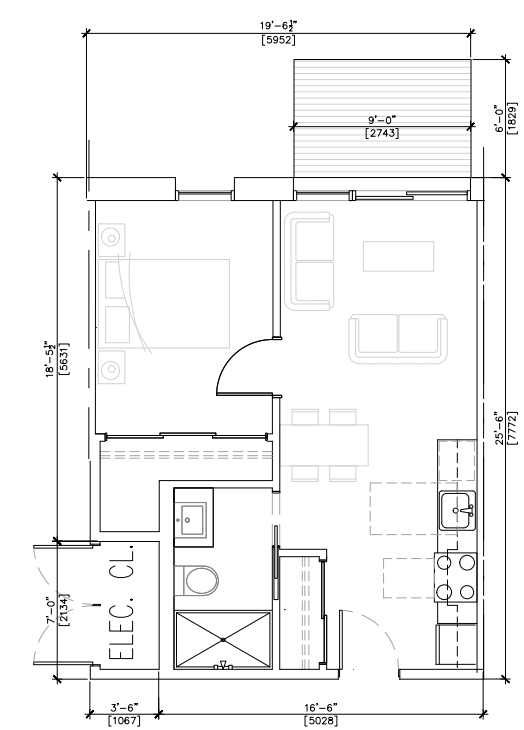
2 B10 1BR - 554 SF BLD 2
A6.04 1/4"=1'-0"



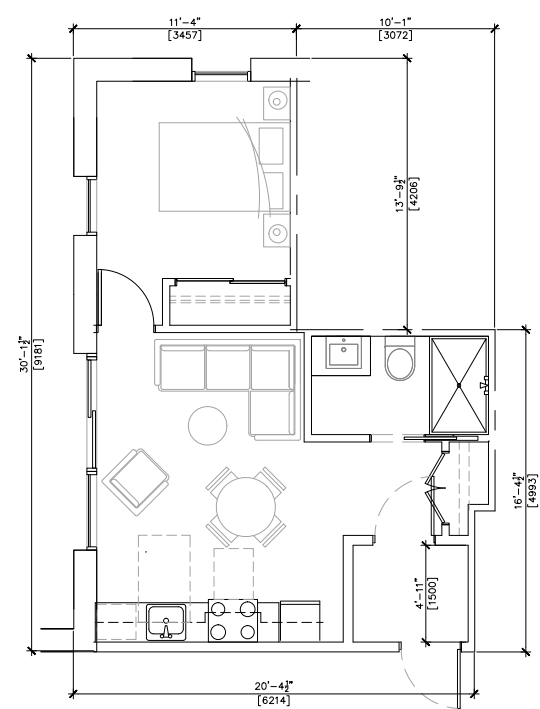
3 B11 1BR - 596 SF BLD 4
A6.04 1/4"=1'-0"



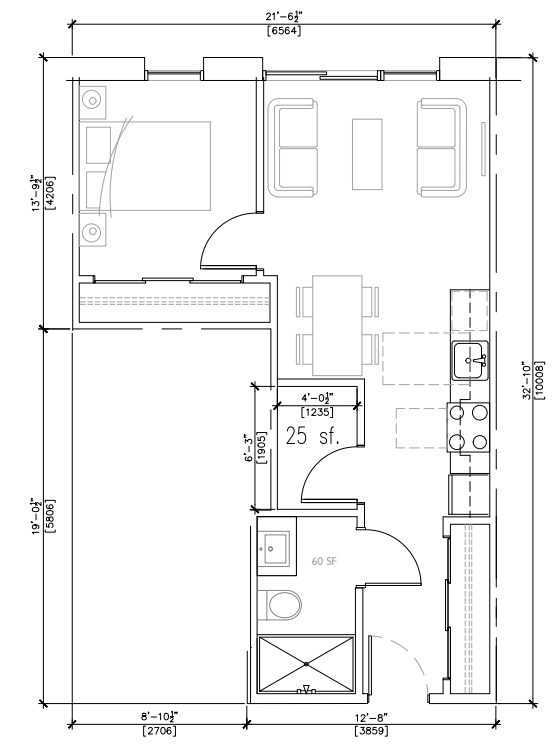
4 B13 1BR - 536 SF BLD 4
A6.04 1/4"=1'-0"



5 B14 1BR 477 SF
A6.04 1/4"=1'-0"



6 B15 1BR 499 SF BLD 2
A6.04 1/4"=1'-0"



7 B16 1BR 526 SF BLD 2
A6.04 1/4"=1'-0"

Unit Plans



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PILOT INFO:

NOTES
NO DESCRIPTION

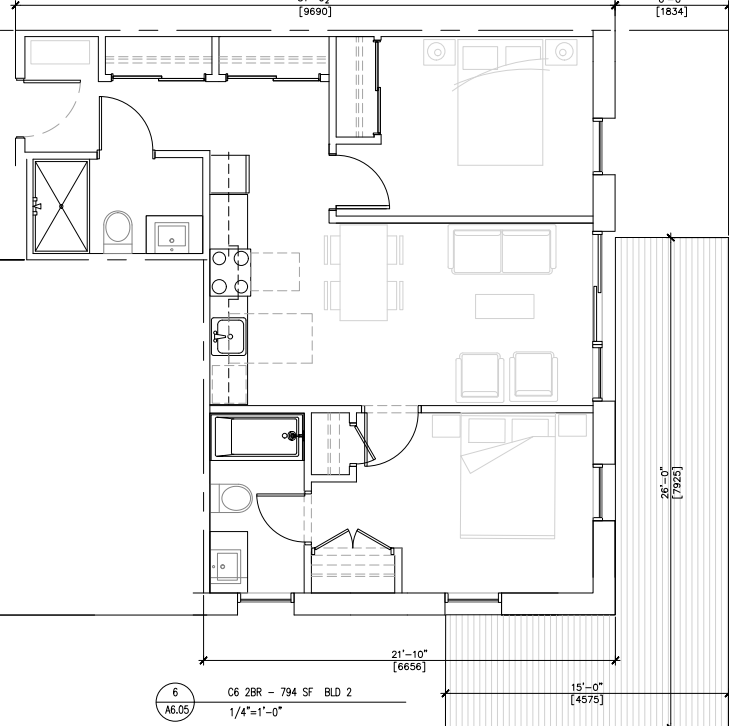
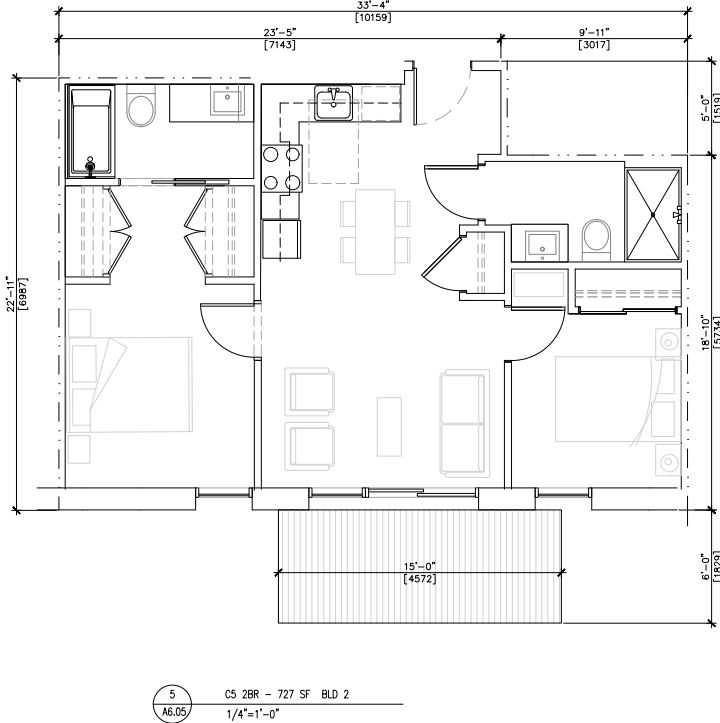
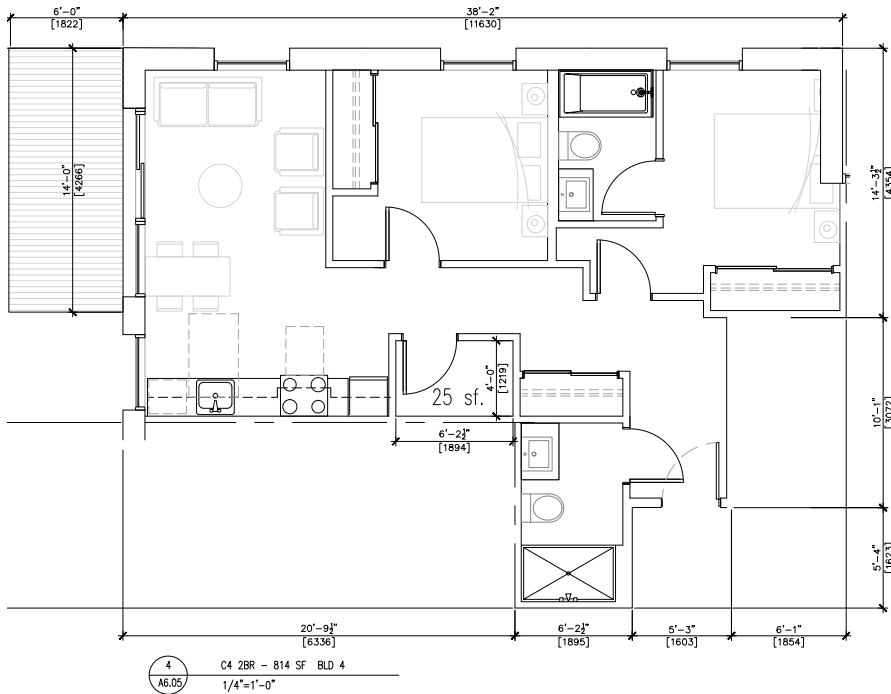
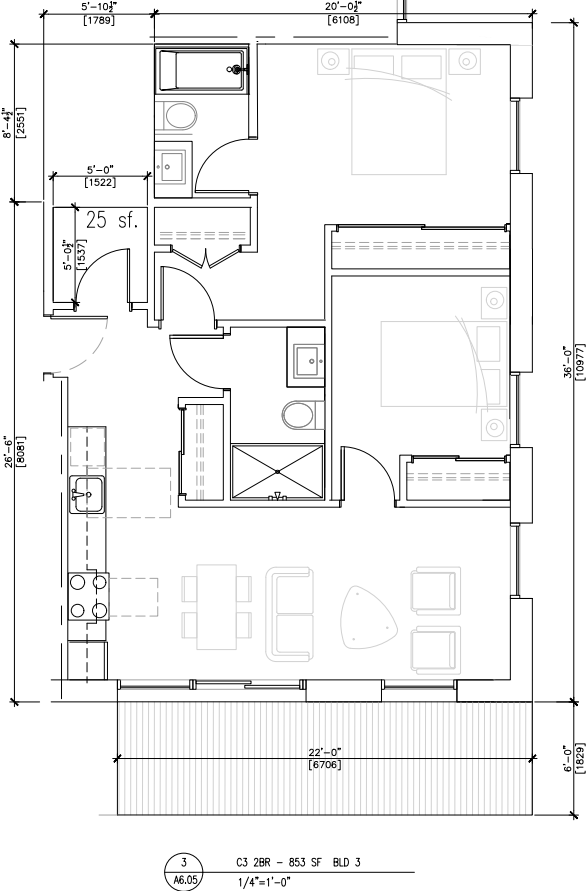
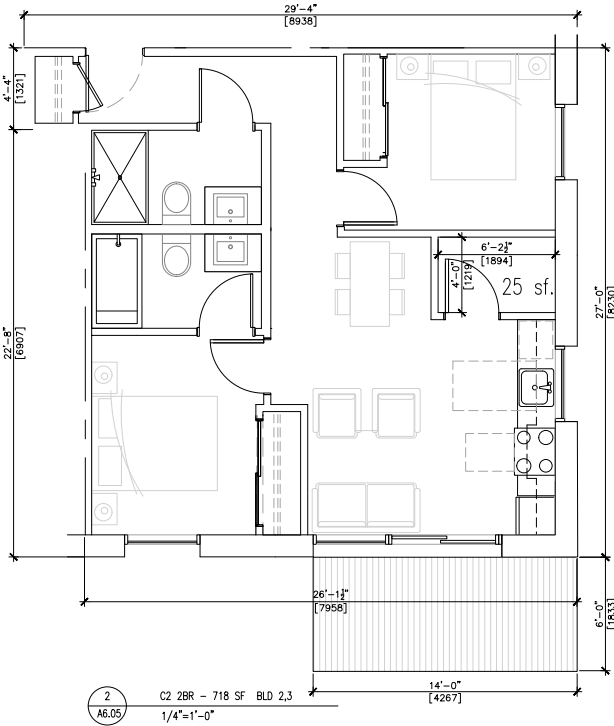
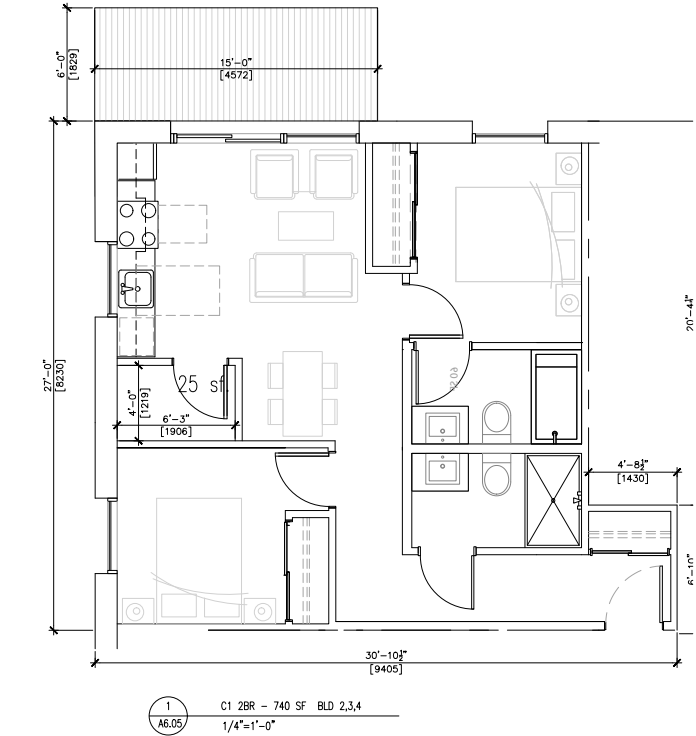
NO.	DATE	REMARKS
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3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND SOCIAL HOUSING PROJECT
8080 YUKON STREET
VANCOUVER, BC

BUILDINGS 2-4
UNIT PLANS-2 BR

DATE	
DRAWN BY	IJ
CHECKED BY	TCL
SCALE	1/4"=1'-0"
JOB NUMBER	22049

A6.05



Unit Plans



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PLOT INFO.

NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
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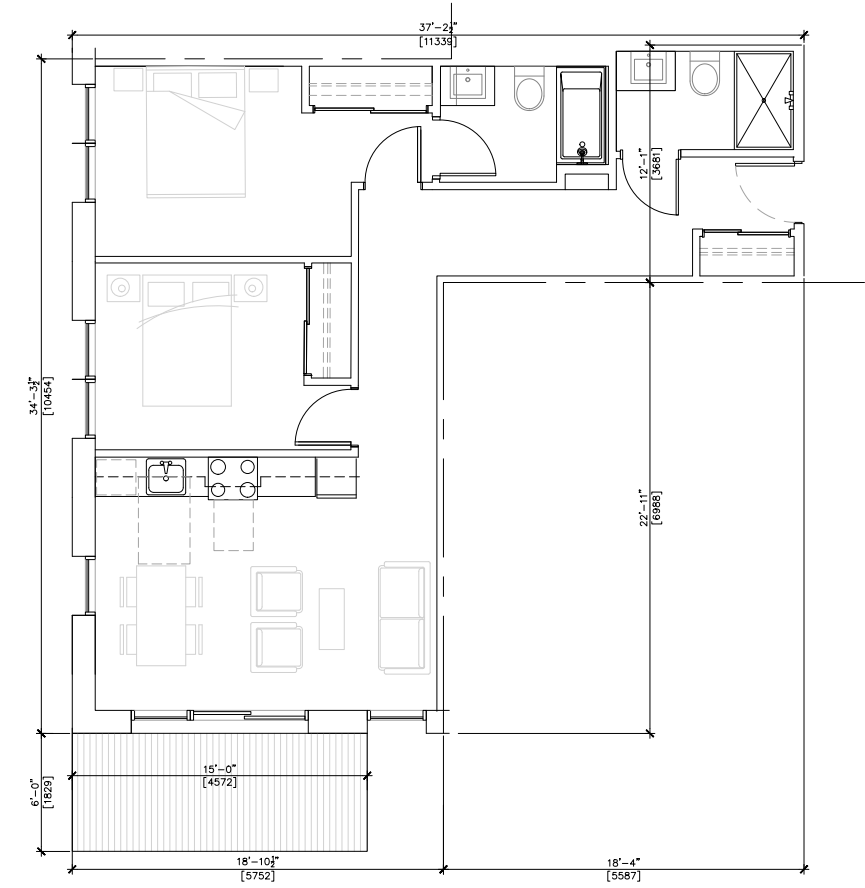
SOUTHWYND
SOCIAL HOUSING
PROJECT
8080 YUKON STREET
VANCOUVER, BC

BUILDING 2-4
UNIT PLANS-2 BR

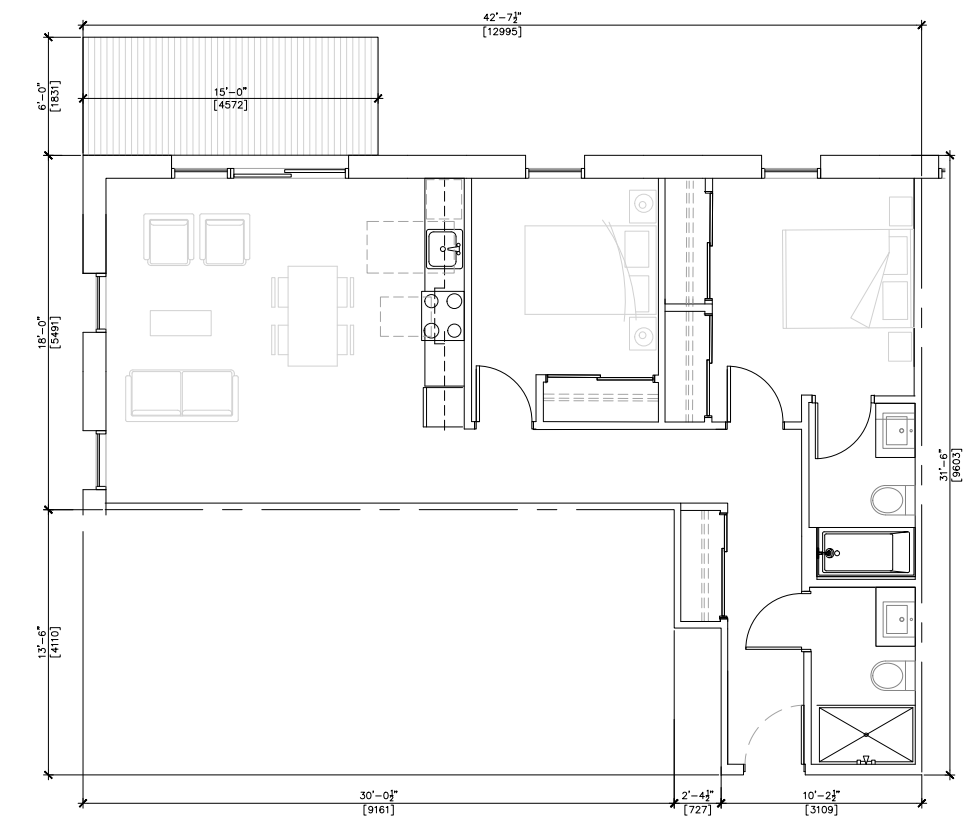
DATE
DRAWN BY
CHECKED BY
SCALE
JOB NUMBER

UJ
TCL
1/4"=1'-0"
22049

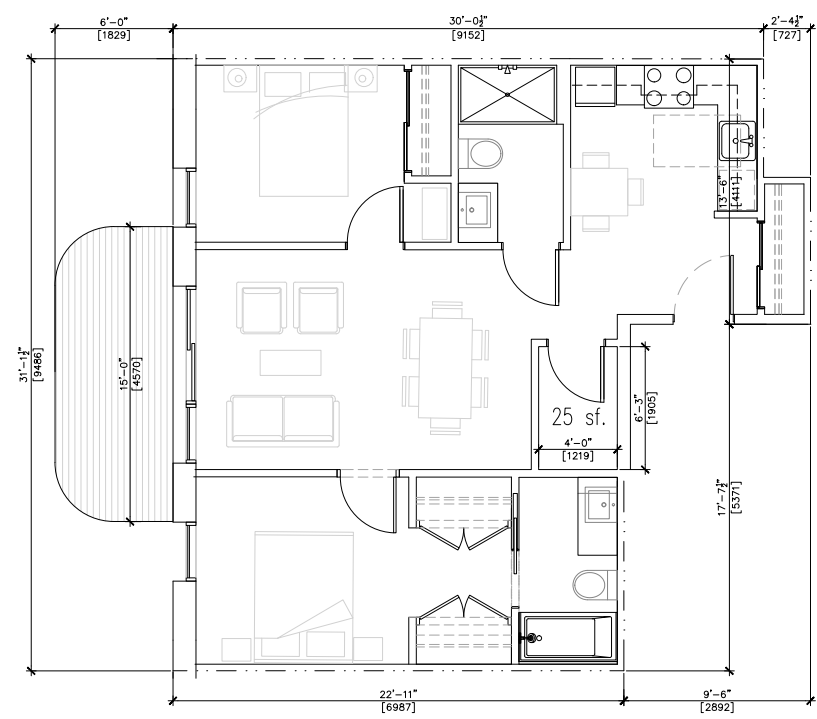
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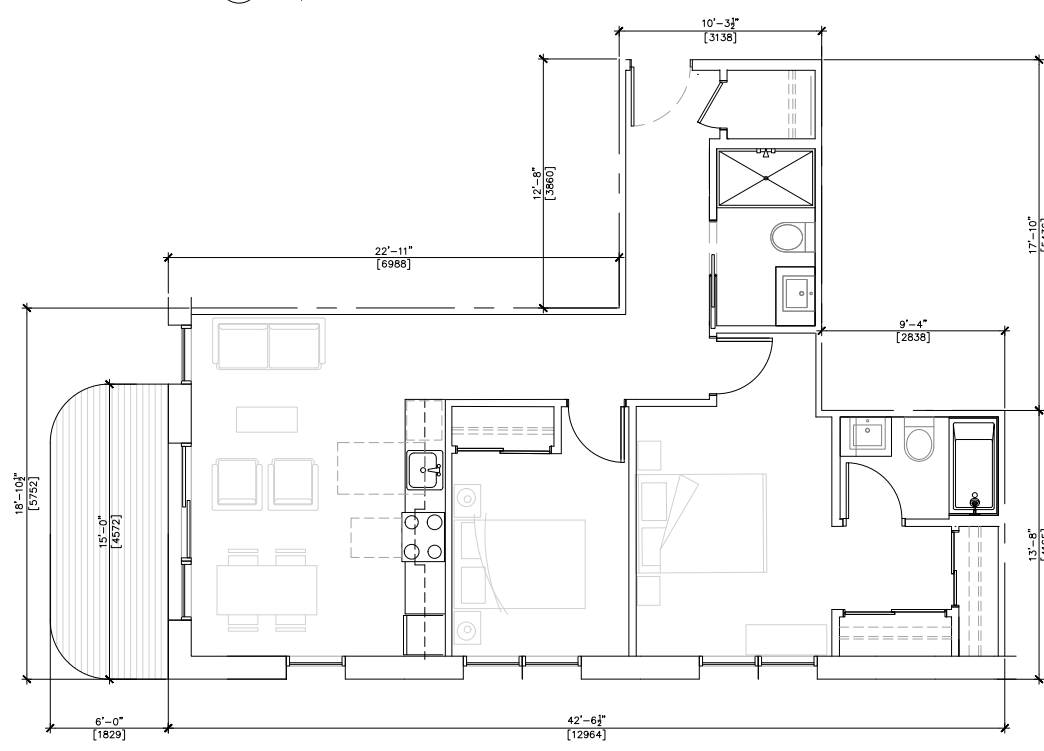
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A6.06 C7 2BR - 866 SF BLD 2
1/4"=1'-0"



