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ARCHITECT:



CLIENT:

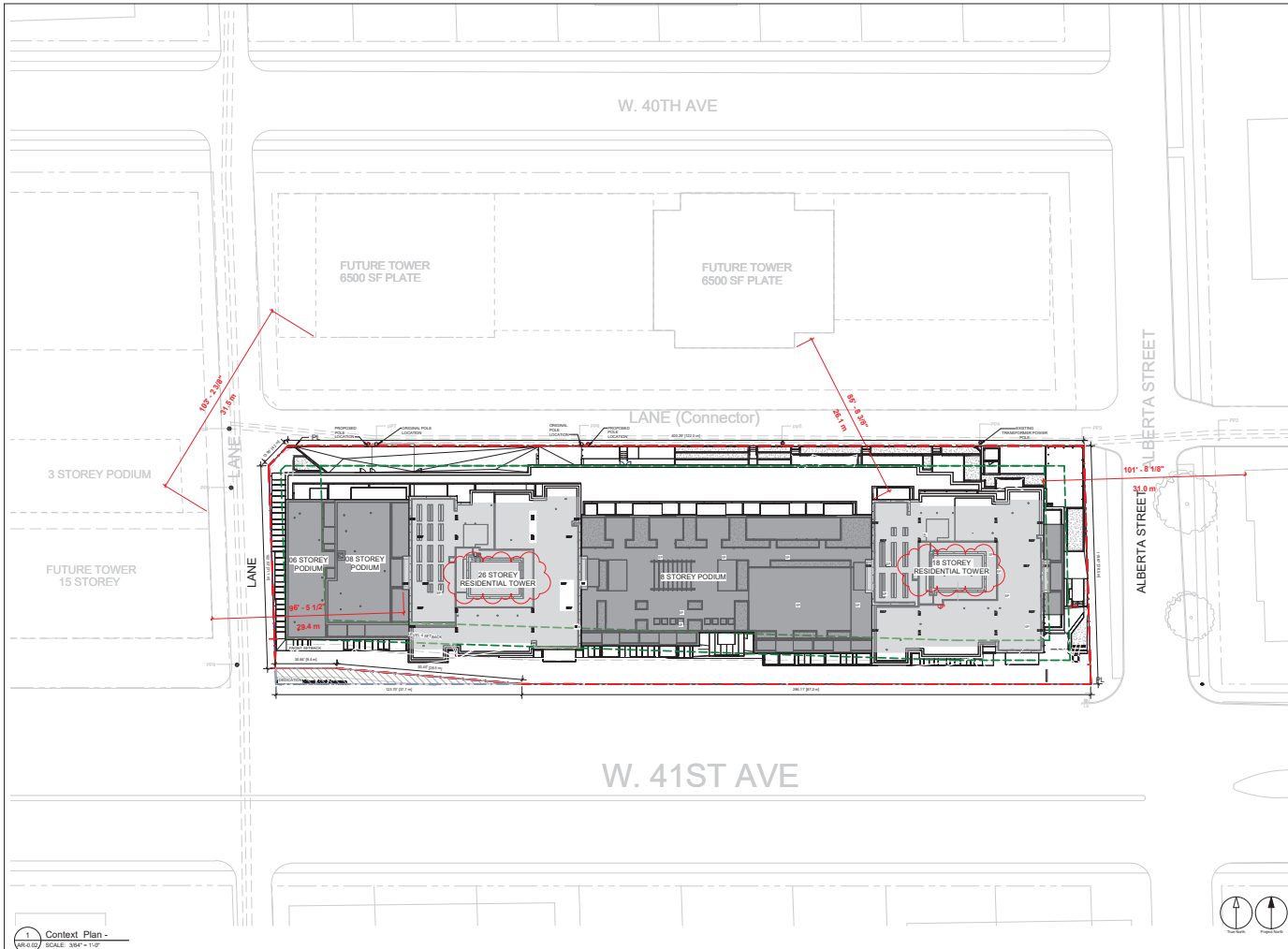


ISSUED FOR REZONING
TEXT AMENDMENT

W41st Avenue & Alberta

405 and 475 W 41ST Avenue, Vancouver, BC

1285 West Pender Street - Suite 100
Vancouver BC V6E 4K1 Canada
Tel: 604 681 5712
www.arcadis.com



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NICOLA REAL ESTATE
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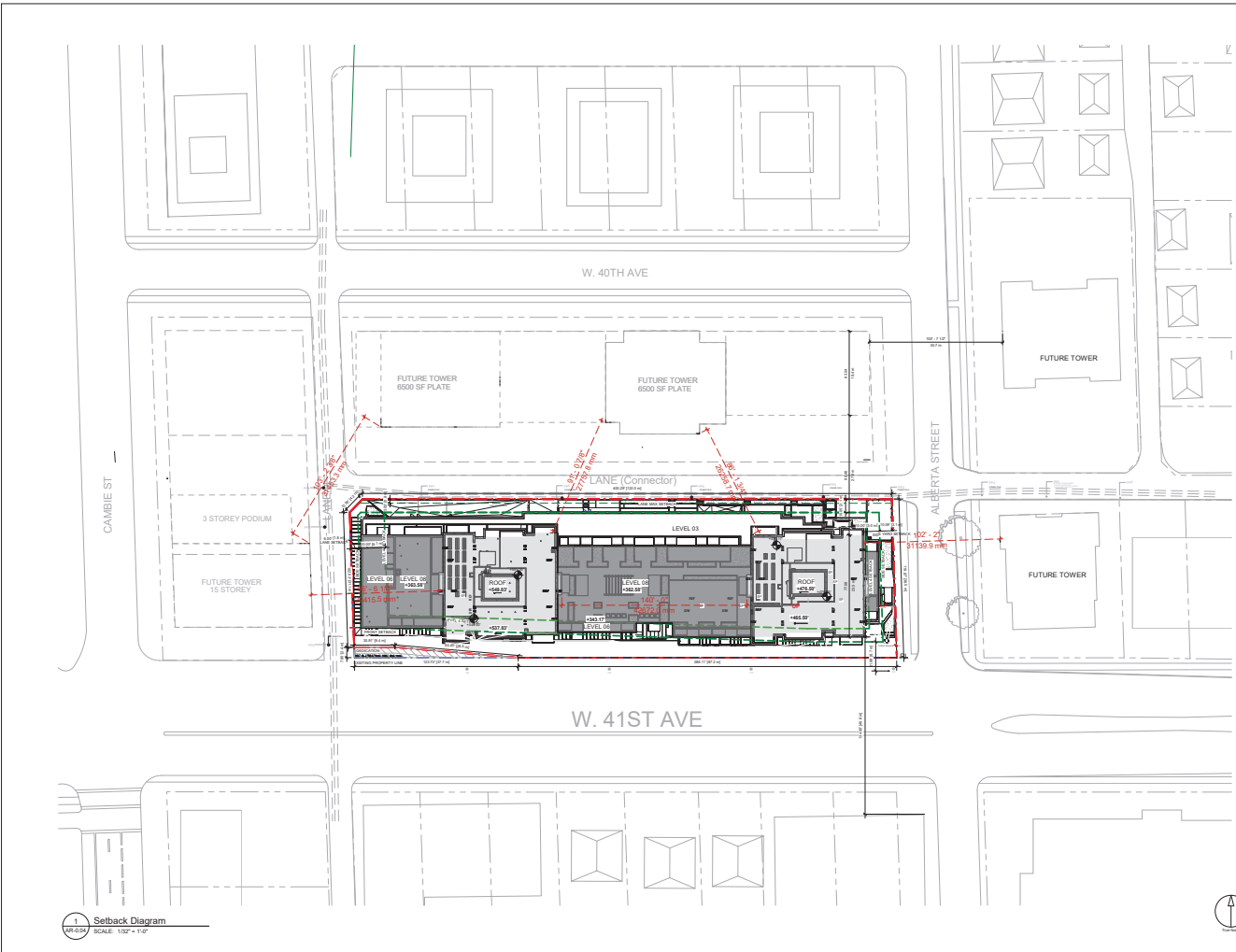
PROJECT
 405 & 475 West 41st Avenue
 Vancouver, BC

PROJECT NO: 118639	CHECKED BY: BA
DRAWN BY: DK-JM	APPROVED BY: DK
PROJECT MGR: BA	APPROVED BY: DK

SHEET TITLE
 CONTEXT PLAN

SHEET NUMBER AR-0.02	ISSUE
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2024/11/13 9:28 AM
 1 Context Plan -
 SCALE: 3/8" = 1'-0"



1 Setback Diagram
SCALE: 1/32" = 1'-0"

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PROJECT

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Vancouver, BC

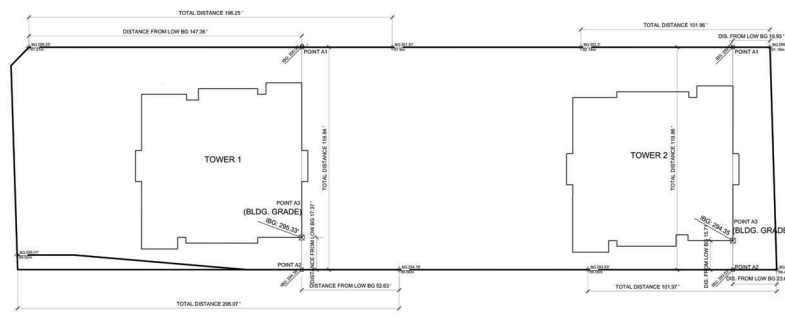
