

CONSULTANT:

DATE:

DRAWING ISSUE:	FOR:	DATE ISSUED:	BY:
ISSUE FOR RECORDING		MAY 08, 2012	DKR
RE-ISSUE FOR RECORDING		SEP 11, 2012	DKR

CLIENT:  
**Intergulf  
Development Group**  
P.O. BOX 11125  
Suite 1750 - 1055 West Georgia Street  
Vancouver, BC, V6E 3P3

PROJECT TITLE:  
**4500 Cambie Street**  
4500 Cambie Street  
Vancouver, BC

DRAWING TITLE:  
**Site Plan**

DATE	DATE
NORTH ARROW	DRAWN BY: -
	JOB NUMBER: 1119
	REFERENCE NO.: -
	SCALE: -
	FILE NAME: -

**1** SITE PLAN  
SCALE: 1"=20'-0"

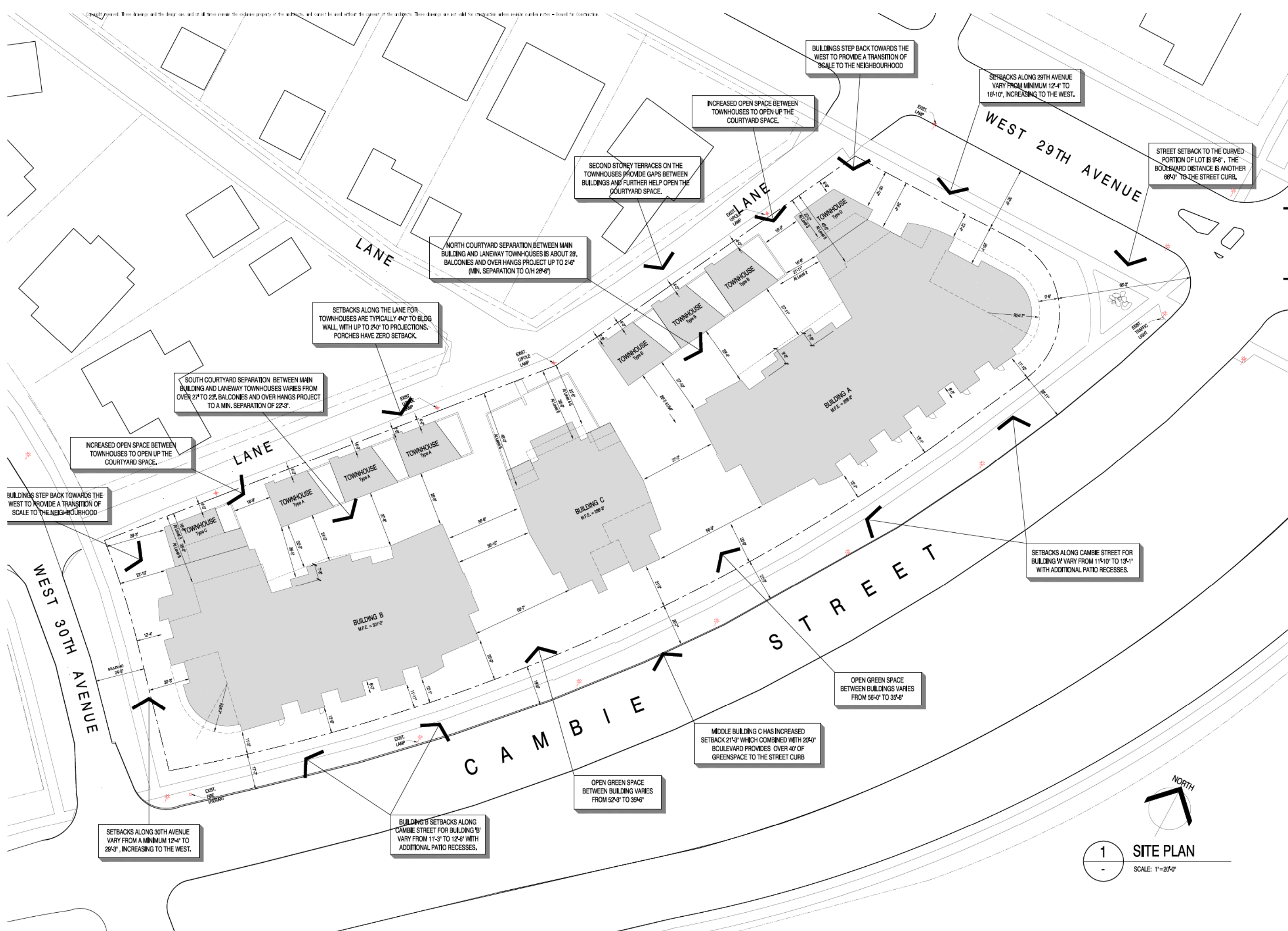
SHEET NO.:  
**DP1.02**



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DRAWING ISSUED FOR: DATE ISSUED: BY:  
 FOR PER RECORDING: MAY 08, 2012: DDK  
 RE-ISSUED FOR RECORDING: SET 11, 2012: DDK



**1 SITE PLAN**  
SCALE: 1"=20'-0"

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DRAWING TITLE:  
**Site Plan - Setbacks**