2
A6.06 C8 2BR - 918 SF BLD 3
1/4"=1'-0"



3
A6.06 C9 2BR - 825 SF BLD 4
1/4"=1'-0"



4
A6.06 C10 2BR - 883 SF BLD 4
1/4"=1'-0"

Unit Plans



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PLOT INFO:

NOTES

NO DESCRIPTION

REVISIONS

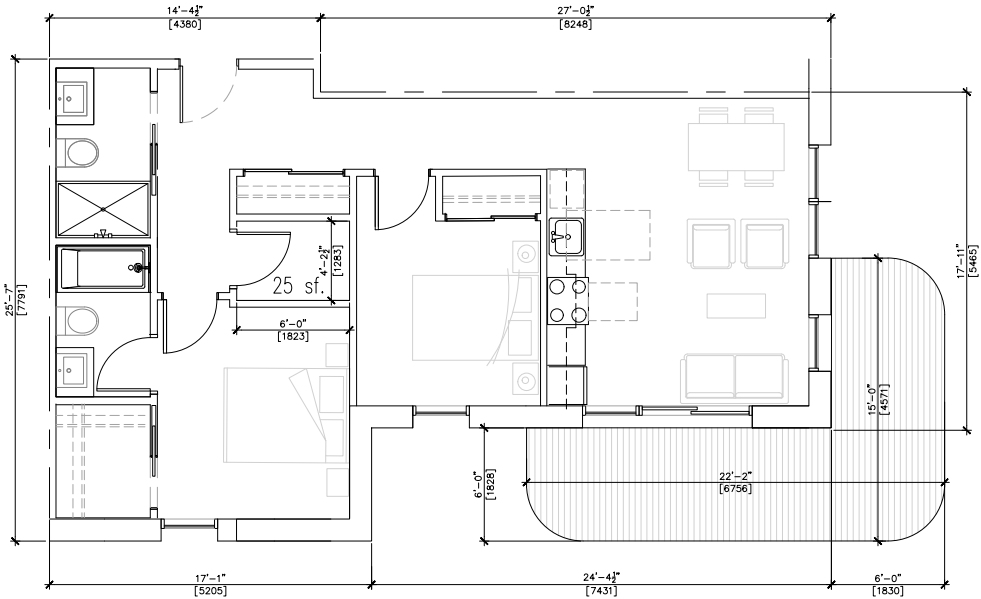
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SOUTHWYND
SOCIAL HOUSING
PROJECT
8080 YUKON STREET
VANCOUVER, BC

BUILDINGS 2-4
UNIT PLANS-2 BR

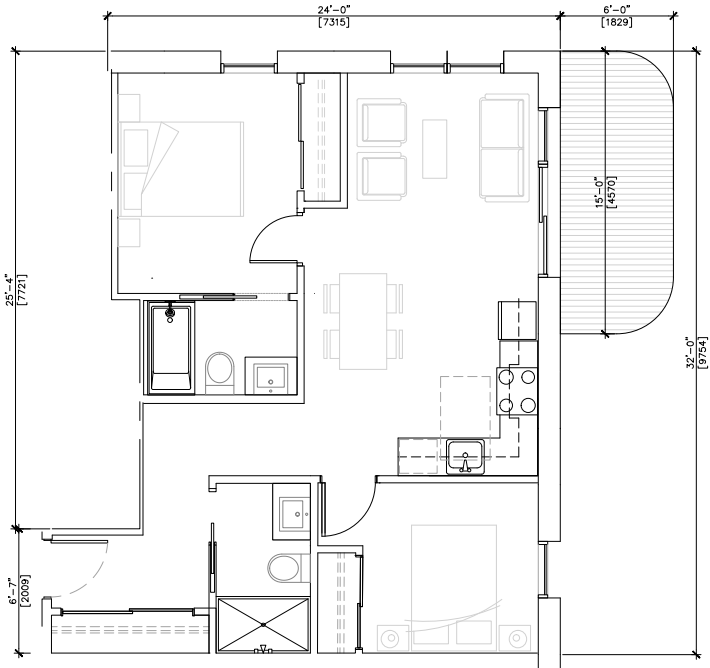
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A6.07



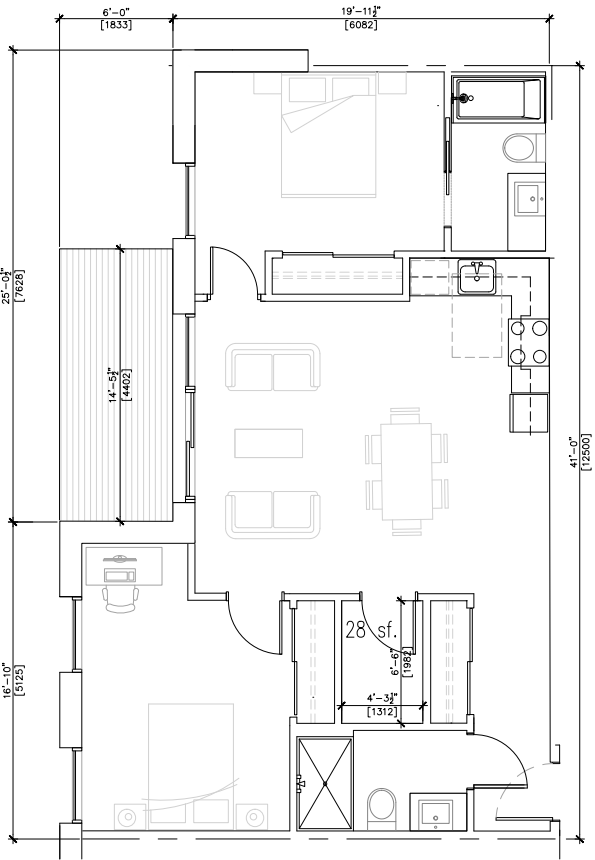
1 C11 2BR - 764 SF
A6.07 1/4"=1'-0"

1 C11 2BR - 764 SF
A6.07 1/4"=1'-0"



3 C12 2BR - 865 SF BLD 4
A6.07 1/4"=1'-0"

2 C13 2BR - 772 SF BLD 4
A6.07 1/4"=1'-0"



3 C14 2BR - 940 SF BLD 2,3
A6.07 1/4"=1'-0"

Unit Plans



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PLOT INFO.

NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
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3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

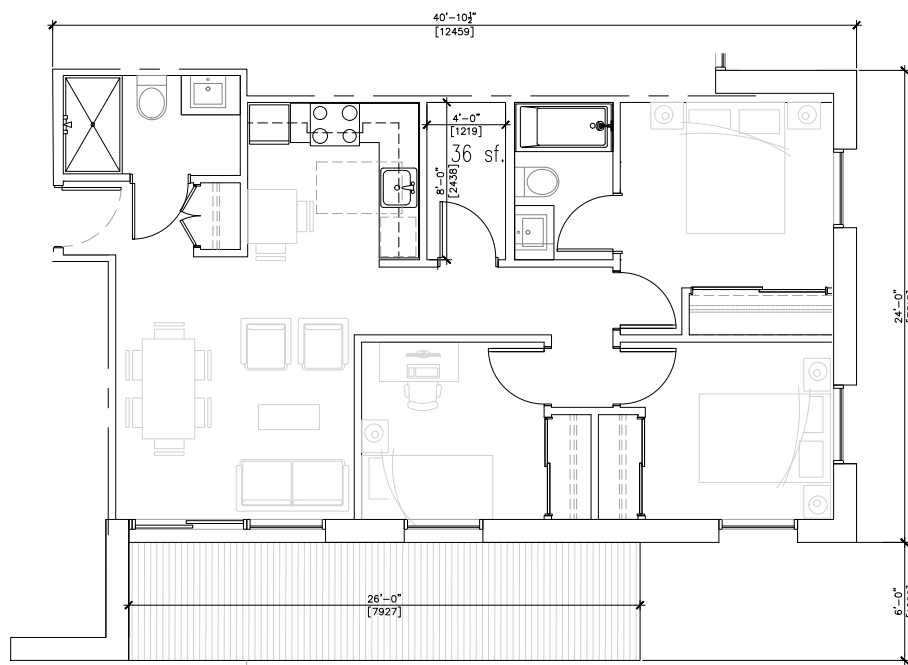
SOUTHWYND
SOCIAL HOUSING
PROJECT
8080 YUKON STREET
VANCOUVER, BC

BUILDING 2-4
UNIT PLANS-3 BR & LOCK-OFF

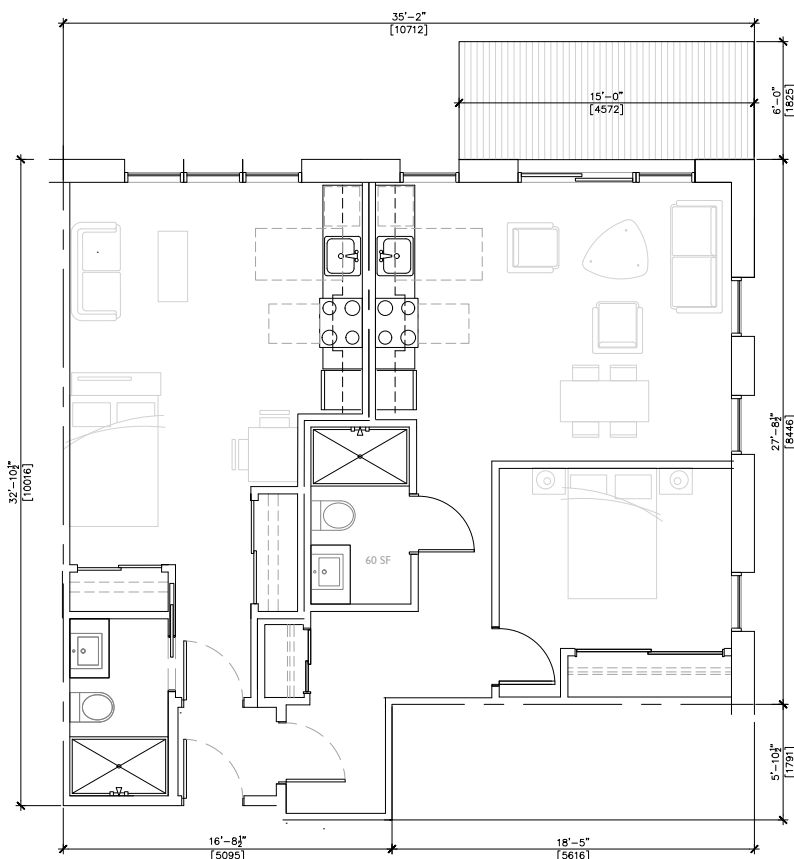
DATE
DRAWN BY
CHECKED BY
SCALE
JOB NUMBER

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TCL
1/4"=1'-0"
22049

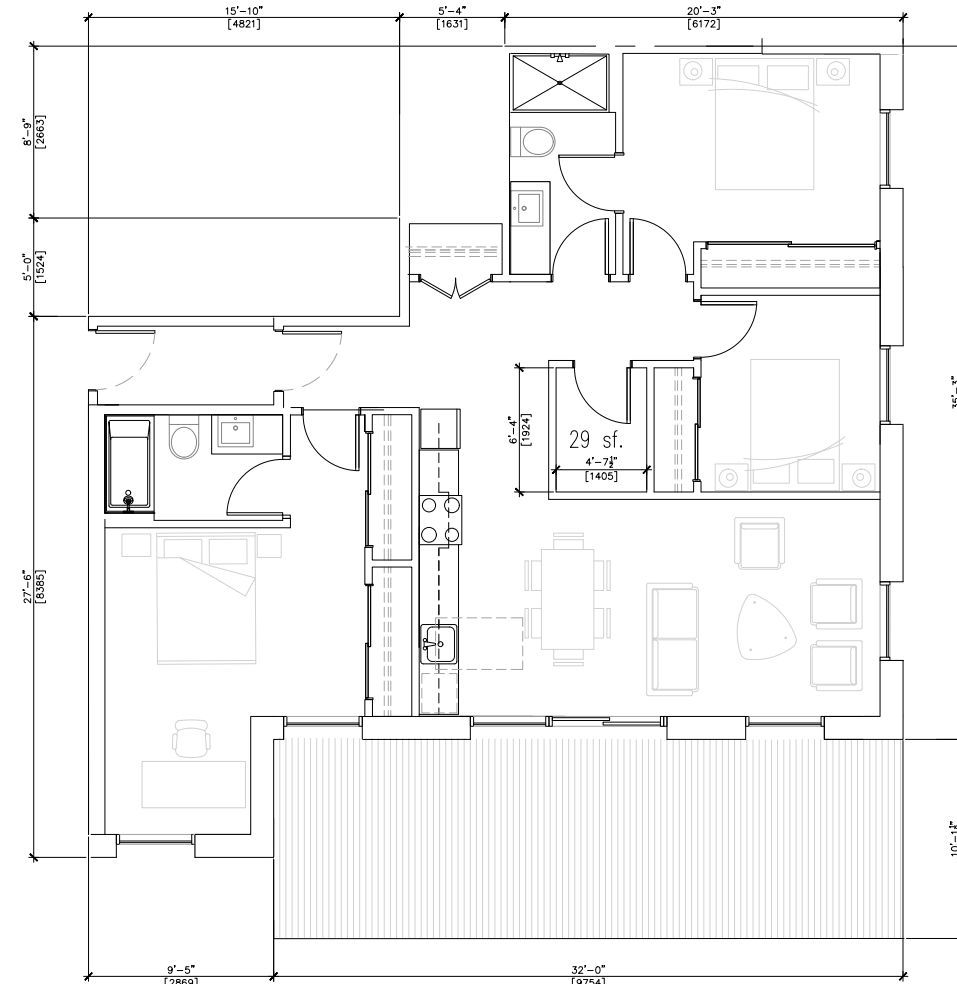
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1
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D1 3BR - 906 SF BLD 4
1/4"=1'-0"



3
A6.08
E1 - 2BR LOCK-OFF - 1059 SF BLD 2
1/4"=1'-0"



2
A6.08
D3 3BR - 1200 SF BLD 3
1/4"=1'-0"

Perspectives



1 YUKON ST & SW MARINE INTERSECTION AERIAL VIEW
A7.01 NTS



3 YUKON ST. & NORTH LANE INTERSECTION STREET VIEW
A7.01 NTS



2 COURTYARD VIEW LOOKING SOUTH
A7.01 NTS



4 AERIAL VIEW LOOKING SOUTH-WEST
A7.01 NTS

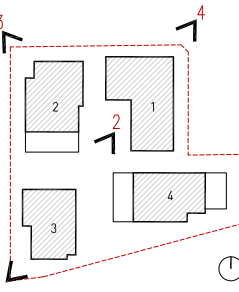


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PILOT INFO:

NOTES

NO DESCRIPTION



REVISIONS

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
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SOUTHWYND
SOCIAL HOUSING
PROJECT

8080 YUKON STREET
VANCOUVER, BC

PERSPECTIVES

DATE
DRAWN BY
CHECKED BY
SCALE

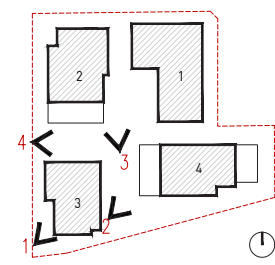
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A7.01

GBL ARCHITECTS
 300 - 224 WEST 8TH AVENUE
 VANCOUVER, CANADA V5Y 1N5
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PLOT INFO.

NOTES
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**SOUTHWYND
 SOCIAL HOUSING
 PROJECT**
 8080 YUKON STREET
 VANCOUVER, BC

PERSPECTIVES

DATE
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 SCALE
 JOB NUMBER 22049

A7.02



1 YUKON ST & SW MARINE INTERSECTION STREET VIEW
 A7.02 NTS



2 SW MARINE VIEW LOOKING NORTH
 A7.02 NTS



3 COURTYARD VIEW LOOKING NORTHWEST
 A7.02 NTS



4 YUKON STREET VIEW LOOKING EAST
 A7.02 NTS

Perspectives



1 COURTYARD VIEW LOOKING NORTHEAST
A7.03 NTS



2 NORTH LANE: STREET VIEW LOOKING SOUTHEAST
A7.03 NTS



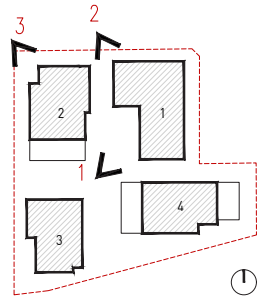
3 YUKON ST & NORTH LANE INTERSECTION VIEW
A7.03 NTS



GBL ARCHITECTS
300 - 224 WEST 8TH AVENUE
VANCOUVER, CANADA V5Y 1N5
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PLOT INFO.

NOTES
NO DESCRIPTION



REVISIONS		
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PERSPECTIVES

DATE
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SCALE
JOB NUMBER 22049

A7.03

FSR Diagrams



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NOTES
NO DESCRIPTION

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4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

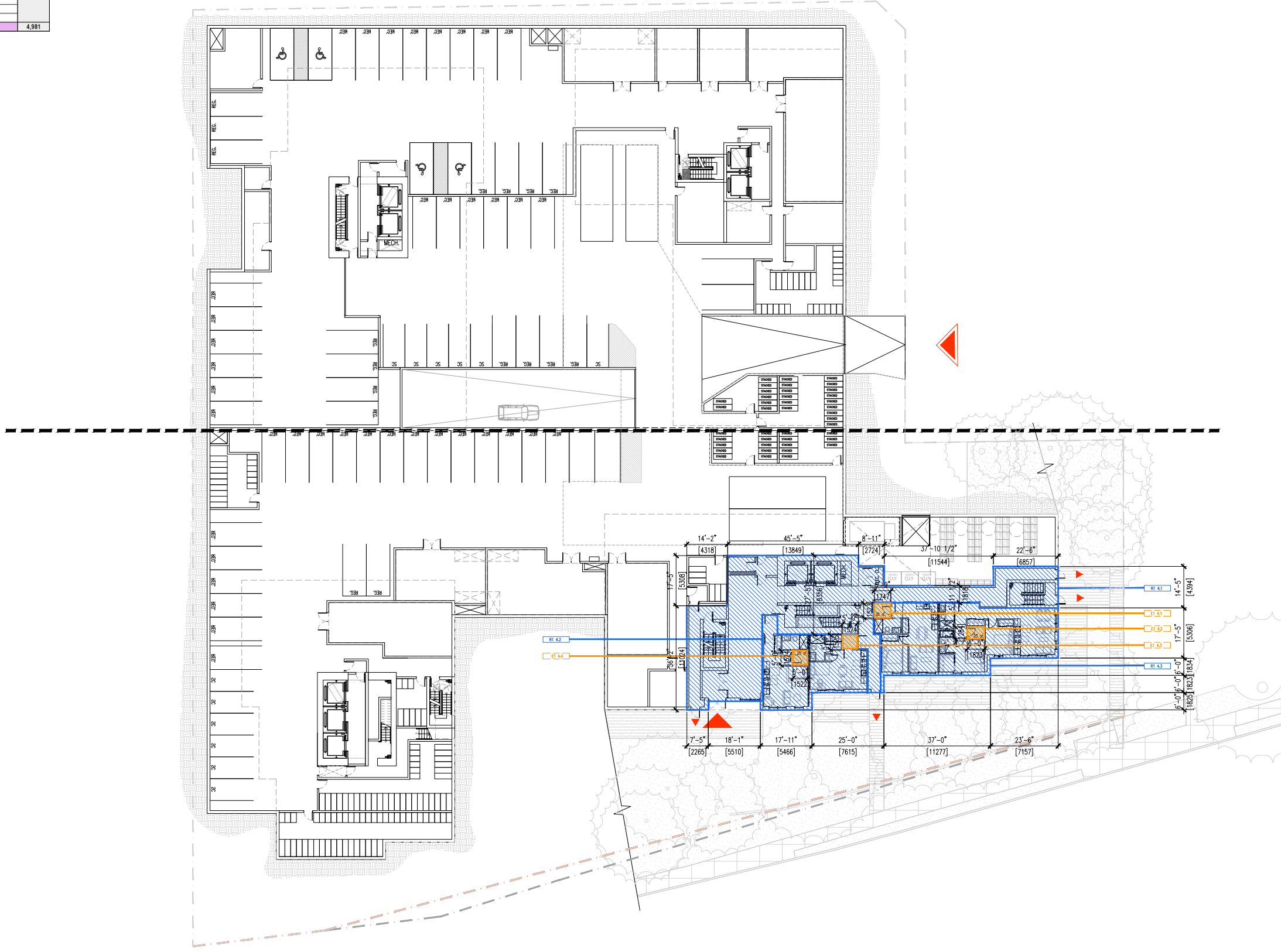
8080 YUKON STREET
VANCOUVER, BC

L1 FSR PLAN

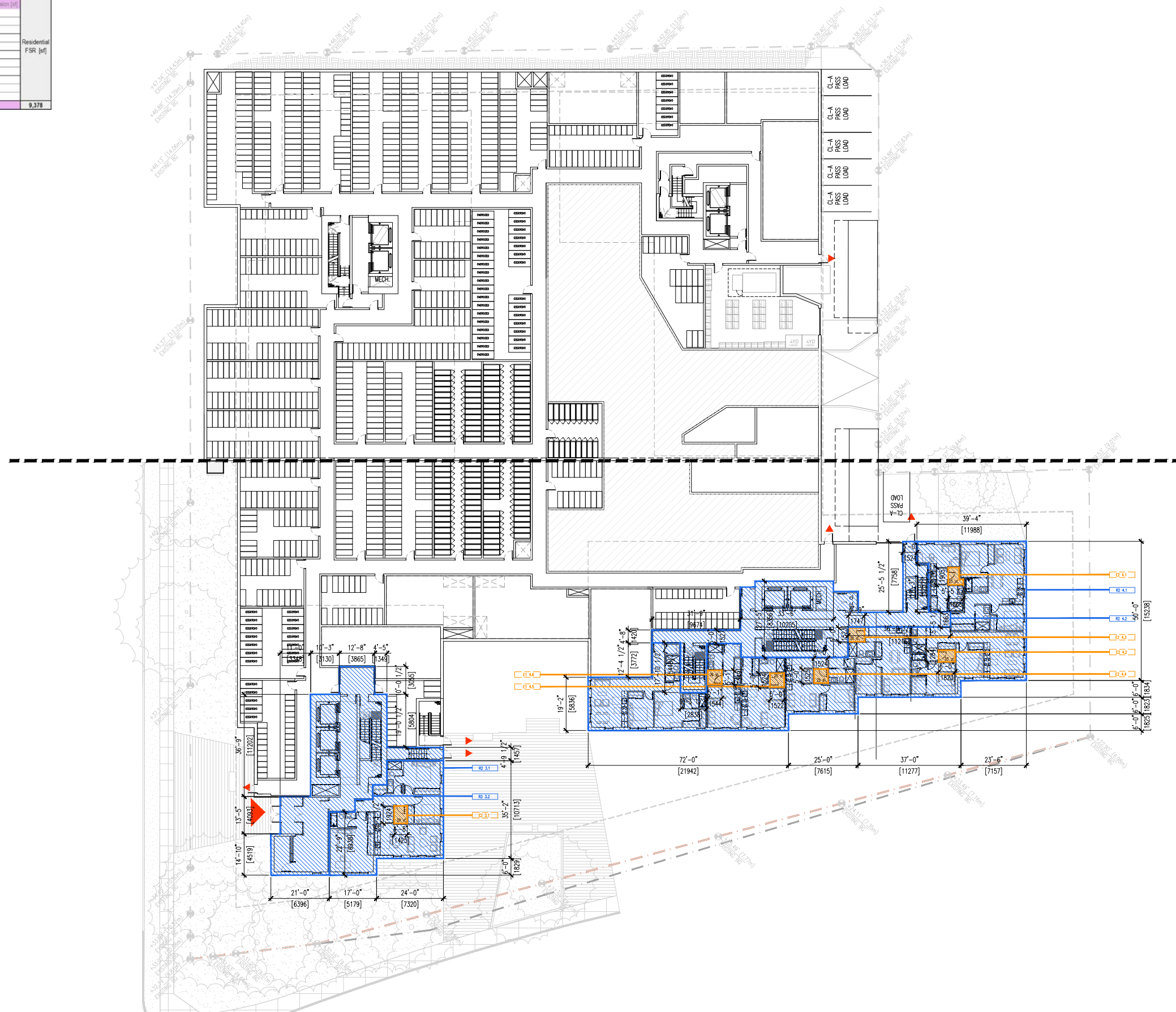
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CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A8.01

L1	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R4.1	2,263					
R4.2		2,821				
E4.1				28		
E4.2				25		
E4.3				25		
E4.4				25		
TOTAL	2,263	2,821	5,084	103		4,981



L2	Rentable Area [sf]	Non-rentable Area [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R2 3.1	1,241	1,816			
R2 3.2			29		
E2 3.1					
R2 4.1	4,731	1,773			
R2 4.2			25		
E2 4.2			25		
E2 4.3			28		
E2 4.4			25		
E2 4.5			25		
E2 4.6			26		
TOTAL	5,972	3,589	9,561	183	9,378



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1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

8080 YUKON STREET
VANCOUVER, BC

FSR PLANS L2

DATE	ILO
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A8.02

FSR Diagrams



GBL ARCHITECTS
 300 - 224 WEST 8TH AVENUE
 VANCOUVER, CANADA V5Y 1N5
 T: 604.734.1150 F: 604.731.5279
 GBLARCHITECTS.COM

NOTES
 NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

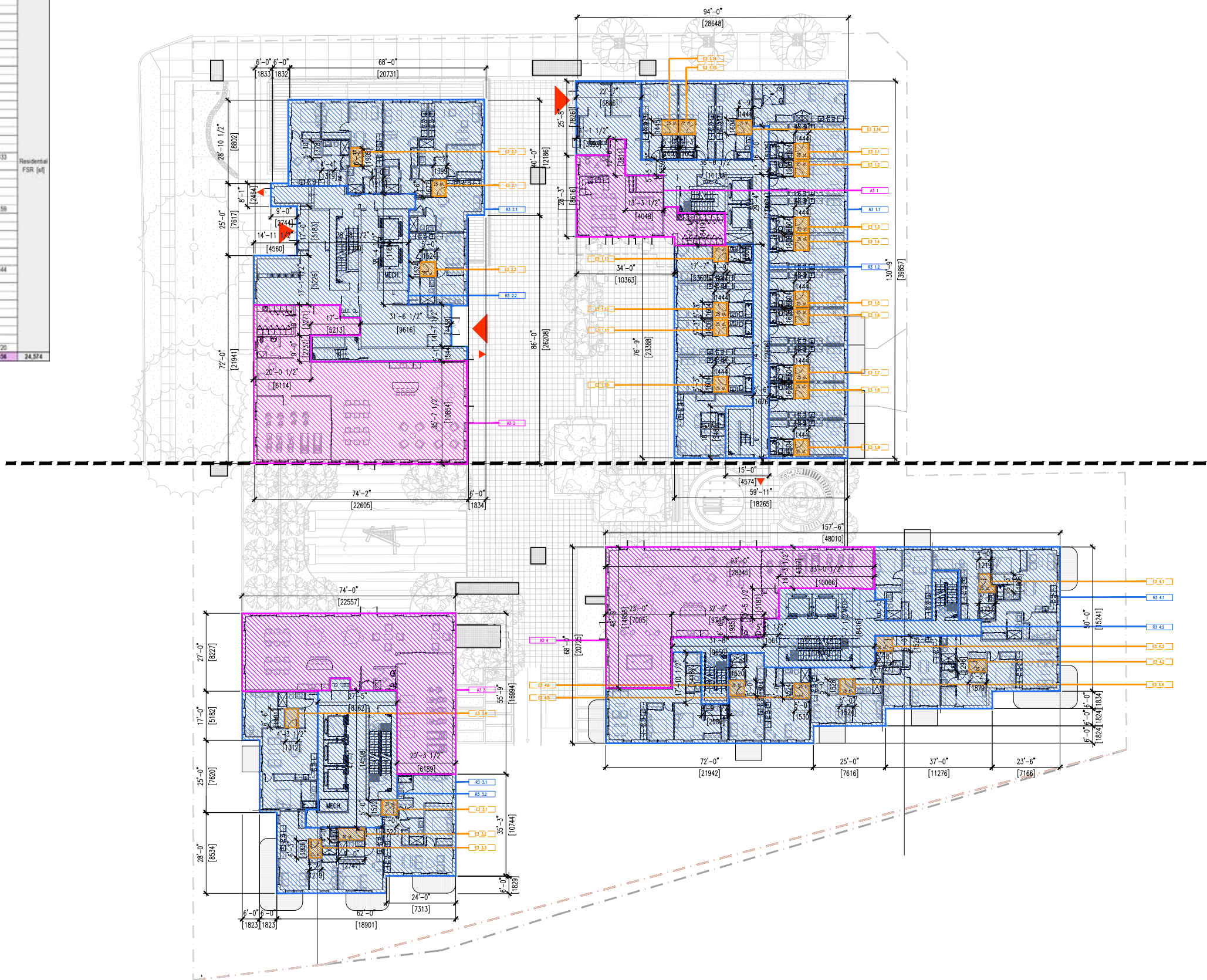
SOUTHWYND PLACE REDEVELOPMENT

8080 YUKON STREET
 VANCOUVER, BC

FSR PLANS L3

DATE
 DRAWN BY ILO
 CHECKED BY TCL
 SCALE 1/16"=1'-0" (1:192)
 JOB NUMBER 22049

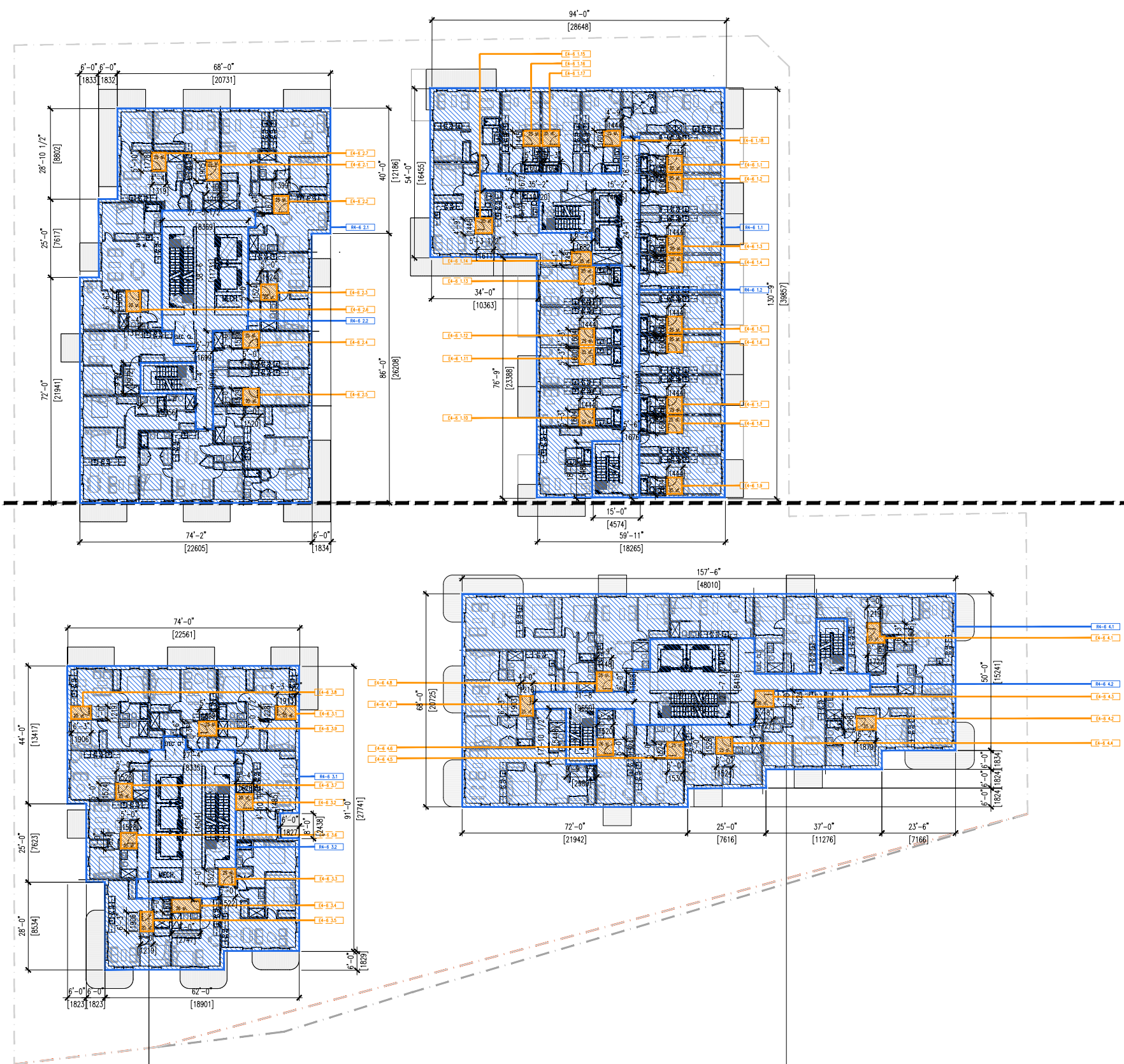
L3	Rentable Area (sf)	Non-rentable Area (sf)	GFA (sf)	Storage Exclusion (sf)	Amenity Exclusion (sf)	Residential FSR (sf)
R0 1.1	7,571	2,106				
R0 1.2						
E0 1.1				25		
E0 1.2				25		
E0 1.3				25		
E0 1.4				25		
E0 1.5				25		
E0 1.6				25		
E0 1.7				25		
E0 1.8				25		
E0 1.9				25		
E0 1.10				25		
E0 1.11				25		
E0 1.12				25		
E0 1.13				25		
E0 1.14				25		
E0 1.15				25		
E0 1.16				25		
A0 1					1,033	
R0 2.1	6,135	2,708				
R0 2.2						
E0 2.1				25		
E0 2.2				25		
E0 2.3				25		
A0 2					3,159	
R0 3.1	5,236	1,309				
R0 3.2						
E0 3.1				25		
E0 3.2				25		
E0 3.3				25		
E0 3.4				28		
A0 3					2,544	
R0 4.1	7,972	1,725				
R0 4.2						
E0 4.1				25		
E0 4.2				25		
E0 4.3				28		
E0 4.4				25		
E0 4.5				25		
E0 4.6				26		
A0 4					2,720	
TOTAL	26,914	7,848	34,762	732	9,456	24,574



L4	Rentable Area [sf]	Non-rentable Area [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R4.1.1	8,165	1,512			
R4.1.2					
E4.1.1			25		
E4.1.2			25		
E4.1.3			25		
E4.1.4			25		
E4.1.5			25		
E4.1.6			25		
E4.1.7			25		
E4.1.8			25		
E4.1.9			25		
E4.1.10			25		
E4.1.11			25		
E4.1.12			25		
E4.1.13			25		
E4.1.14			25		
E4.1.15			25		
E4.1.16			25		
E4.1.17			25		
E4.1.18			25		
R4.2.1	7,619	1,443			
R4.2.2			25		
E4.2.1			25		
E4.2.2			25		
E4.2.3			25		
E4.2.4			25		
E4.2.5			25		
E4.2.6			25		
E4.2.7			25		
R4.3.1	5,189	1,309			
R4.3.2			25		
E4.3.1			25		
E4.3.2			25		
E4.3.3			25		
E4.3.4			25		
E4.3.5			25		
E4.3.6			25		
E4.3.7			25		
E4.3.8			25		
R4.4.1	7,872	1,725			
E4.4.1			25		
E4.4.2			25		
E4.4.3			25		
E4.4.4			25		
E4.4.5			25		
E4.4.6			25		
E4.4.7			25		
E4.4.8			25		
TOTAL	28,945	5,989	34,934	1,079	33,864

L5	Rentable Area [sf]	Non-rentable Area [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R5.1.1	8,165	1,512			
R5.1.2					
E5.1.1			25		
E5.1.2			25		
E5.1.3			25		
E5.1.4			25		
E5.1.5			25		
E5.1.6			25		
E5.1.7			25		
E5.1.8			25		
E5.1.9			25		
E5.1.10			25		
E5.1.11			25		
E5.1.12			25		
E5.1.13			25		
E5.1.14			25		
E5.1.15			25		
E5.1.16			25		
E5.1.17			25		
E5.1.18			25		
R5.2.1	7,619	1,443			
R5.2.2			25		
E5.2.1			25		
E5.2.2			25		
E5.2.3			25		
E5.2.4			25		
E5.2.5			25		
E5.2.6			25		
E5.2.7			25		
R5.3.1	5,189	1,309			
R5.3.2			25		
E5.3.1			25		
E5.3.2			25		
E5.3.3			25		
E5.3.4			25		
E5.3.5			25		
E5.3.6			25		
E5.3.7			25		
E5.3.8			25		
R5.4.1	7,872	1,725			
E5.4.1			25		
E5.4.2			25		
E5.4.3			25		
E5.4.4			25		
E5.4.5			25		
E5.4.6			25		
E5.4.7			25		
E5.4.8			25		
TOTAL	28,945	5,989	34,934	1,079	33,864

L6	Rentable Area [sf]	Non-rentable Area [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R6.1.1	8,165	1,512			
R6.1.2					
E6.1.1			25		
E6.1.2			25		
E6.1.3			25		
E6.1.4			25		
E6.1.5			25		
E6.1.6			25		
E6.1.7			25		
E6.1.8			25		
E6.1.9			25		
E6.1.10			25		
E6.1.11			25		
E6.1.12			25		
E6.1.13			25		
E6.1.14			25		
E6.1.15			25		
E6.1.16			25		
E6.1.17			25		
E6.1.18			25		
R6.2.1	7,619	1,443			
R6.2.2			25		
E6.2.1			25		
E6.2.2			25		
E6.2.3			25		
E6.2.4			25		
E6.2.5			25		
E6.2.6			25		
E6.2.7			25		
R6.3.1	5,189	1,309			
R6.3.2			25		
E6.3.1			25		
E6.3.2			25		
E6.3.3			25		
E6.3.4			25		
E6.3.5			25		
E6.3.6			25		
E6.3.7			25		
E6.3.8			25		
R6.4.1	7,872	1,725			
E6.4.1			25		
E6.4.2			25		
E6.4.3			25		
E6.4.4			25		
E6.4.5			25		
E6.4.6			25		
E6.4.7			25		
E6.4.8			25		
TOTAL	28,945	5,989	34,934	1,079	33,864



gbl

GBL ARCHITECTS
300 - 224 WEST 8TH AVENUE
VANCOUVER, CANADA V5Y 1N5
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GBLARCHITECTS.COM

PROJECT INFORMATION
PLOT INFO.

NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

8080 YUKON STREET
VANCOUVER, BC

FSR PLANS L4-6

DATE
DRAWN BY ILO
CHECKED BY TCL
SCALE 1/16"=1'-0" (1:192)
JOB NUMBER 22049

A8.04

FSR Diagrams



GBL ARCHITECTS
300 - 224 WEST 8TH AVENUE
VANCOUVER, CANADA V5Y 1N5
T: 604.731.1150 F: 604.731.5279
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NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

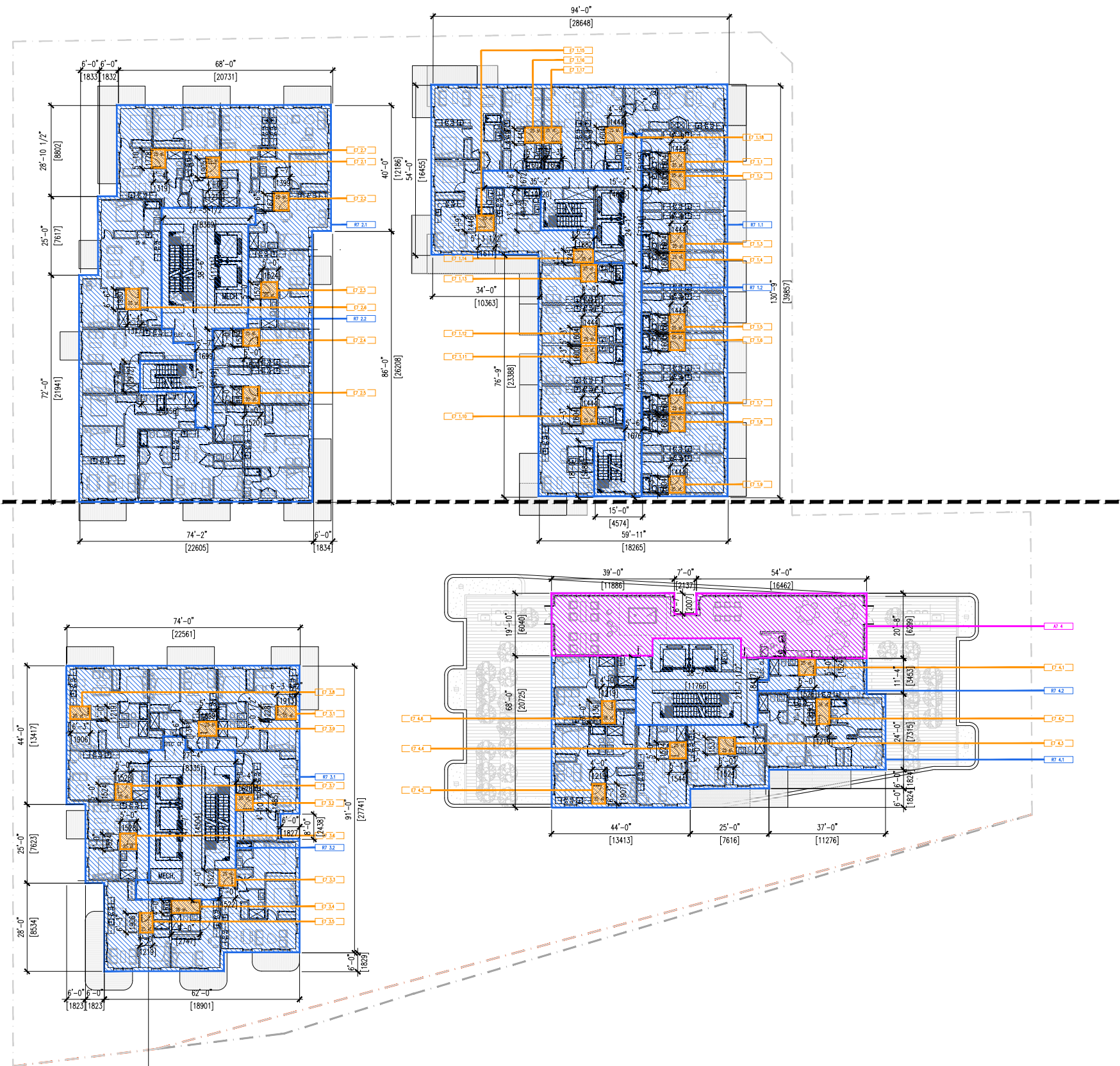
8080 YUKON STREET
VANCOUVER, BC

FSR PLANS L7

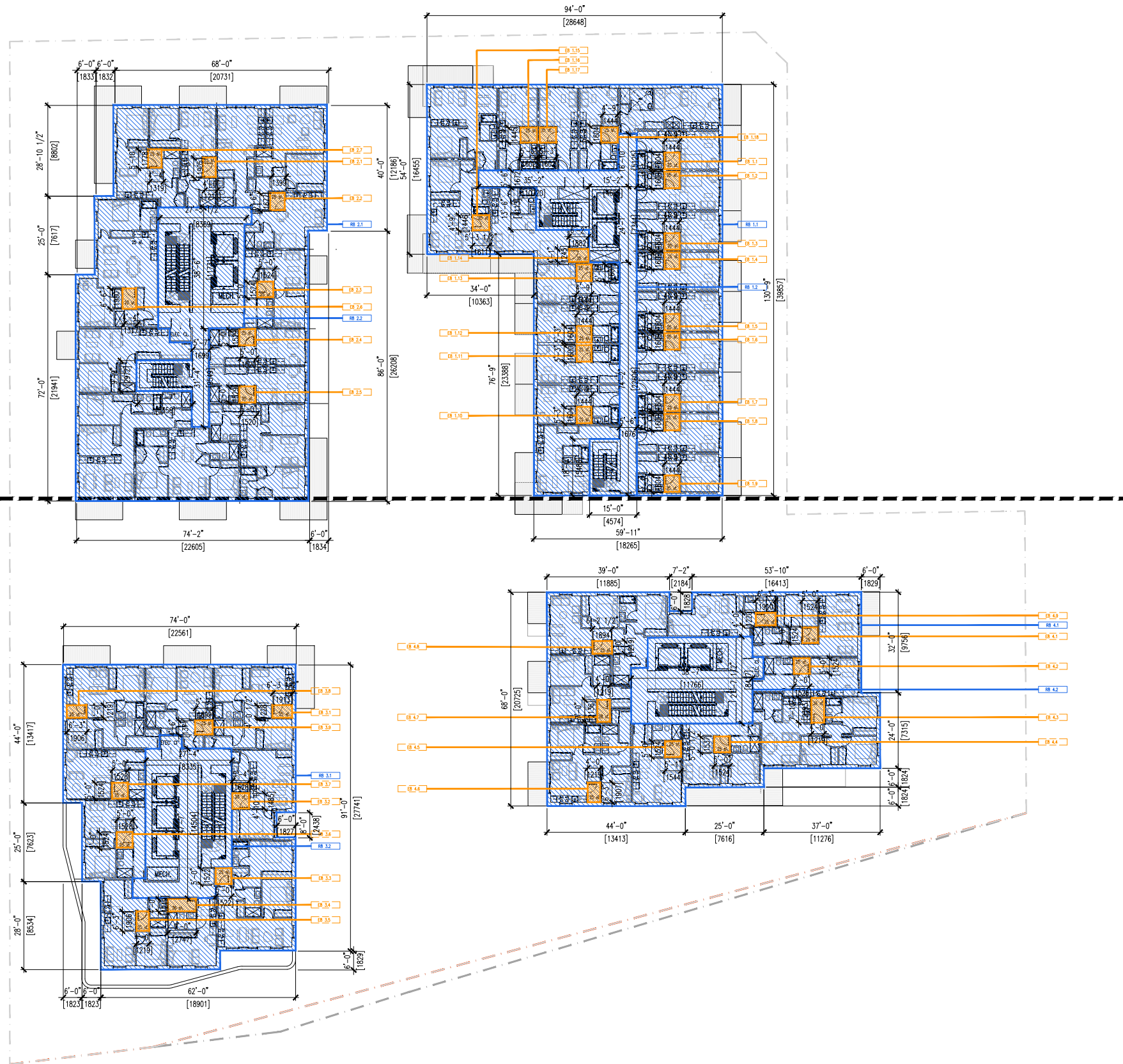
DATE	ILO
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A8.05

L7	Rentable Area [sq]	Non-rentable Area [sq]	Storage Exclusion [sq]	Amenity Exclusion [sq]	Residential FSR [sq]	
R7 1.1	8,165	1,512				
R7 1.2						
E7 1.1			25			
E7 1.2			25			
E7 1.3			25			
E7 1.4			25			
E7 1.5			25			
E7 1.6			25			
E7 1.7			25			
E7 1.8			25			
E7 1.9			25			
E7 1.10			25			
E7 1.11			25			
E7 1.12			25			
E7 1.13			25			
E7 1.14			25			
E7 1.15			25			
E7 1.16			25			
E7 1.17			25			
E7 1.18			25			
R7 2.1	7,619	1,443				
R7 2.2			25			
E7 2.1			25			
E7 2.2			25			
E7 2.3			25			
E7 2.4			25			
E7 2.5			25			
E7 2.6			28			
E7 2.7			25			
R7 3.1	5,189	1,309				
R7 3.2			25			
E7 3.1			25			
E7 3.2			25			
E7 3.3			25			
E7 3.4			36			
E7 3.5			25			
E7 3.6			25			
E7 3.7			25			
E7 3.8			25			
E7 3.9			25			
R7 4.1	5,353	1,024				
R7 4.2			25			
E7 4.1			32			
E7 4.2			25			
E7 4.3			25			
E7 4.4			25			
E7 4.5			25			
E7 4.6			28			
A7 4				1,810		
TOTAL	26,326	5,288	31,614	1,024	1,810	28,780



L8	Rentable Area [sf]	Non-rentable Area [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
RB 1.1	8,165	1,512			
RB 1.2					
EB 1.1			25		
EB 1.2			25		
EB 1.3			25		
EB 1.4			25		
EB 1.5			25		
EB 1.6			25		
EB 1.7			25		
EB 1.8			25		
EB 1.9			25		
EB 1.10			25		
EB 1.11			25		
EB 1.12			25		
EB 1.13			25		
EB 1.14			25		
EB 1.15			25		
EB 1.16			25		
EB 1.17			25		
EB 1.18			25		
RB 2.1	7,619	1,443			
RB 2.2					
EB 2.1			25		
EB 2.2			25		
EB 2.3			25		
EB 2.4			25		
EB 2.5			25		
EB 2.6			28		
EB 2.7			25		
RB 3.1	5,189	1,309			
RB 3.2					
EB 3.1			25		
EB 3.2			25		
EB 3.3			25		
EB 3.4			36		
EB 3.5			25		
EB 3.6			25		
EB 3.7			25		
EB 3.8			25		
EB 3.9			25		
RB 4.1	5,344				
RB 4.2		1,033			
EB 4.1			25		
EB 4.2			36		
EB 4.3			25		
EB 4.4			25		
EB 4.5			25		
EB 4.6			25		
EB 4.7			28		
EB 4.8			25		
EB 4.9			25		
TOTAL	26,317	5,297	31,614	1,103	30,511



GBL ARCHITECTS
 300 - 224 WEST 8TH AVENUE
 VANCOUVER, CANADA V5Y 1N5
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NOTES
 NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

8080 YUKON STREET
 VANCOUVER, BC

FSR PLANS L8

DATE	L8
DRAWN BY	TCL
CHECKED BY	
SCALE	1/16"=1'-0" (1:192)
JOB NUMBER	22049

A8.06

FSR Diagrams



GBL ARCHITECTS
300 - 224 WEST 8TH AVENUE
VANCOUVER, CANADA V5Y 1N5
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GBLARCHITECTS.COM

NOT TO SCALE. THIS PLAN AND OTHER DRAWINGS SHALL BE USED ONLY FOR THE PROJECT AND NOT FOR ANY OTHER PROJECTS WITHOUT THE WRITTEN CONSENT OF GBL ARCHITECTS.