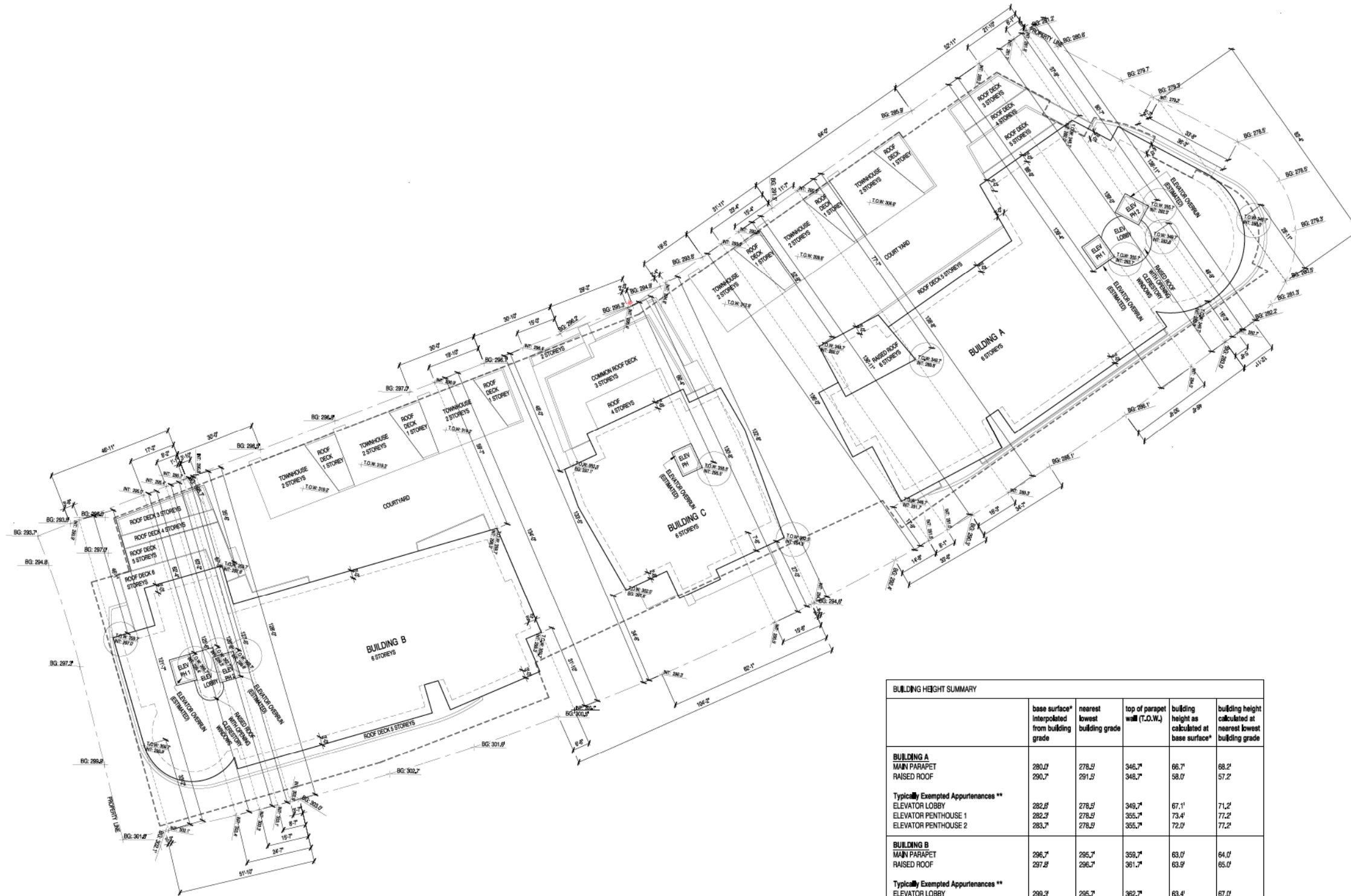
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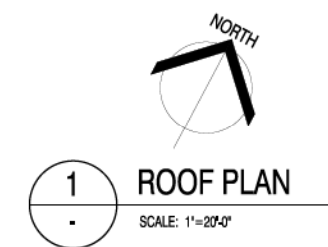
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 RE-ISSUED FOR RECORDING SEP 11, 2012 DDK



BUILDING HEIGHT SUMMARY					
	base surface* interpolated from building grade	nearest lowest building grade	top of parapet wall (T.O.W.)	building height as calculated at base surface*	building height calculated at nearest lowest building grade
<b>BUILDING A</b>	MAIN PARAPET	280.0'	278.0'	346.7'	66.7'
	RAISED ROOF	290.7'	291.0'	348.7'	58.0'
	Typically Exempted Apertances **				
ELEVATOR LOBBY	282.0'	278.0'	349.7'	67.1'	71.2'
ELEVATOR PENTHOUSE 1	282.0'	278.0'	355.7'	73.4'	77.2'
ELEVATOR PENTHOUSE 2	283.7'	278.0'	355.7'	72.0'	77.2'
<b>BUILDING B</b>	MAIN PARAPET	296.7'	295.7'	358.7'	63.0'
	RAISED ROOF	297.0'	296.7'	361.7'	63.0'
	Typically Exempted Apertances **				
ELEVATOR LOBBY	299.0'	295.7'	362.7'	63.4'	67.0'
ELEVATOR PENTHOUSE 1	299.4'	295.7'	366.7'	69.0'	73.0'
ELEVATOR PENTHOUSE 2	299.0'	295.7'	366.7'	69.1'	73.0'
<b>BUILDING C</b>	MAIN PARAPET	294.0'	294.0'	352.0'	58.0'
	Typically Exempted Apertances **				
	ELEVATOR PENTHOUSE	295.0'	294.0'	358.0'	63.0'

\* base surface as defined by city of vancouver zoning bylaw section 2  
 \*\* elevator and opening clerestory window apertances as outlined in city of vancouver zoning schedule 10,11,1  
 T.O.W. = Top of Parapet Wall



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