PLAT INFO:

NOTES:
NO DESCRIPTION

REVISIONS		
NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

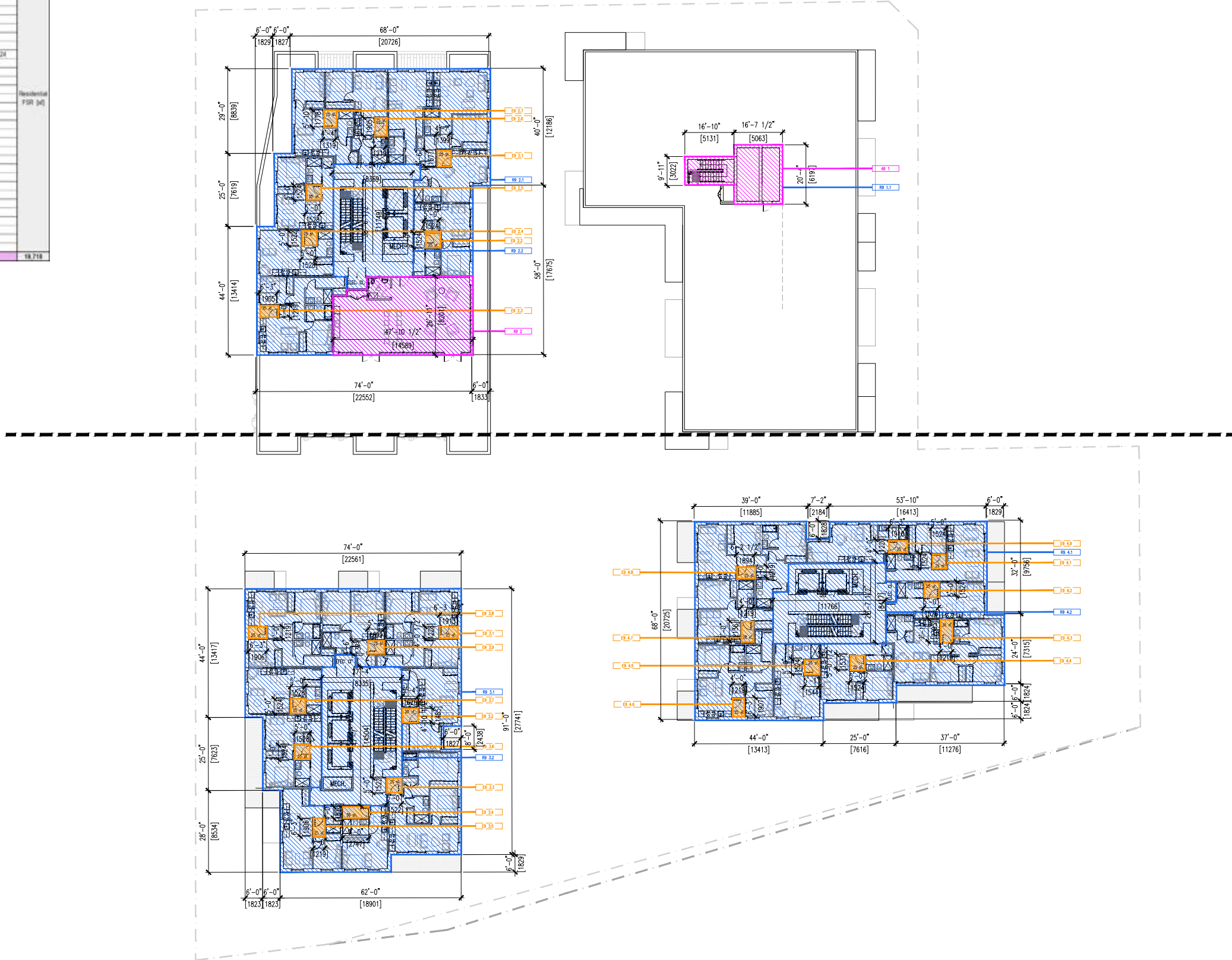
8080 YUKON STREET
VANCOUVER, BC

FSR PLANS L9

DATE	I.L.O.
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A8.07

LR	Remainable Area [sq]	Non-Remainable Area [sq]	Original Column [sq]	Proposed Column [sq]	Residential FSR [sq]
RS 1.1		502			
RS 2.1	5,889	1,162			
RS 2.2					
ES 2.1			25		
ES 2.2			25		
ES 2.3			25		
ES 2.4			25		
ES 2.5			25		
ES 2.6			25		
ES 2.7			25		
AS 2					1,224
RS 3.1	5,189	1,309			
RS 3.2			25		
ES 3.1			25		
ES 3.2			25		
ES 3.3			25		
ES 3.4			25		
ES 3.5			25		
ES 3.6			25		
ES 3.7			25		
ES 3.8			25		
ES 3.9			25		
RS 4.1	5,384				
RS 4.2		1,033			
ES 4.1			25		
ES 4.2			25		
ES 4.3			25		
ES 4.4			25		
ES 4.5			25		
ES 4.6			25		
ES 4.7			25		
ES 4.8			25		
ES 4.9			25		
TOTAL	16,622	3,846	20,368	650	18,718





GBL ARCHITECTS
300 - 224 WEST 8TH AVENUE
VANCOUVER, CANADA V5Y 1N5
T 604 736 1154 F 604 731 5279
GBLARCHITECTS.COM

PROJECT ADDRESS: 100-1000 WEST 8TH AVENUE, VANCOUVER, BC V6P 6E6
PLOT INFO:

NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

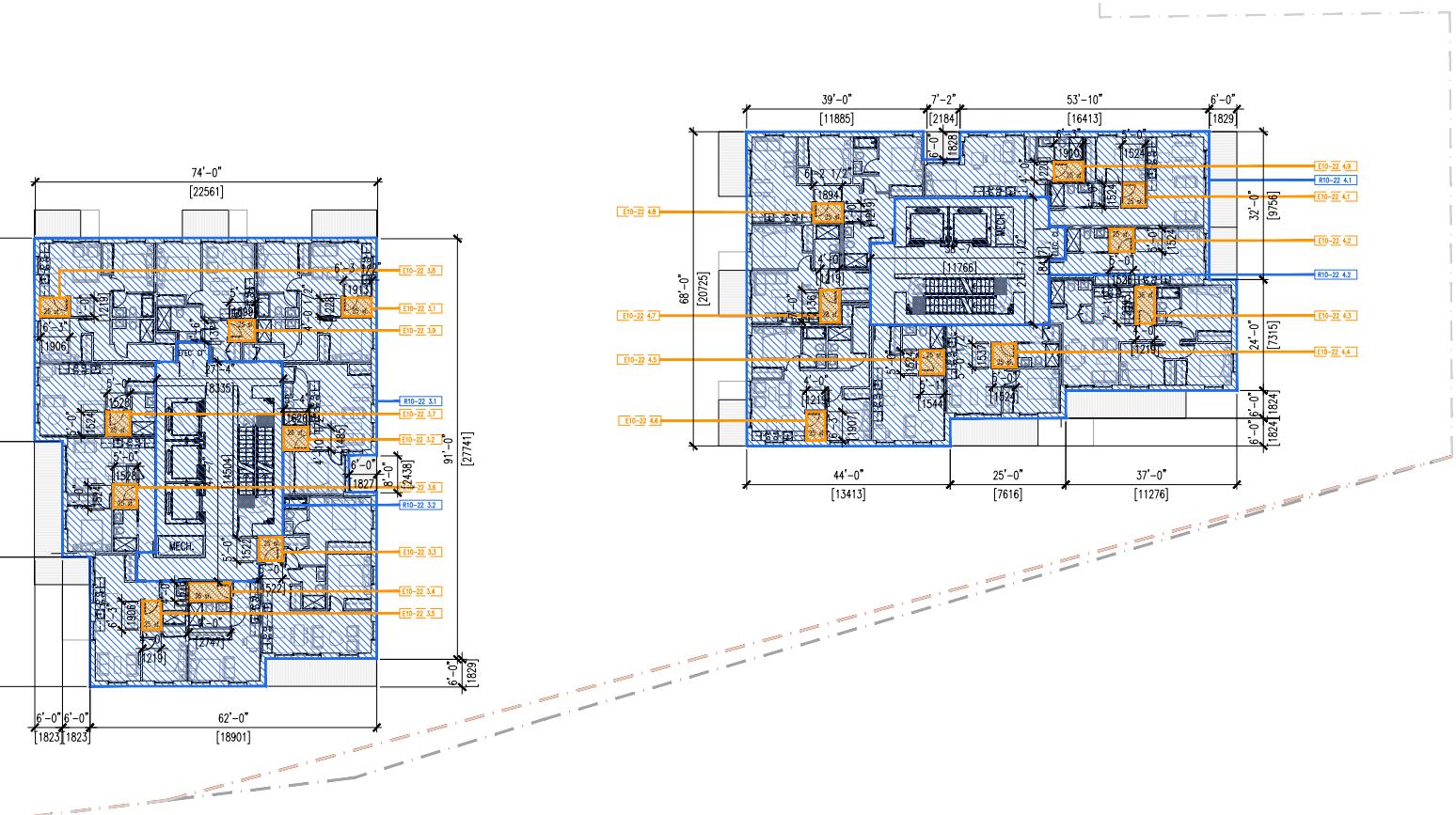
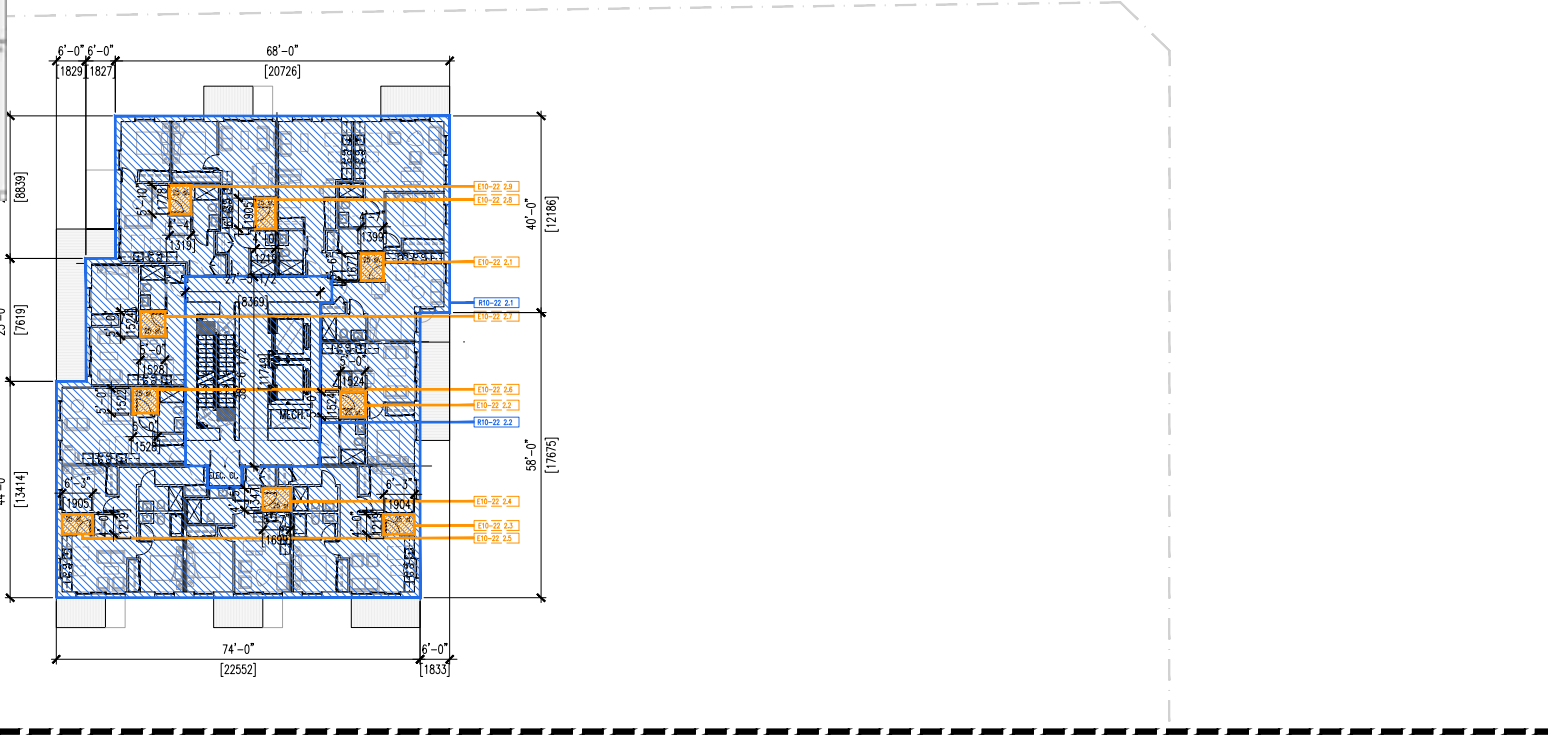
8080 YUKON STREET
VANCOUVER, BC

L10-L22 FLOOR PLAN

DATE	ILO
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A8.08

L10	Quantity	Unit	Material	Notes	L10	Quantity	Unit	Material	Notes
101.1	1.000	sq ft	Concrete		101.1	1.000	sq ft	Concrete	
101.2	1.000	sq ft	Concrete		101.2	1.000	sq ft	Concrete	
101.3	1.000	sq ft	Concrete		101.3	1.000	sq ft	Concrete	
101.4	1.000	sq ft	Concrete		101.4	1.000	sq ft	Concrete	
101.5	1.000	sq ft	Concrete		101.5	1.000	sq ft	Concrete	
101.6	1.000	sq ft	Concrete		101.6	1.000	sq ft	Concrete	
101.7	1.000	sq ft	Concrete		101.7	1.000	sq ft	Concrete	
101.8	1.000	sq ft	Concrete		101.8	1.000	sq ft	Concrete	
101.9	1.000	sq ft	Concrete		101.9	1.000	sq ft	Concrete	
101.10	1.000	sq ft	Concrete		101.10	1.000	sq ft	Concrete	
101.11	1.000	sq ft	Concrete		101.11	1.000	sq ft	Concrete	
101.12	1.000	sq ft	Concrete		101.12	1.000	sq ft	Concrete	
101.13	1.000	sq ft	Concrete		101.13	1.000	sq ft	Concrete	
101.14	1.000	sq ft	Concrete		101.14	1.000	sq ft	Concrete	
101.15	1.000	sq ft	Concrete		101.15	1.000	sq ft	Concrete	
101.16	1.000	sq ft	Concrete		101.16	1.000	sq ft	Concrete	
101.17	1.000	sq ft	Concrete		101.17	1.000	sq ft	Concrete	
101.18	1.000	sq ft	Concrete		101.18	1.000	sq ft	Concrete	
101.19	1.000	sq ft	Concrete		101.19	1.000	sq ft	Concrete	
101.20	1.000	sq ft	Concrete		101.20	1.000	sq ft	Concrete	
101.21	1.000	sq ft	Concrete		101.21	1.000	sq ft	Concrete	
101.22	1.000	sq ft	Concrete		101.22	1.000	sq ft	Concrete	
101.23	1.000	sq ft	Concrete		101.23	1.000	sq ft	Concrete	
101.24	1.000	sq ft	Concrete		101.24	1.000	sq ft	Concrete	
101.25	1.000	sq ft	Concrete		101.25	1.000	sq ft	Concrete	
101.26	1.000	sq ft	Concrete		101.26	1.000	sq ft	Concrete	
101.27	1.000	sq ft	Concrete		101.27	1.000	sq ft	Concrete	
101.28	1.000	sq ft	Concrete		101.28	1.000	sq ft	Concrete	
101.29	1.000	sq ft	Concrete		101.29	1.000	sq ft	Concrete	
101.30	1.000	sq ft	Concrete		101.30	1.000	sq ft	Concrete	
101.31	1.000	sq ft	Concrete		101.31	1.000	sq ft	Concrete	
101.32	1.000	sq ft	Concrete		101.32	1.000	sq ft	Concrete	
101.33	1.000	sq ft	Concrete		101.33	1.000	sq ft	Concrete	
101.34	1.000	sq ft	Concrete		101.34	1.000	sq ft	Concrete	
101.35	1.000	sq ft	Concrete		101.35	1.000	sq ft	Concrete	
101.36	1.000	sq ft	Concrete		101.36	1.000	sq ft	Concrete	
101.37	1.000	sq ft	Concrete		101.37	1.000	sq ft	Concrete	
101.38	1.000	sq ft	Concrete		101.38	1.000	sq ft	Concrete	
101.39	1.000	sq ft	Concrete		101.39	1.000	sq ft	Concrete	
101.40	1.000	sq ft	Concrete		101.40	1.000	sq ft	Concrete	
101.41	1.000	sq ft	Concrete		101.41	1.000	sq ft	Concrete	
101.42	1.000	sq ft	Concrete		101.42	1.000	sq ft	Concrete	
101.43	1.000	sq ft	Concrete		101.43	1.000	sq ft	Concrete	
101.44	1.000	sq ft	Concrete		101.44	1.000	sq ft	Concrete	
101.45	1.000	sq ft	Concrete		101.45	1.000	sq ft	Concrete	
101.46	1.000	sq ft	Concrete		101.46	1.000	sq ft	Concrete	
101.47	1.000	sq ft	Concrete		101.47	1.000	sq ft	Concrete	
101.48	1.000	sq ft	Concrete		101.48	1.000	sq ft	Concrete	
101.49	1.000	sq ft	Concrete		101.49	1.000	sq ft	Concrete	
101.50	1.000	sq ft	Concrete		101.50	1.000	sq ft	Concrete	
101.51	1.000	sq ft	Concrete		101.51	1.000	sq ft	Concrete	
101.52	1.000	sq ft	Concrete		101.52	1.000	sq ft	Concrete	
101.53	1.000	sq ft	Concrete		101.53	1.000	sq ft	Concrete	
101.54	1.000	sq ft	Concrete		101.54	1.000	sq ft	Concrete	
101.55	1.000	sq ft	Concrete		101.55	1.000	sq ft	Concrete	
101.56	1.000	sq ft	Concrete		101.56	1.000	sq ft	Concrete	
101.57	1.000	sq ft	Concrete		101.57	1.000	sq ft	Concrete	
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101.60	1.000	sq ft	Concrete		101.60	1.000	sq ft	Concrete	
101.61	1.000	sq ft	Concrete		101.61	1.000	sq ft	Concrete	
101.62	1.000	sq ft	Concrete		101.62	1.000	sq ft	Concrete	
101.63	1.000	sq ft	Concrete		101.63	1.000	sq ft	Concrete	
101.64	1.000	sq ft	Concrete		101.64	1.000	sq ft	Concrete	
101.65	1.000	sq ft	Concrete		101.65	1.000	sq ft	Concrete	
101.66	1.000	sq ft	Concrete		101.66	1.000	sq ft	Concrete	
101.67	1.000	sq ft	Concrete		101.67	1.000	sq ft	Concrete	
101.68	1.000	sq ft	Concrete		101.68	1.000	sq ft	Concrete	
101.69	1.000	sq ft	Concrete		101.69	1.000	sq ft	Concrete	
101.70	1.000	sq ft	Concrete		101.70	1.000	sq ft	Concrete	
101.71	1.000	sq ft	Concrete		101.71	1.000	sq ft	Concrete	
101.72	1.000	sq ft	Concrete		101.72	1.000	sq ft	Concrete	
101.73	1.000	sq ft	Concrete		101.73	1.000	sq ft	Concrete	
101.74	1.000	sq ft	Concrete		101.74	1.000	sq ft	Concrete	
101.75	1.000	sq ft	Concrete		101.75	1.000	sq ft	Concrete	
101.76	1.000	sq ft	Concrete		101.76	1.000	sq ft	Concrete	
101.77	1.000	sq ft	Concrete		101.77	1.000	sq ft	Concrete	
101.78	1.000	sq ft	Concrete		101.78	1.000	sq ft	Concrete	
101.79	1.000	sq ft	Concrete		101.79	1.000	sq ft	Concrete	
101.80	1.000	sq ft	Concrete		101.80	1.000	sq ft	Concrete	
101.81	1.000	sq ft	Concrete		101.81	1.000	sq ft	Concrete	
101.82	1.000	sq ft	Concrete		101.82	1.000	sq ft	Concrete	
101.83	1.000	sq ft	Concrete		101.83	1.000	sq ft	Concrete	
101.84	1.000	sq ft	Concrete		101.84	1.000	sq ft	Concrete	
101.85	1.000	sq ft	Concrete		101.85	1.000	sq ft	Concrete	
101.86	1.000	sq ft	Concrete		101.86	1.000	sq ft	Concrete	
101.87	1.000	sq ft	Concrete		101.87	1.000	sq ft	Concrete	
101.88	1.000	sq ft	Concrete		101.88	1.000	sq ft	Concrete	
101.89	1.000	sq ft	Concrete		101.89	1.000	sq ft	Concrete	
101.90	1.000	sq ft	Concrete		101.90	1.000	sq ft	Concrete	
101.91	1.000	sq ft	Concrete		101.91	1.000	sq ft	Concrete	
101.92	1.000	sq ft	Concrete		101.92	1.000	sq ft	Concrete	
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101.95	1.000	sq ft	Concrete		101.95	1.000	sq ft	Concrete	
101.96	1.000	sq ft	Concrete		101.96	1.000	sq ft	Concrete	
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101.98	1.000	sq ft	Concrete		101.98	1.000	sq ft	Concrete	
101.99	1.000	sq ft	Concrete		101.99	1.000	sq ft	Concrete	
102.00	1.000	sq ft	Concrete		102.00	1.000	sq ft	Concrete	



FSR Diagrams



GBL ARCHITECTS
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NOT TO SCALE. THIS PLAN AND OTHER DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE PROJECT'S SITE PLAN AND ALL OTHER DRAWINGS.
PLOT INFO:

NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

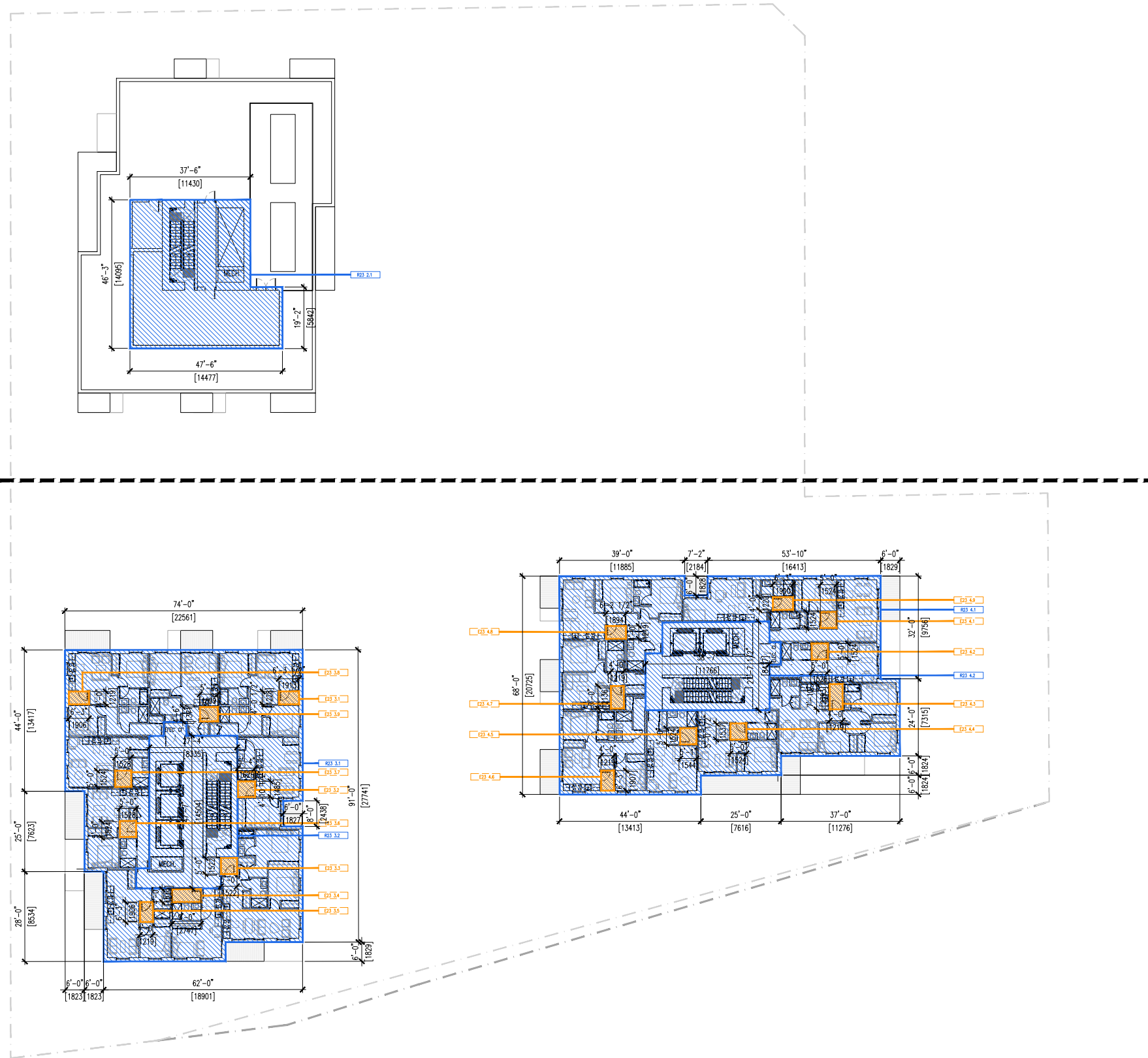
8080 YUKON STREET
VANCOUVER, BC

FSR PLANS L23

DATE	ILO
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

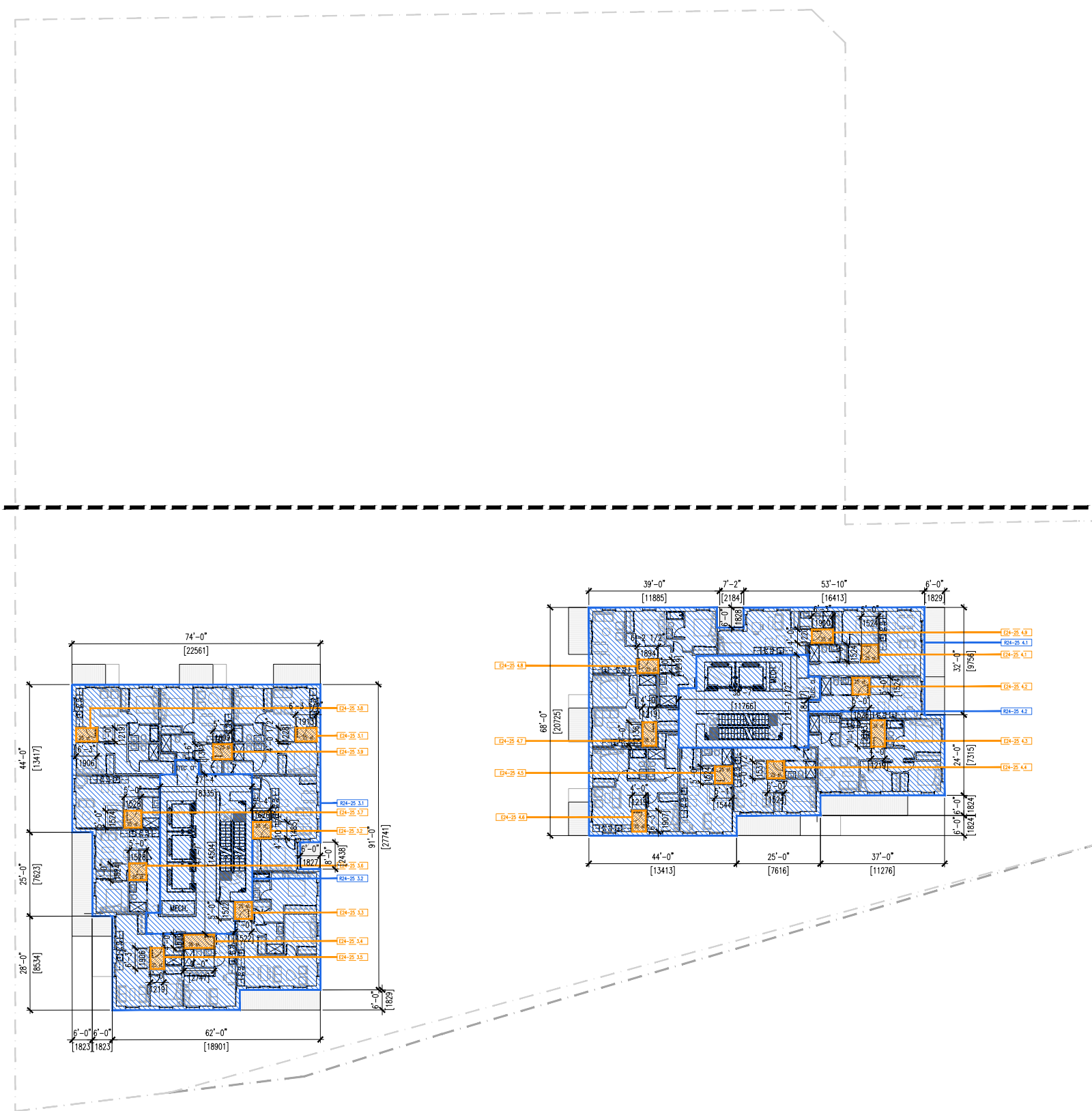
A8.09

L23	Non-Residential Area [sqft]	Non-Ventilable Area [sqft]	QFA [sqft]	Programmed Area [sqft]	Residential FSR [sqft]
R23 2.1		1,520			
R23 2.1	3,100	1,500			
R23 2.2					
R23 3.1				25	
R23 3.3				25	
R23 3.5				25	
R23 3.4				25	
R23 3.6				25	
R23 3.8				25	
R23 3.7				25	
R23 3.8				25	
R23 3.9				25	
R23 4.1	5,344	1,033			
R23 4.2				25	
R23 4.1				25	
R23 4.2				25	
R23 4.3				25	
R23 4.4				25	
R23 4.5				25	
R23 4.6				25	
R23 4.7				25	
R23 4.8				25	
R23 4.9				25	
R23 5.0				25	
TOTAL	16,523	4,208	14,801	476	8



L24	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R24 3.1	5,189	1,309				
R24 3.2						
E24 3.1				25		
E24 3.2				25		
E24 3.3				25		
E24 3.4				36		
E24 3.5				25		
E24 3.6				25		
E24 3.7				25		
E24 3.8				25		
E24 3.9				25		
R24 4.1	5,344	1,033				
R24 4.2						
E24 4.1				25		
E24 4.2				25		
E24 4.3				36		
E24 4.4				25		
E24 4.5				25		
E24 4.6				25		
E24 4.7				28		
E24 4.8				25		
E24 4.9				25		
TOTAL	10,533	2,342	12,875	476	0	12,399

L25	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R25 3.1	5,189	1,309				
R25 3.2						
E25 3.1				25		
E25 3.2				25		
E25 3.3				25		
E25 3.4				36		
E25 3.5				25		
E25 3.6				25		
E25 3.7				25		
E25 3.8				25		
E25 3.9				25		
R25 4.1	5,344	1,033				
R25 4.2						
E25 4.1				25		
E25 4.2				25		
E25 4.3				36		
E25 4.4				25		
E25 4.5				25		
E25 4.6				25		
E25 4.7				28		
E25 4.8				25		
E25 4.9				25		
TOTAL	10,533	2,342	12,875	476	0	12,399



gbl

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PLOT INFO.

NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

8080 YUKON STREET
VANCOUVER, BC

FSR PLANS L24-25

DATE	BY	SCALE
	ILO	
	TCL	
		1/16"=1'-0" (1:192)

JOB NUMBER 22049

A8.10

FSR Diagrams



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NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

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VANCOUVER, BC

FSR PLANS L26-28

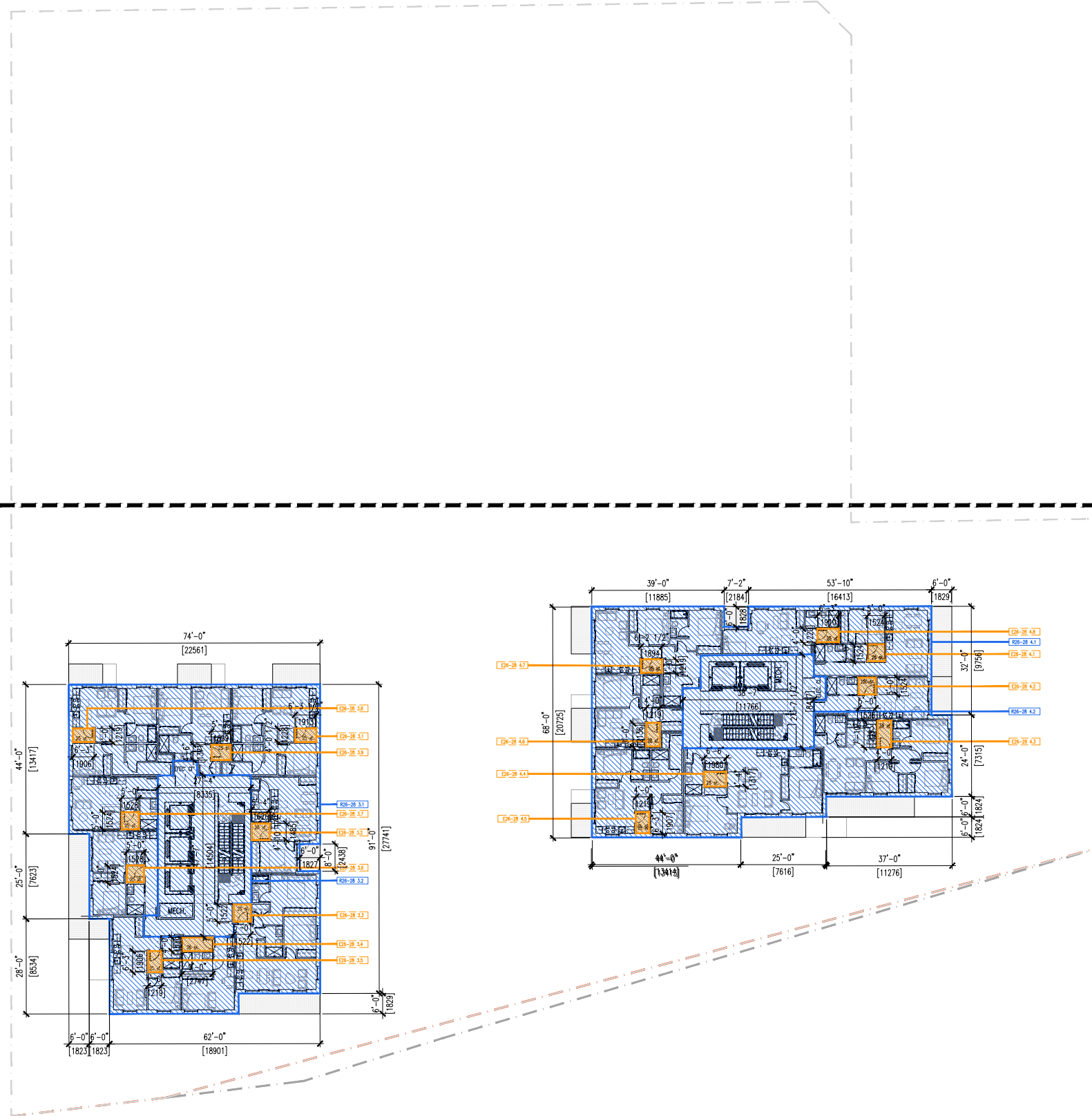
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DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A8.11

L26	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R26 3.1	5,189					
R26 3.2		1,309				
E26 3.1				25		
E26 3.2				26		
E26 3.3				25		
E26 3.4				36		
E26 3.5				25		
E26 3.6				25		
E26 3.7				25		
E26 3.8				25		
E26 3.9				25		
R26 4.1	5,344					
R26 4.2		1,033				
E26 4.1				25		
E26 4.2				25		
E26 4.3				36		
E26 4.4				28		
E26 4.5				25		
E26 4.6				28		
E26 4.7				25		
E26 4.8				25		
TOTAL	10,533	2,342	12,875	454	0	12,421

L27	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R27 3.1	5,189					
R27 3.2		1,309				
E27 3.1				25		
E27 3.2				26		
E27 3.3				25		
E27 3.4				36		
E27 3.5				25		
E27 3.6				25		
E27 3.7				25		
E27 3.8				25		
E27 3.9				25		
R27 4.1	5,344					
R27 4.2		1,033				
E27 4.1				25		
E27 4.2				25		
E27 4.3				36		
E27 4.4				28		
E27 4.5				25		
E27 4.6				28		
E27 4.7				25		
E27 4.8				25		
TOTAL	10,533	2,342	12,875	454	0	12,421

L28	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R28 3.1	5,189					
R28 3.2		1,309				
E28 3.1				25		
E28 3.2				26		
E28 3.3				25		
E28 3.4				36		
E28 3.5				25		
E28 3.6				25		
E28 3.7				25		
E28 3.8				25		
E28 3.9				25		
R28 4.1	5,344					
R28 4.2		1,033				
E28 4.1				25		
E28 4.2				25		
E28 4.3				36		
E28 4.4				28		
E28 4.5				25		
E28 4.6				28		
E28 4.7				25		
E28 4.8				25		
TOTAL	10,533	2,342	12,875	454	0	12,421



L29	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R29.3.1	5,185					
R29.3.2		1,309				
E29.3.1				25		
E29.3.2				25		
E29.3.3				25		
E29.3.4				30		
E29.3.5				25		
E29.3.6				25		
E29.3.7				25		
E29.3.8				25		
E29.3.9				25		
R29.4.1		2,037				
TOTAL	5,189	3,346	8,535	237	0	8,298

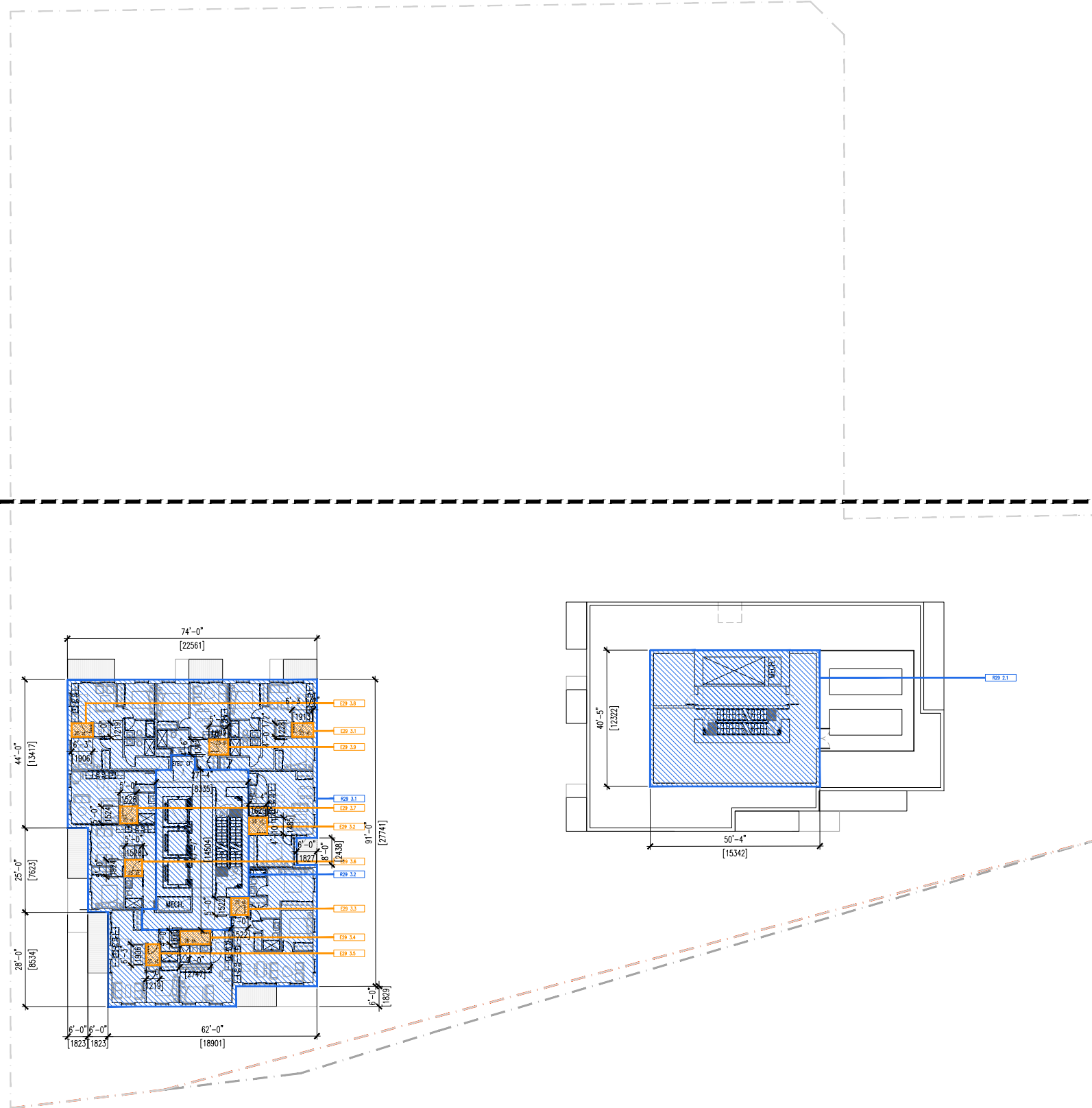


GBL ARCHITECTS
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PLOT INFO.

NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION



SOUTHWYND PLACE REDEVELOPMENT

8080 YUKON STREET
VANCOUVER, BC

**L29 FLOOR PLAN
[B4 ROOF]**

DATE	ILO
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A8.12

FSR Diagrams



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NOTES
NO DESCRIPTION

REVISIONS		
NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

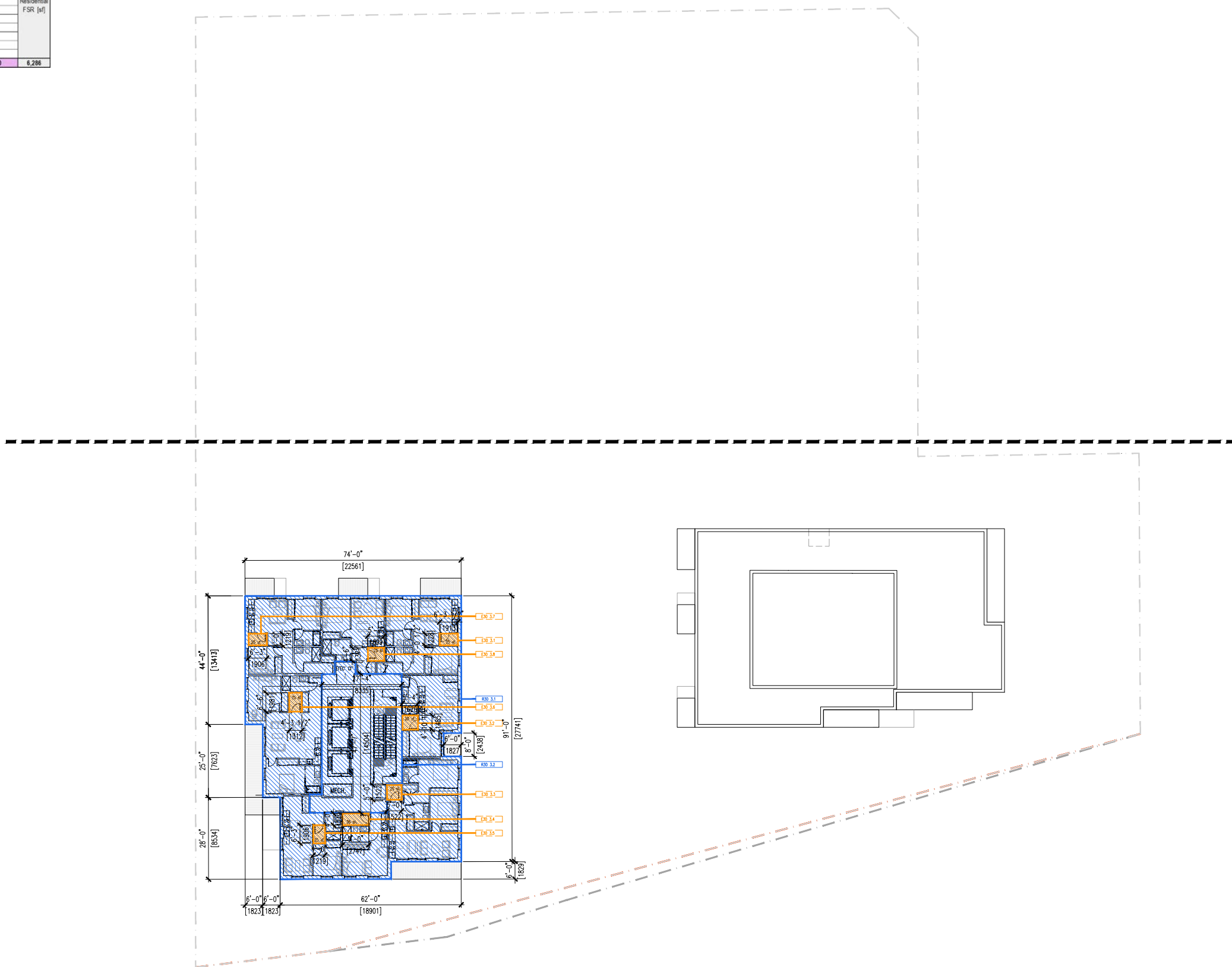
8080 YUKON STREET
VANCOUVER, BC

FSR PLANS L30

DATE	I.L.O.
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A8.13

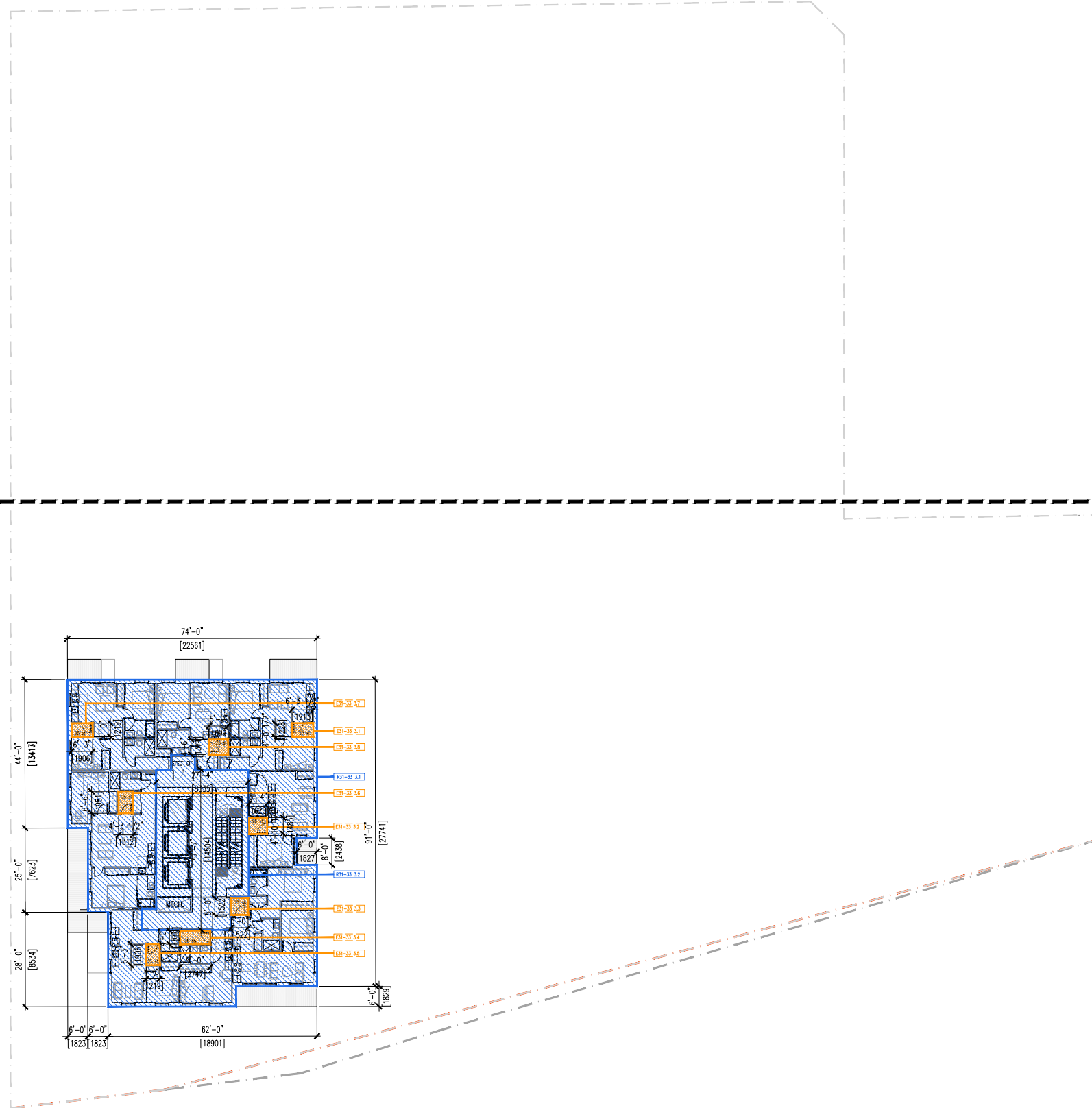
L30	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R30 3.1	5,189					
R30 3.2		1,309				
E30 3.1				25		
E30 3.2				26		
E30 3.3				25		
E30 3.4				36		
E30 3.5				25		
E30 3.6				25		
E30 3.7				25		
E30 3.8				25		
TOTAL	5,189	1,309	6,488	212	0	6,286



L31	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Enclosure [sf]	Assembly Enclosure [sf]	Residential FSR [sf]
R31.3.1	5,189	1,309				
R31.3.2						
E31.3.1				25		
E31.3.2				25		
E31.3.3				25		
E31.3.4				25		
E31.3.5				25		
E31.3.6				25		
E31.3.7				25		
E31.3.8				25		
TOTAL	5,189	1,309	6,498	212	0	6,286

L32	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Enclosure [sf]	Assembly Enclosure [sf]	Residential FSR [sf]
R32.3.1	5,189	1,309				
R32.3.2						
E32.3.1				25		
E32.3.2				25		
E32.3.3				25		
E32.3.4				25		
E32.3.5				25		
E32.3.6				25		
E32.3.7				25		
E32.3.8				25		
TOTAL	5,189	1,309	6,498	212	0	6,286

L33	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Enclosure [sf]	Assembly Enclosure [sf]	Residential FSR [sf]
R33.3.1	5,189	1,309				
R33.3.2						
E33.3.1				25		
E33.3.2				25		
E33.3.3				25		
E33.3.4				25		
E33.3.5				25		
E33.3.6				25		
E33.3.7				25		
E33.3.8				25		
TOTAL	5,189	1,309	6,498	212	0	6,286



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PLOT INFO.

NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

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FSR PLANS L31-33

DATE	IL0
DRAWN BY	TCL
CHECKED BY	1/16"=1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A8.14

FSR Diagrams



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PL01 INFO.

NOTES
NO DESCRIPTION

NO.	DATE	REMARKS
1	2023 APR 20	PRELIM CONCEPT REVIEW
2	2024 NOV 13	CLIENT REVIEW SET
3	2024 NOV 15	CONSULTANT REVIEW
4	2025 JAN 15	RZ SUBMISSION

SOUTHWYND PLACE REDEVELOPMENT

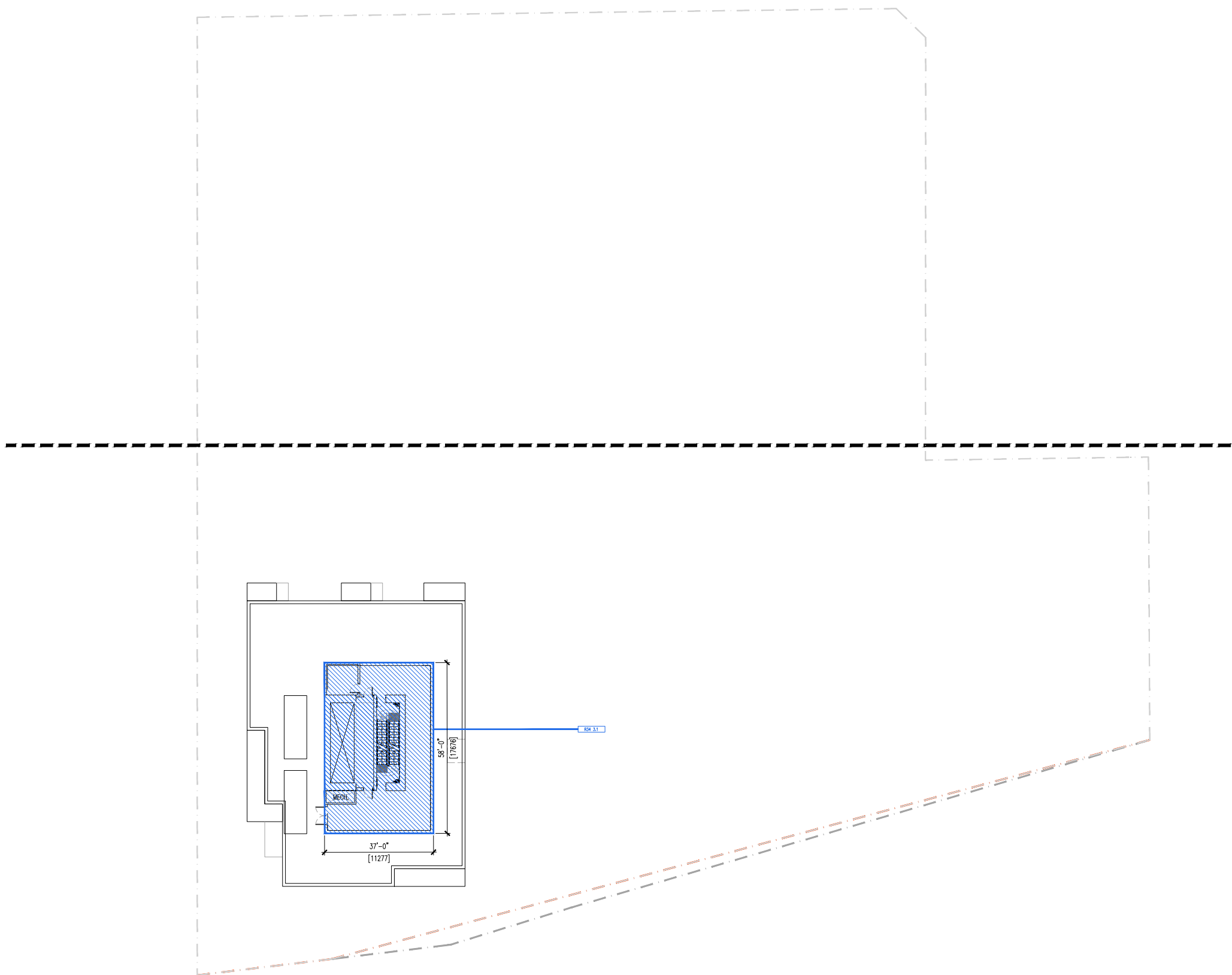
8080 YUKON STREET
VANCOUVER, BC

FSR PLANS L34

DATE	ILO
DRAWN BY	TCL
CHECKED BY	1/16" = 1'-0" (1:192)
SCALE	
JOB NUMBER	22049

A8.15

L34	Rentable Area [sf]	Non-rentable Area [sf]	GFA [sf]	Storage Exclusion [sf]	Amenity Exclusion [sf]	Residential FSR [sf]
R34 3.1		2,145	2,145	0	0	2,145
TOTAL	0	2,145	2,145	0	0	2,145





Landscape: Tree Retention Plan

GENERAL TREE PROTECTION FENCING TYP NOTES:

1. ALL COMPONENTS AND WORKMANSHIP TO CONFORM TO CANADIAN LANDSCAPE STANDARDS TYPICAL.
2. POSITION TREE STAKES INTO DIRECTION OF PREVAILING WINDS IF MINIMUM UTILITY SETBACKS PERMIT.
3. ALL TREE STAKES TO HAVE A MINIMUM 1.0m CLEARANCE FROM ALL U/G POWER, TELEPHONE AND GAS ALIGNMENTS.
4. ALL ROOTBALL HOLES TO BE DUG BY HAND WHEN CLOSER TO 1.0M (40") TO U/G POWER, TELEPHONE AND GAS ALIGNMENTS. FOR TREES WITH DRIP LINES FROM FROM 3M - 5M (9' - 15') FROM CONSTRUCTION ACTIVITY;
5. PLACE STANDARD 'SAFETY ORANGE' SNOWFENCE MIN. OF 4.5M (14'8") FROM TREE TRUNK. EXACT SIZE/SHAPE TO BE DETERMINED ON SITE
6. FOR EXCAVATION WITHIN 1-3M (3' - 9') OF ANY TREE'S DRIFLINE, ROOT PRUNING REQUIRED TO A DEPTH OF 500MM (20"). IMMEDIATELY AFTER EXCAVATION, PRUNE ALL EXPOSED ROOTS FLUSH WITH THE EXCAVATION WALL.
7. A MAXIMUM OF 25% OF ANY TREE'S ROOTS AT THE DRIFLINE SHOULD BE IMPACTED BY EXCAVATION IF THE TREE IS EXPECTED TO SURVIVE.
8. INSTALL AND MAINTAIN HOARDING IN CLEAN AND SAFE CONDITION THROUGHOUT CONSTRUCTION PROCESS.
9. HOARDING REQUIREMENTS ARE ON ALL EXISTING TREES THROUGHOUT CONSTRUCTION. ALL EQUIPMENT, SOIL, BUILDING MATERIAL AND OTHER DEBRIS SHALL BE KEPT OUTSIDE THE HOARDING.
10. IF HOARDING IS PUNCTURED AND DAMAGE OCCURS TO HOARDED TREE(S), NOTIFY LANDSCAPE ARCHITECT.
11. THE BEST METHOD TO AVOID SOIL COMPACTION IS TO KEEP OFF. THIS INCLUDES RESTRICTING ALL TRAFFIC BOTH VEHICULAR AND PEDESTRIAN FROM CROSSING OVER THE ROOT ZONES, AND RESTRICTING EVEN TEMPORARY MATERIAL STORAGE UNDER TREES
12. EXCAVATION AROUND TREES WITHIN DRIP LINE OF TREES ONLY WHERE INDICATED ON PLANS AND AS DIRECTED BY THE CONSULTANT.
13. DURING ANY EXCAVATION WITHIN THE DRIP LINE OF A TREE THE CONTRACTOR SHALL EXCAVATE AROUND TREE ROOTS AS DIRECTED BY THE CONSULTANT. DO NOT CUT TREE ROOTS UNLESS DIRECTED BY THE CONSULTANT.
14. TREES AND OTHER DESIRABLE VEGETATION TO BE TOTALLY FENCED. FENCING TO BE MAINTAINED FOR THE DURATION OF THE PROJECT.
15. EXCAVATION FOR NEW CONSTRUCTION WITHIN THE DRIP LINES OF TREES: HAND EXCAVATE TO MINIMIZE DAMAGE TO ROOT SYSTEMS
16. USE NARROW TINE SPADING FORKS TO PROBE AND COMB SOIL TO EXPOSE ROOTS;
17. RELOCATE ROOTS INTO BACKFILL AREAS WHENEVER POSSIBLE. IF LARGE MAIN LATERAL ROOTS ARE ENCOUNTERED, EXPOSE BEYOND EXCAVATION LIMITS AS REQUIRED TO BEND AND RELOCATE WITHOUT BREAKING.
18. UTILITY TRENCHING WITHIN THE DRIP LINES OF TREES: TUNNEL UNDER AND AROUND ROOTS BY HAND DIGGING;
19. DO NOT CUT MAIN LATERAL ROOTS;
20. CUTTING OF SMALLER ROOTS THAT INTERFERE WITH INSTALLATION OF NEW WORK SHALL BE DONE WITH CLEAN SHARP TREE PRUNING TOOLS;
21. ROOTS THAT ARE ENCOUNTERED IMMEDIATELY ADJACENT TO THE LOCATION OF NEW CONSTRUCTION AND ARE TOO DIFFICULT TO RELOCATE SHALL BE CUT 150MM (6") BACK FROM NEW CONSTRUCTION. USE CLEAN SHARP TREE PRUNING TOOLS;
22. PROTECTION OF EXPOSED ROOTS: DO NOT ALLOW EXPOSED ROOTS TO DRY OUT PRIOR TO PLACEMENT OF PERMANENT COVER.
23. PROVIDE ONE OF THE FOLLOWING TEMPORARY REMEDIAL MEASURES:
 - A. PROVIDE TEMPORARY EARTH COVER. MAINTAIN MOISTURE.
 - B. PACK WITH WET PEAT MOSS. MAINTAIN MOISTURE.
 - C. PACK WITH FOUR LAYERS OF WET UNTREATED BURLAP. MAINTAIN MOISTURE.
25. TEMPORARILY SUPPORT AND PROTECT EXPOSED ROOTS FROM DAMAGE UNTIL PERMANENTLY RELOCATED AND COVERED WITH BACKFILL.
26. WATER PUDDLE BACKFILL AROUND ROOTS TO ELIMINATE VOIDS AND AIR POCKETS
27. REMOVAL OF STREET TREES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING SERVICES.

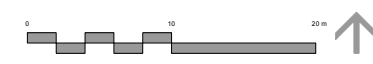
TREE MANAGEMENT PLAN

SYMBOL	DESCRIPTION
	EXISTING TREE TO BE RETAINED Refer to Arborist Report
	EXISTING TREE - TO BE REMOVED Refer to Arborist Report
	TREE PROTECTION BARRIER FENCE Refer to Tree Protection Notes for Requirements

NOTE:
TREE REMOVAL SHALL BY UNDERTAKEN UNDER THE SUPERVISION OF THE PROJECT ARBORIST ONLY AFTER ALL PERMITS HAVE BEEN GRANTED.

TREE QUANTITY

DESCRIPTION	QUANTITY
EXISTING TREES TO BE RETAINED	43
EXISTING TREES TO BE REMOVED	55
NEW TREES AT GRADE	5
NEW TREES ON SLAB	72



Landscape: Site Plan

GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
6. THIS PLAN IS "NOT FOR CONSTRUCTION" AND IS TO BE SUBMITTED FOR REVIEW TO ENGINEERING SERVICES A MINIMUM OF 8 WEEKS PRIOR TO THE START OF ANY CONSTRUCTION PROPOSED FOR PUBLIC PROPERTY. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL SUCH PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT ENGINEERING, DEVELOPMENT SERVICES AND/OR YOUR ENGINEERING, BUILDING SITE INSPECTOR FOR DETAILS.
7. IN COORDINATION WITH ENGINEERING REQUIREMENTS, DESIGN DEVELOPMENT TO MAXIMIZE THE FRONT BOULEVARD WIDTH FOR FUTURE TREE GROWTH AND USE STRUCTURAL SOIL UNDER THE SIDEWALKS. ENSURE PROPOSED UTILITIES ARE LOCATED OUTSIDE THE FRONT BOULEVARD TREE PLANTING SPACE AND IN THE ROAD OR TOWARDS THE BACK BOULEVARD.

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PAVING TYPE 1 CIP Concrete Sidewalk As per CoV Standards
	PAVING TYPE 2 Texada Slabs in Natural - By Belgard. 610 x 610 x 50mm
	PAVING TYPE 3 Composite Deck with wood like texture - public areas
	PAVING TYPE 4 Composite Deck with wood like texture - private patios
	PAVING TYPE 5 PIP Fall Surfacing
	PLANTING TYPE 1 Lawn Area
	PLANTING TYPE 2 Shrub Area
	PLANTING TYPE 3 Pet Relief Area
	SITE FURNISHING 1 Metal Bench by Sholto Design 7' x 27" x 2'6". Model: Simon
	SITE FURNISHING 2 Custom made Garden Shed 36" high, matching the planter
	SITE FURNISHING 3 Harvest Table
	SITE FURNISHING 4 4- Seat table
	SITE FURNISHING 5 Wood Urban Agriculture Planter 2' x 10' x Set includes wheelchair accessible planter
	SITE FURNISHING 6 Wood+Net Play Structure
	SITE FURNISHING 7 Metal planter. Dimension Varies
	SITE FURNISHING 8 Concrete Planter. Dimension Varies
	SITE FURNISHING 9 Outdoor Gym Equipment
	SITE FURNISHING 10 Wellness path c/w Fall surface at the middle for Yoga practice
	SITE FURNISHING 11 Bird House
	SITE FURNISHING 13 Gated area
	SITE FURNISHING 17 Metal garden plot planter. Min 24sqf area and min. 18" high

PRECEDENT IMAGES



1 MEDITATION PATH & WELLNESS CIRCLE



2 SEATING AREA AROUND PLANTER EDGE



3 ENCLOSED OUTDOOR AMENITY SPACE



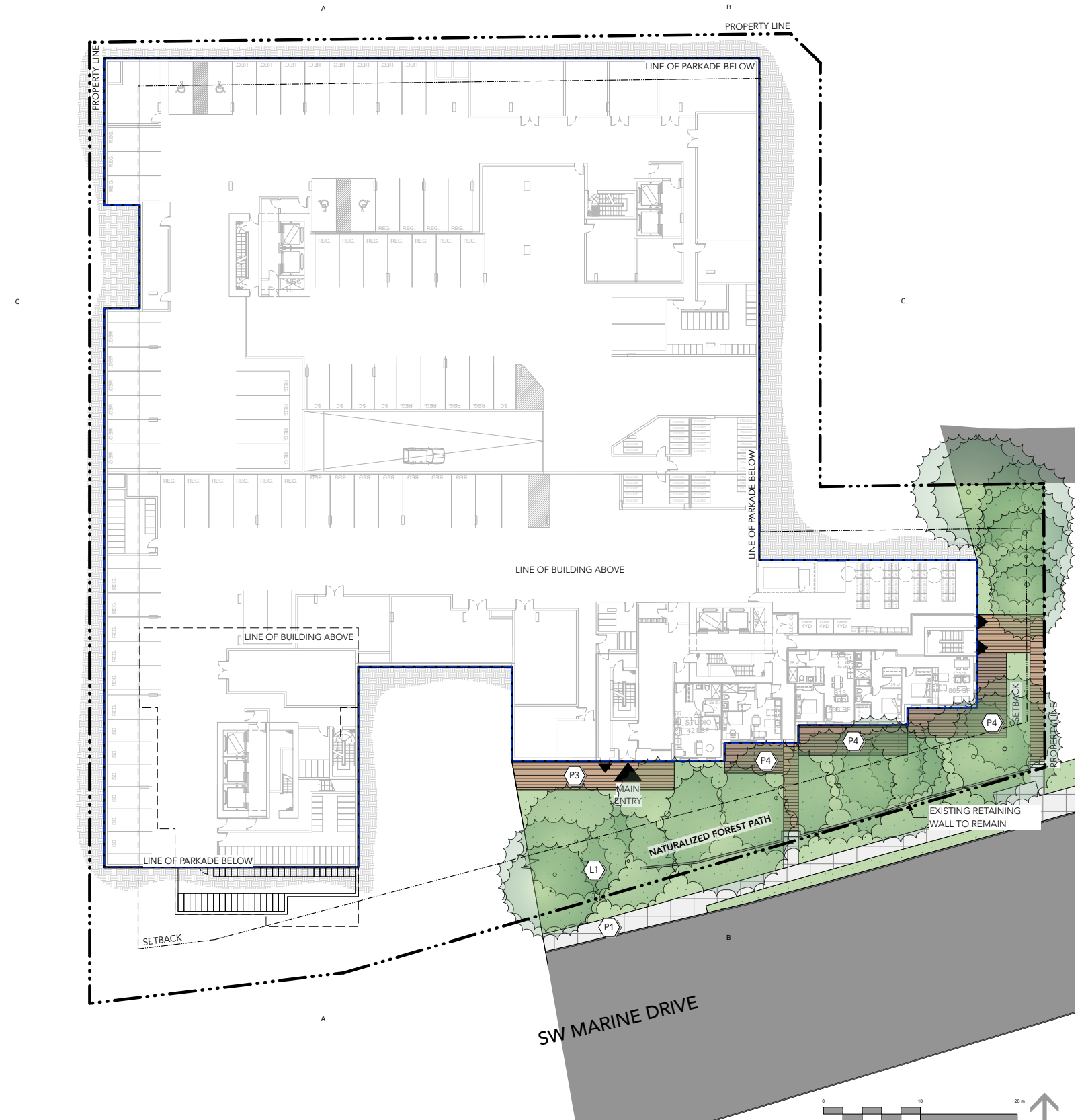
Landscape: L1 Layout and Material Plan

GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. ALL SUBSTITUTIONS OF SPECIFIED MATERIALS TO BE APPROVED BY LANDSCAPE ARCHITECT.
6. THIS PLAN IS "NOT FOR CONSTRUCTION" AND IS TO BE SUBMITTED FOR REVIEW TO ENGINEERING SERVICES A MINIMUM OF 8 WEEKS PRIOR TO THE START OF ANY CONSTRUCTION PROPOSED FOR PUBLIC PROPERTY. NO WORK ON PUBLIC PROPERTY MAY BEGIN UNTIL SUCH PLANS RECEIVE "FOR CONSTRUCTION" APPROVAL AND RELATED PERMITS ARE ISSUED. PLEASE CONTACT ENGINEERING, DEVELOPMENT SERVICES AND/OR YOUR ENGINEERING, BUILDING SITE INSPECTOR FOR DETAILS.
7. IN COORDINATION WITH ENGINEERING REQUIREMENTS, DESIGN DEVELOPMENT TO MAXIMIZE THE FRONT BOULEVARD WIDTH FOR FUTURE TREE GROWTH AND USE STRUCTURAL SOIL UNDER THE SIDEWALKS. ENSURE PROPOSED UTILITIES ARE LOCATED OUTSIDE THE FRONT BOULEVARD TREE PLANTING SPACE AND IN THE ROAD OR TOWARDS THE BACK BOULEVARD.

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PAVING TYPE 1 CIP Concrete Sidewalk As per CoV Standards
	PAVING TYPE 3 Composite Deck with wood like texture - public areas
	PAVING TYPE 4 Composite Deck with wood like texture - private patios
	PLANTING TYPE 1 Lawn Area



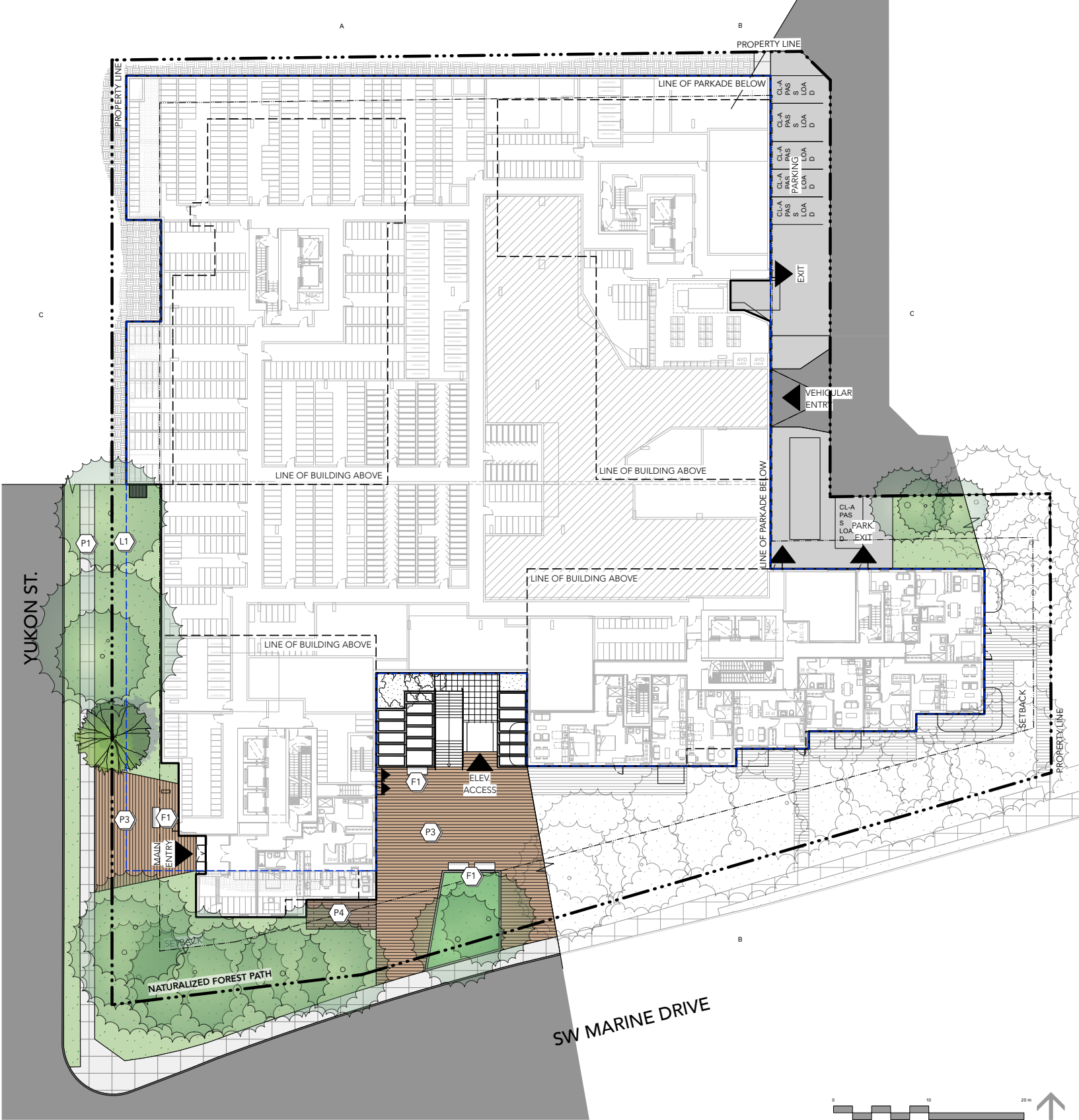
Landscape: L2 Layout and Material Plan

GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
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7. IN COORDINATION WITH ENGINEERING REQUIREMENTS, DESIGN DEVELOPMENT TO MAXIMIZE THE FRONT BOULEVARD WIDTH FOR FUTURE TREE GROWTH AND USE STRUCTURAL SOIL UNDER THE SIDEWALKS. ENSURE PROPOSED UTILITIES ARE LOCATED OUTSIDE THE FRONT BOULEVARD TREE PLANTING SPACE AND IN THE ROAD OR TOWARDS THE BACK BOULEVARD.

MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PAVING TYPE 1 CIP Concrete Sidewalk As per CoV Standards
	PAVING TYPE 3 Composite Deck with wood like texture - public areas
	PAVING TYPE 4 Composite Deck with wood like texture - private patios
	PLANTING TYPE 1 Lawn Area
	SITE FURNISHING 1 Metal Bench by Sholto Design 7' x 2'7" x 2'6". Model: Simon



Landscape: L3 Layout and Material Plan

GENERAL LAYOUT + MATERIALS NOTES:

1. ALL DIMENSIONS ARE METRIC UNLESS OTHERWISE NOTED. VERIFY ALL DIMENSIONS WITH FIELD CONDITIONS. REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT FOR REVIEW AND RESPONSE.
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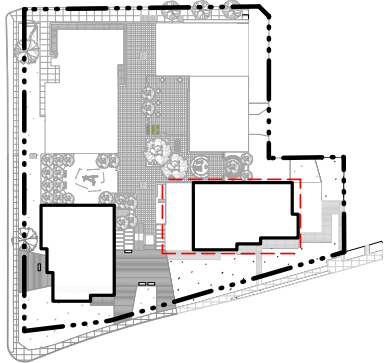
MATERIALS LEGEND

SYMBOL	DESCRIPTION
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	PAVING TYPE 2 Texada Slabs in Natural - By Belgard. 610 x 610 x 50mm
	PAVING TYPE 4 Composite Deck with wood like texture - private patios
	PAVING TYPE 5 PIP Fall Surfacing
	PLANTING TYPE 1 Lawn Area
	PLANTING TYPE 2 Shrub Area
	PLANTING TYPE 3 Pet Relief Area
	SITE FURNISHING 1 Metal Bench by Sholto Design 7' x 27" x 2'6". Model: Simon
	SITE FURNISHING 2 Custom made Garden Shed 36" high, matching the planter
	SITE FURNISHING 3 Harvest Table
	SITE FURNISHING 4 4- Seat table
	SITE FURNISHING 5 Wood Urban Agriculture Planter 2' x 10' x 2'6". Set includes wheelchair accessible planter
	SITE FURNISHING 6 Wood+Net Play Structure
	SITE FURNISHING 7 Metal planter. Dimension Varies
	SITE FURNISHING 8 Concrete Planter. Dimension Varies
	SITE FURNISHING 9 Outdoor Gym Equipment
	SITE FURNISHING 10 Wellness path c/w Fall surface at the middle for Yoga practice
	SITE FURNISHING 11 Bird House
	SITE FURNISHING 13 Gated area
	SITE FURNISHING 17 Metal garden plot planter. Min 24sqf area and min. 18" high



Landscape: L7 Layout and Material Plan (Building 4)

KEY PLAN

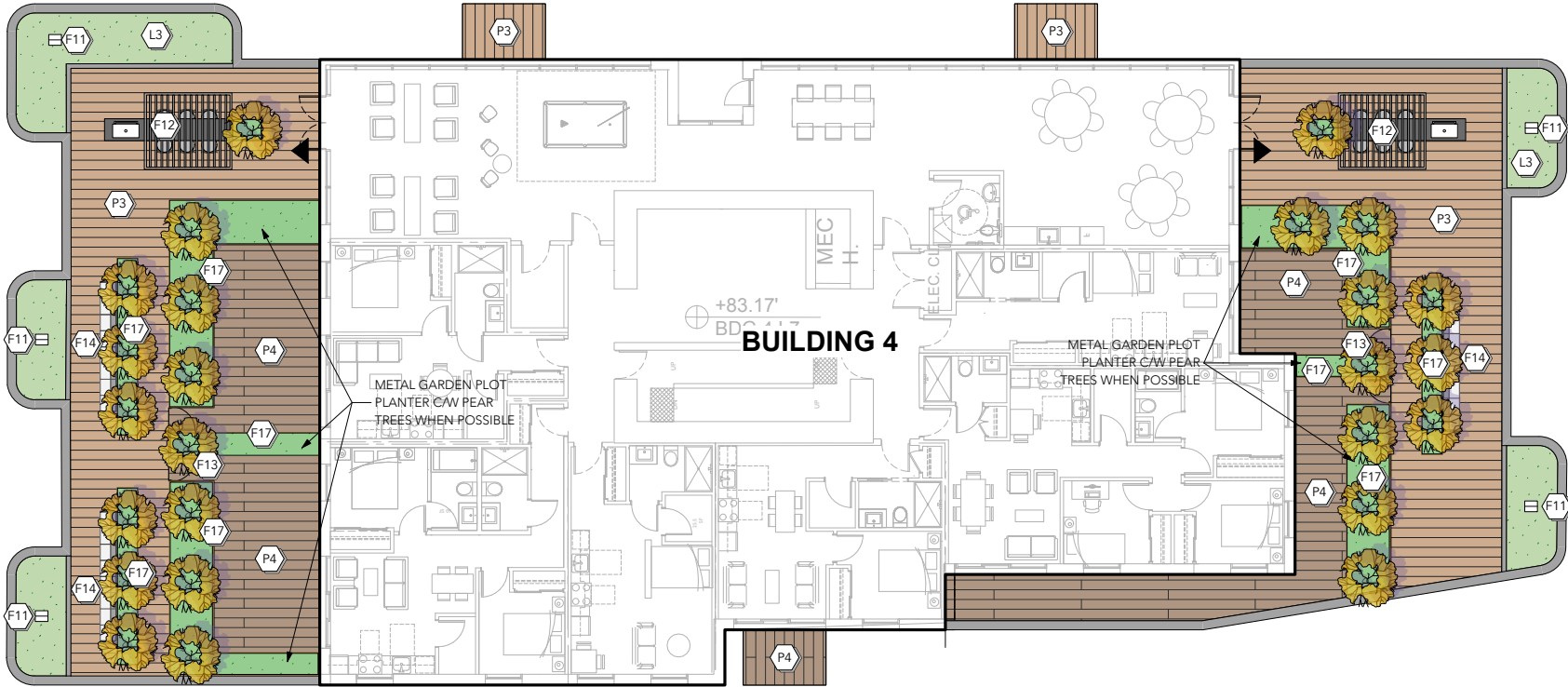


GENERAL LAYOUT + MATERIALS NOTES:

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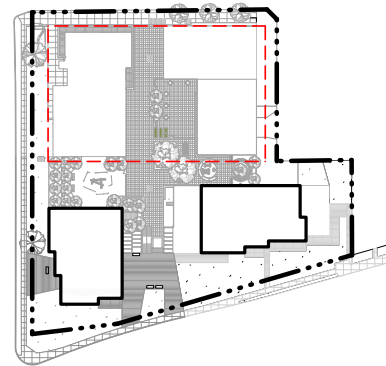
MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PAVING TYPE 3 Composite Deck with wood like texture - public areas
	PAVING TYPE 4 Composite Deck with wood like texture - private patios
	PLANTING TYPE 1 Green Roof
	SITE FURNISHING 11 Bird House
	SITE FURNISHING 12 Covered seating + BBQ
	SITE FURNISHING 13 Gated area
	SITE FURNISHING 14 Sofa seating TBD
	SITE FURNISHING 17 Metal garden plot planter. Min 24sqf area and min. 18" high



Landscape: L9 Layout and Material Plan (Building 2 and 1)

KEY PLAN

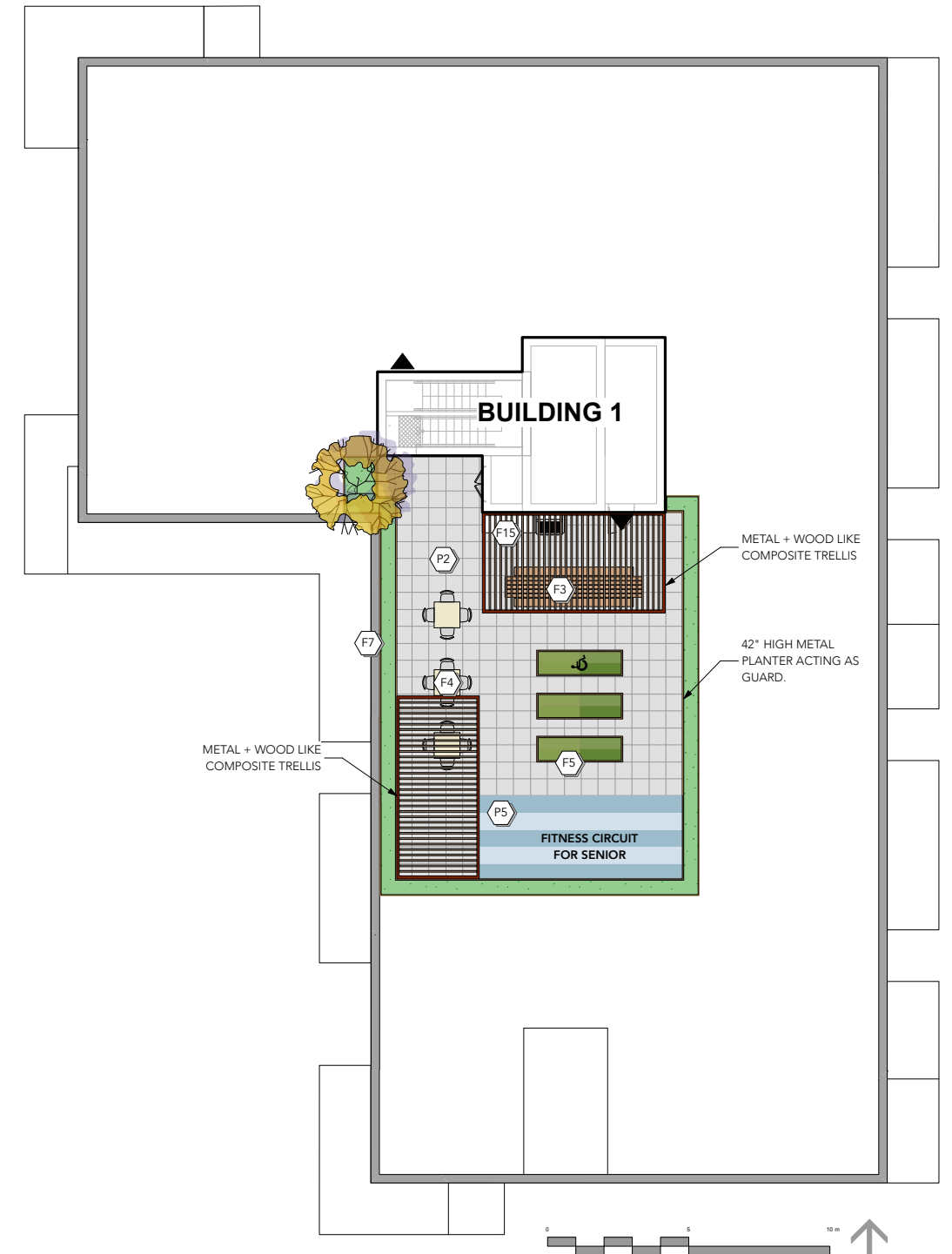
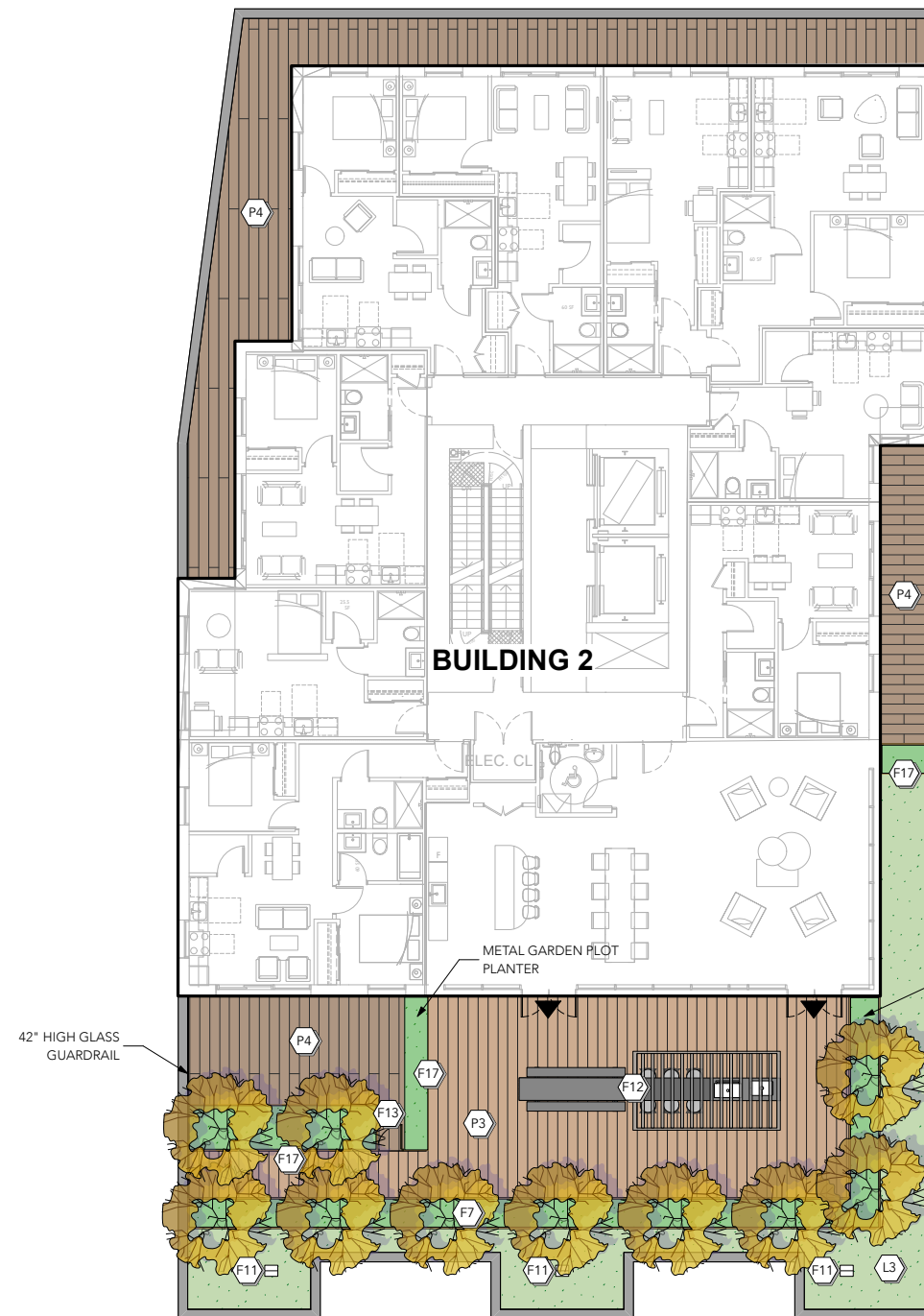


GENERAL LAYOUT + MATERIALS NOTES:

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2. ALL UTILITIES TO BE STAKED OUT BY CONTRACTOR AND PROTECTED FOR DURATION OF CONSTRUCTION PERIOD.
3. UNLESS OTHERWISE NOTED, PROVIDE A MINIMUM 2% SLOPE ON ALL HARD AND SOFT LANDSCAPE AREAS TO ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS OR TO DRAINAGE STRUCTURES. MAXIMUM 3:1 SLOPE IN SOFT LANDSCAPE AREAS.
4. THE LAYOUT OF ALL HARDSCAPE ITEMS, SITE FURNISHINGS, BOULDERS, LANDSCAPE LIGHTING, PLANTING BEDS AND OTHER MATERIALS IS TO BE STAKED OUT BY THE CONTRACTOR AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
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7. IN COORDINATION WITH ENGINEERING REQUIREMENTS, DESIGN DEVELOPMENT TO MAXIMIZE THE FRONT BOULEVARD WIDTH FOR FUTURE TREE GROWTH AND USE STRUCTURAL SOIL UNDER THE SIDEWALKS. ENSURE PROPOSED UTILITIES ARE LOCATED OUTSIDE THE FRONT BOULEVARD TREE PLANTING SPACE AND IN THE ROAD OR TOWARDS THE BACK BOULEVARD.

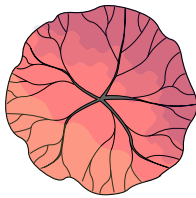
MATERIALS LEGEND

SYMBOL	DESCRIPTION
	PAVING TYPE 2 Texada Slabs in Natural - By Belgard. 610 x 610 x 50mm
	PAVING TYPE 3 Composite Deck with wood like texture - public areas
	PAVING TYPE 4 Composite Deck with wood like texture - private patios
	PAVING TYPE 5 PIP Fall Surfacing
	PLANTING TYPE 1 Green Roof
	SITE FURNISHING 3 Harvest Table
	SITE FURNISHING 4 4- Seat table
	SITE FURNISHING 5 Wood Urban Agriculture Planter 2' x 10' x 2'6". Set includes wheelchair accessible planter
	SITE FURNISHING 7 Metal planter. Dimension Varies
	SITE FURNISHING 11 Bird House
	SITE FURNISHING 12 Covered seating + BBQ
	SITE FURNISHING 13 Gated area
	SITE FURNISHING 15 Propane gas BBQ + table
	SITE FURNISHING 17 Metal garden plot planter. Min 24sqf area and min. 18" high

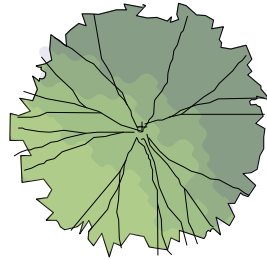


Landscape: Tree List

DECIDUOUS TREES N E B



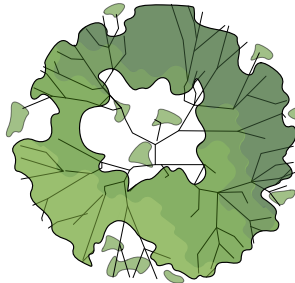
Latin Name: Acer rubrum 'Bowhall'
Common Name: Bowhall Red Maple
Scheduled Size: 8cm cal.
Spread: 6.1
Spacing: 6.1
Notes: B&B Specimen
Quantity: 1



Latin Name: Carpinus betulus 'Fastigiata'
Common Name: 'Fastigiata' European Hornbeam
Scheduled Size: 10cm cal.
Spread: 8
Spacing: 3.66
Notes:
Quantity: 1



Latin Name: Cornus kousa 'Satomi'
Common Name: Pink Japanese Dogwood
Scheduled Size: 6cm cal.
Spread: 4.57
Spacing: 3.23
Notes: B&B Specimen, Min. 3.0m Ht.
Quantity: 1



Latin Name: Cornus mas
Common Name: Cornelian Cherry
Scheduled Size: 6cm cal.
Spread: 9.14
Spacing: 9.14
Notes: B&B Specimen
Quantity: 1



Latin Name: Ficus carica 'Kadota'
Common Name: Kadota Fig
Scheduled Size: 6cm cal.
Spread: 3.86
Spacing: 3.35
Notes: B&B Specimen
Quantity: 1



Latin Name: Malus domestica
Common Name: Honeycrisp Apple
Scheduled Size: 5cm cal.
Spread: 3.05
Spacing: 3.05
Notes: B&B Specimen
Quantity: 1


















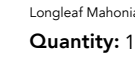







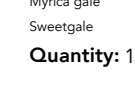







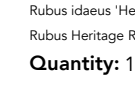







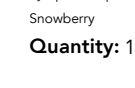







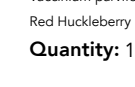
Latin Name: Pyrus communis
Common Name: Common Pear
Scheduled Size: 8' Height, Min
Spread: 2.44
Spacing: 6.1
Notes: Specimen
Quantity: 1








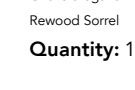










- NOTES:**
1. ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST EDITION OF THE BCLNA NURSERY STANDARD.
 2. IN CASE OF DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
 3. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
 4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
 5. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS, INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION IS REQUIRED.
 6. FINAL LOCATION, QUANTITY, TREE SPECIES TO THE SATISFACTION OF THE GENERAL MANAGER OF ENGINEERING.
 7. NEW TREE MUST BE OF GOOD STANDARD, MINIMUM 6CM CALLIPER AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL.
 8. ROOT BARRIERS SHALL BE 8"-10" (2.4m) LONG AND 18" (0.46m) DEEP. PLANTING DEPTH OF ROOT BARRIER MUST BE BELOW SIDEWALK GRADE.

- LEGEND**
- N = NATIVE PLANT
 - E = EDIBLE
 - B = BIRD FRIENDLY

Landscape: Plant List

SHRUBS AND PERENNIALS			N	E	B	N	E	B	N	E	B
	Amelanchier alnifolia Saskatoon Berry Quantity: 1	Scheduled Size: #5 Pot Spread: 1.07 Spacing: 1.07 Notes:			● ● ●						● ● ●
											● ● ●
	Echinacea purpurea Purple Coneflower Quantity: 1	Scheduled Size: #1 Pot Spread: 0.61 Spacing: 0.61 Notes:			● ● ●						● ● ●
											● ● ●
	Maianthemum racemosa False Solomon's Seal Quantity: 1	Scheduled Size: #1 Pot Spread: 0.45 Spacing: 0.45 Notes:			● ● ●						● ● ●
											● ● ●
	Origanum vulgare 'Aureum' Quantity: 1	Scheduled Size: Herb Spread: 0.45 Spacing: 0.25 Notes:			● ● ●						● ● ●
											● ● ●
	Salix purpurea 'Nana' Dwarf Arctic Willow Quantity: 1	Scheduled Size: #3 Pot Spread: 1.22 Spacing: 1.22 Notes: B&B Specimen			● ● ●						● ● ●
											● ● ●
	Vaccinium corymbosum Highbush Blueberry Quantity: 1	Scheduled Size: #3 Pot Spread: 0.76 Spacing: 0.76 Notes:			● ● ●						● ● ●
											● ● ●

GROUNDCOVER, VINES AND FERNS			N	E	B	N	E	B	N	E	B
	Adiantum aleuticum Maidenhair Fern Quantity: 1	Scheduled Size: #2 Pot Spread: 0.46 Spacing: 0.46 Notes:			● ● ●						● ● ●
											● ● ●
	Polystichum munitum Western sword fern Quantity: 1	Scheduled Size: #3 Pot Spread: 0.91 Spacing: 0.91 Notes:			● ● ●						● ● ●
											● ● ●

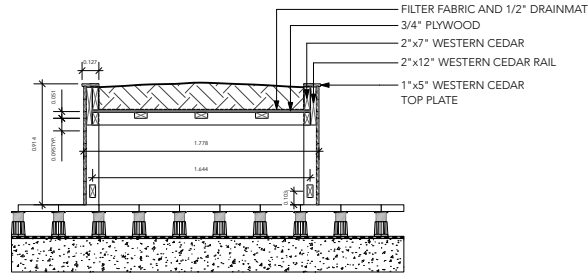
NOTES:

1. ALL PLANT MATERIAL AND LANDSCAPING PRACTICES SHALL BE COMPLIANT WITH THE LATEST EDITION OF THE BCLNA NURSERY STANDARD.
2. IN CASE OF DISCREPANCY BETWEEN PLANT INFORMATION ON THE LIST AND ON THE PLAN, THE LATTER SHALL PREVAIL.
3. FINAL SOFTSCAPE AND GRADING LAYOUTS AS WELL AS LOCATION AND SPACING TO BE APPROVED BY LANDSCAPE ARCHITECT IN THE FIELD PRIOR TO INSTALLATION.
4. ALL PLANT MATERIAL TO BE MANUALLY WATERED FROM START OF INSTALLATION THROUGH THE END OF THE WARRANTY PERIOD.
5. INSTALL TREE PROTECTION FENCING AROUND ALL EXISTING TREES TO CITY STANDARDS, INSTALL TREE PROTECTION FENCING ON NEW PLANTING IF PHASED INSTALLATION ID REQUIRED.
6. FINAL LOCATION, QUANTITY, TREE SPECIES TO THE SATISFACTION OF THE GENERAL MANAGER OD ENGINEERING.
7. NEW TREE MUST BE OF GOOD STANDARD, MINIMUM 6CM CALLIPER AND INSTALLED WITH APPROVED ROOT BARRIERS, TREE GUARDS AND APPROPRIATE SOIL.
8. ROOT BARRIERS SHALL BE 3" (7.6cm) LONG AND 18" (46cm) DEEP PLANTING DEPTH OF ROOT BALL MUST BE 10% OF TREE CALIPER.

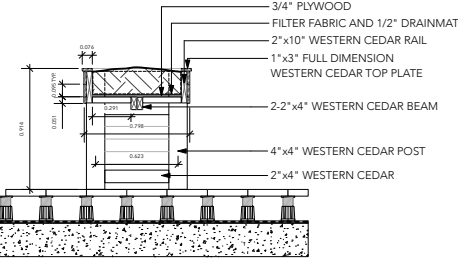
LEGEND

- N = NATIVE PLANT
- E = EDIBLE
- B = BIRD FRIENDLY

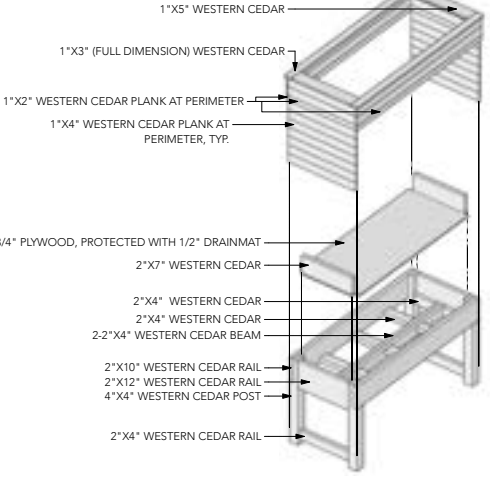
Landscape: Details



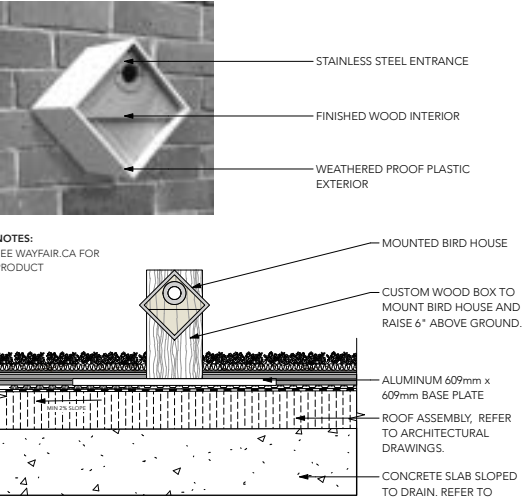
1 WHEELCHAIR ACCESSIBLE PLANTER - FRONT SECTION
Scale: 1:20



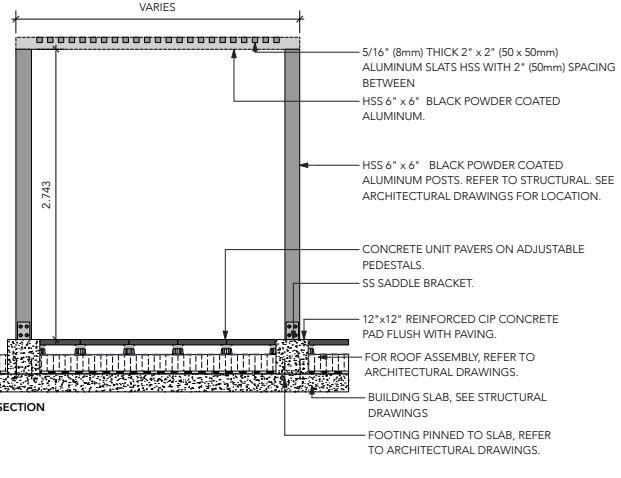
2 WHEELCHAIR ACCESSIBLE PLANTER - SIDE SECTION
Scale: 1:20



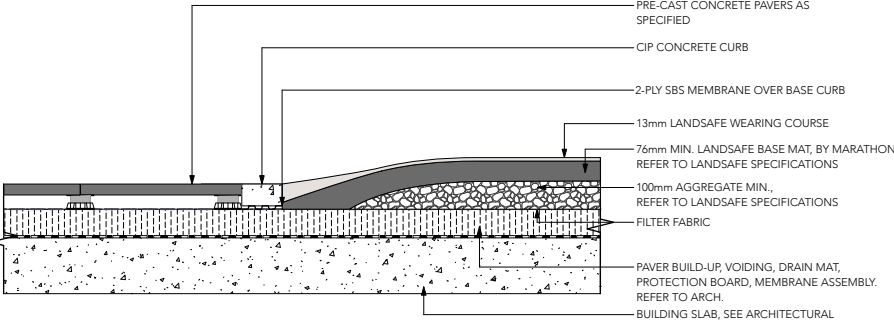
3 WHEELCHAIR ACCESSIBLE PLANTER - PERSPECTIVE AXONOMETRY
Scale: 1:20



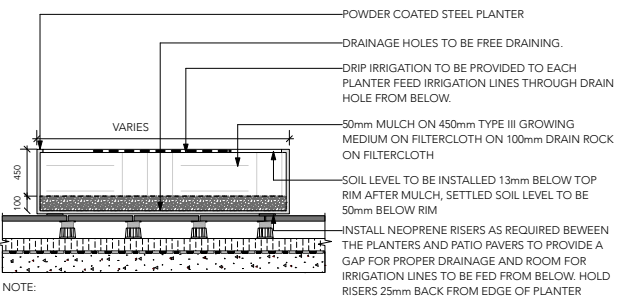
4 BIRD HOUSE
Scale: 1:10



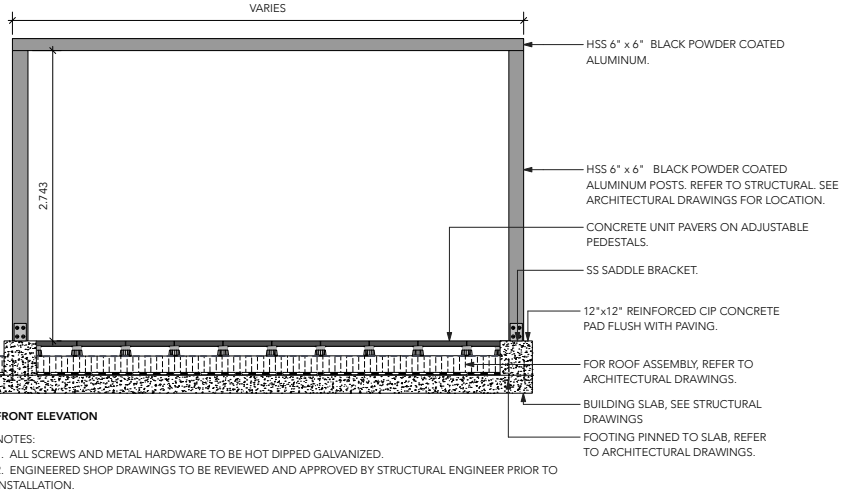
1 POWDER COATED ALUMINUM TRELLIS
Scale: 1:25



5 PIP RUBBER SURFACE AND PRE-CAST CONCRETE UNIT PAVERS
Scale: 1:10





6 METAL PLANTER, TYP. DETAIL
Scale: 1:25




NOTES:
1. ALL SCREWS AND METAL HARDWARE TO BE HOT DIPPED GALVANIZED.
2. ENGINEERED SHOP DRAWINGS TO BE REVIEWED AND APPROVED BY STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

Landscape: Appendix A




SITE AREAS

SYMBOL	AREA (sqm)	DESCRIPTION
	8804 (sqm)	TOTAL SITE
	7707 (sqm)	PRIVATE PROPERTY PARCEL
	31.56%	TOTAL CANOPY OVER TOTAL SITE

TREE CANOPY COVER

SYMBOL	AREA (sqm)	DESCRIPTION
	2116 sqm	MATURE TREES Existing trees on grade to be protected and retained. Canopies according to arborist report
	77 sqm	NEW TREES AT GRADE
	385 sqm	NEW TREES ON SLAB - L3
	124 sqm	NEW TREES ON PLANTER - ROOFTOP
	2702 (sqm)	TOTAL CANOPY COVER



PLANTING ON SLAB AREAS

SYMBOL	AREA (sqm)	DESCRIPTION
	560 sqm	PLANTER ON SLAB
	14 sqm	URBAN AGRICULTURE
	108 sqm	GREEN ROOF




Landscape: Appendix B




SITE AREAS - ACCESSIBLE OPEN SPACE

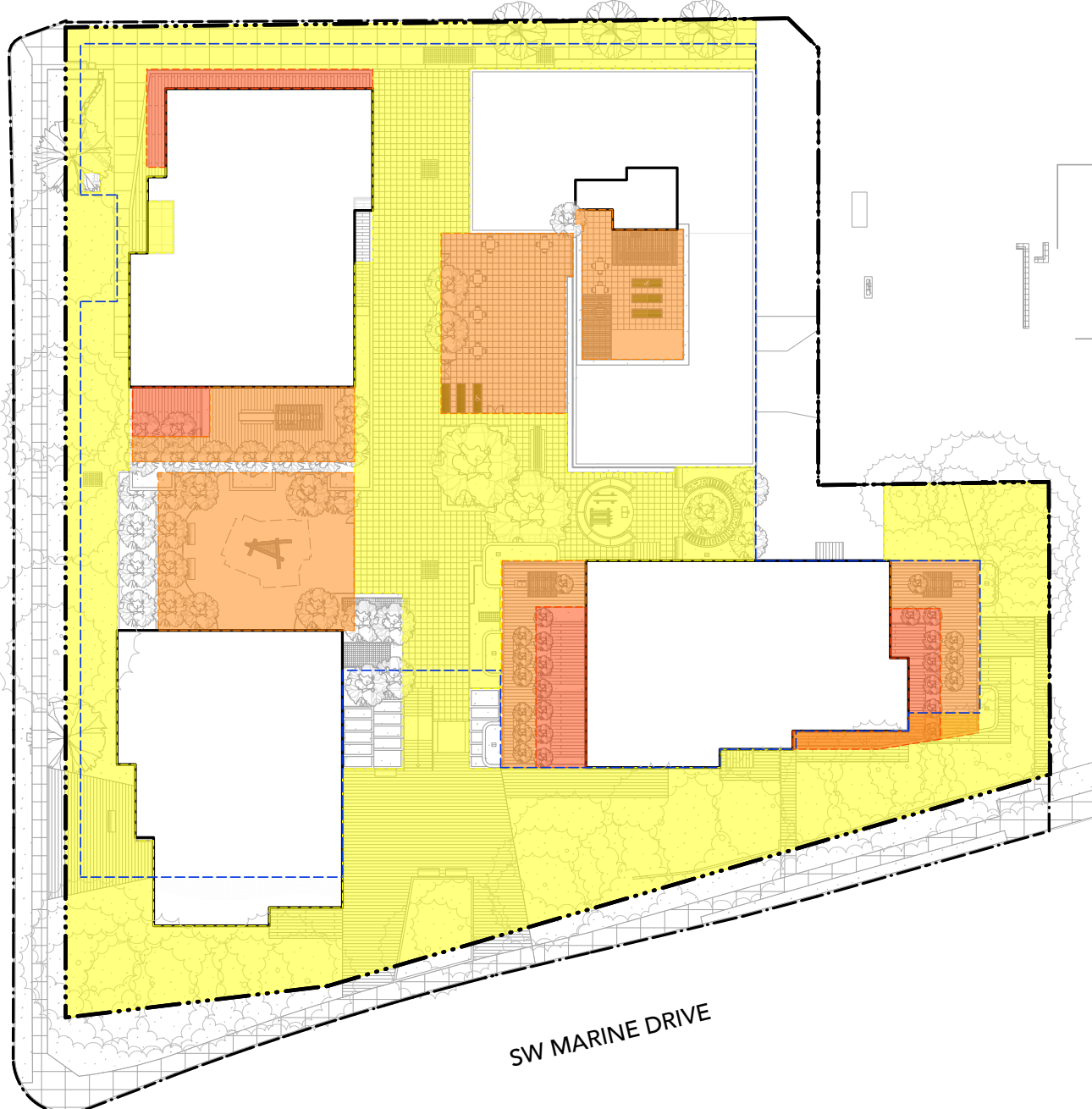
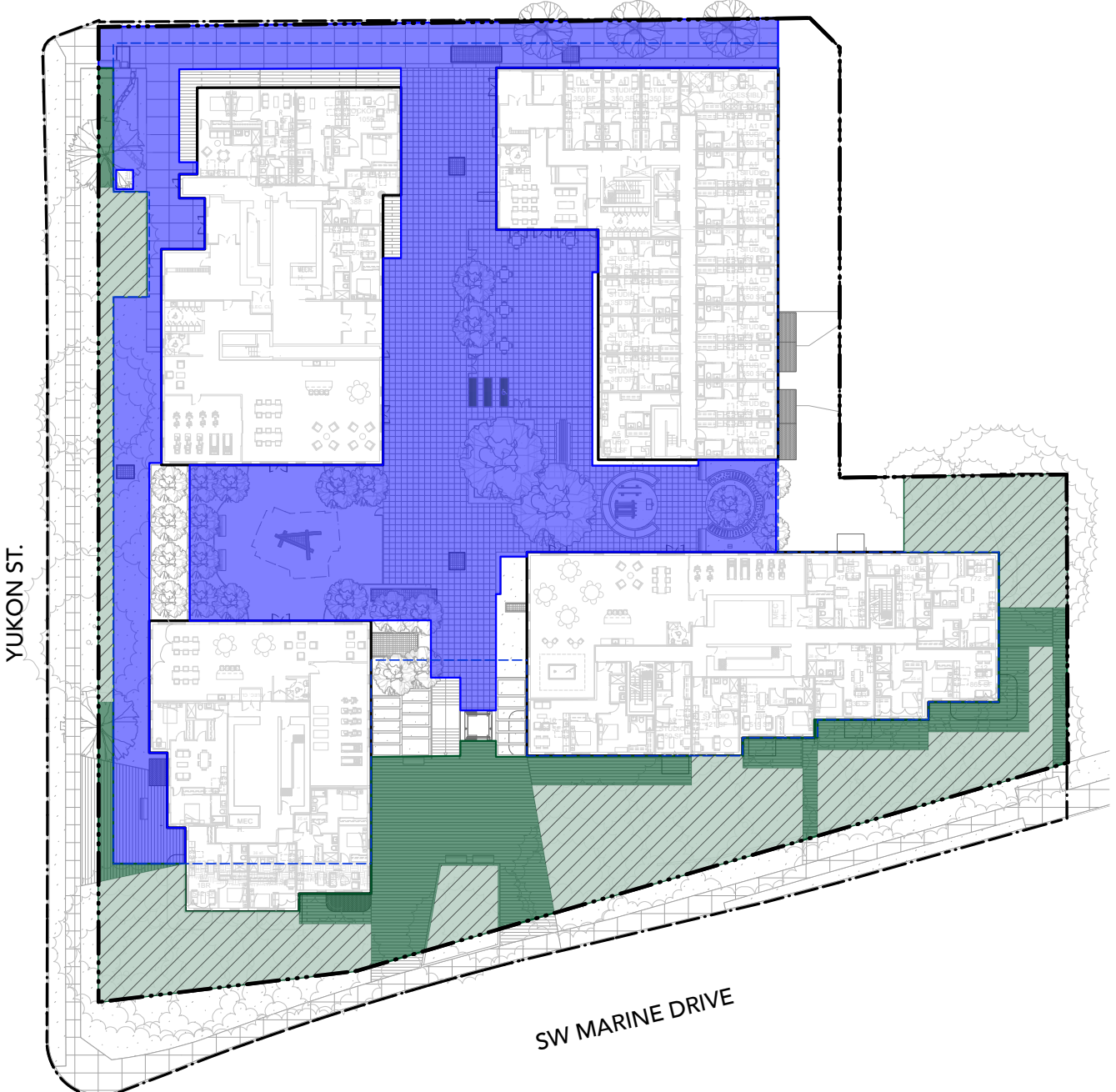
SYMBOL	AREA (sqm)	DESCRIPTION
	1580	ACCESSIBLE OPEN SPACE (CONTINUOUS SOIL)
	2174	ACCESSIBLE OPEN SPACE (LAND, ON STRUCTURE)

SITE AREAS - NATURAL SITE FEATURES

SYMBOL	AREA (sqm)	DESCRIPTION
	1010	EXISTING TREE PROTECTION ZONE

SITE AREAS - OUTDOOR OPEN SPACES

SYMBOL	AREA (sqm)	DESCRIPTION
	3261	PUBLIC
	990	SEMI-PRIVATE
	252	PRIVATE



Landscape: Appendix D

SITE AREAS		
SYMBOL	AREA (sqm)	DESCRIPTION
--- · · ·	8804 (sqm)	TOTAL SITE
— · · · ·	7707 (sqm)	PRIVATE PROPERTY PARCEL



LANDSCAPED AREA (FROM APPENDIX C)		
SYMBOL	AREA	DESCRIPTION
	1568 (sqm)	TREES TOTAL AREA
	223 (sqm)	SHRUBS TOTAL AREA
	647 (sqm)	GROUND COVER TOTAL AREA
	2438 (sqm)	TOTAL LANDSCAPED AREA

EDIBLE LANDSCAPE AREAS		
SYMBOL	AREA	DESCRIPTION
	79 (sqm)	GARDEN PLOT ON L3
	7 (sqm)	URBAN AGRICULTURE PLANTER ON L3
	124 (sqm)	GARDEN PLOT ON ROOFTOP
	7 (sqm)	URBAN AGRICULTURE PLANTER ON ROOFTOP
	216 (sqm)	TOTAL EDIBLE LANDSCAPED AREA
	8.85%	EDIBLE AREA OVER TOTAL LANDSCAPED AREA



Landscape: Appendix E

WIND DIAGRAM

SYMBOL	DESCRIPTION
	VEGETATED SPACE
	WIND DIRECTION