PROJECT NO: 118639	CHECKED BY: BA
DRAWN BY: DK-JM	APPROVED BY: DK
PROJECT MGR: BA	APPROVED BY: DK

SHEET TITLE
SITE SETBACK DIAGRAM

SHEET NUMBER AR-0.04	ISSUE
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2024-11-15 09:38 AM

PROJECT NUMBER: 118639 - WEST 41ST AVE PROJECT / 405 & 475 WEST 41ST AVE



$$BLG = \left(\left(\frac{BLG_{up} - BLG_{down}}{D_{up-down}} \right) \cdot D_{up} \right) + BLG_{down}$$

BLG_{down} = Lower Known Elevation
 BLG_{up} = Higher Known Elevation
 $D_{up-down}$ = Intersected Building Grade

FORMULA FOR PROVING ISO POINT A1
 $ISO \text{ (POINT A1)} = \left(\left(\frac{301.61 - 296.23}{16.38} \right) \times 147.30 \right) + 296.23 = 300.97'$
 FORMULA FOR PROVING ISO POINT A2
 $ISO \text{ (POINT A2)} = \left(\left(\frac{295.01 - 294.16}{0.85} \right) \times 0.85 \right) + 294.16 = 294.38'$
 FORMULA FOR PROVING ISO POINT A3
 $ISO \text{ (POINT A3)} = \left(\left(\frac{300.15 - 294.16}{5.99} \right) \times 17.37 \right) + 294.16 = 295.33'$
BUILDING GRADE = 295.33'

$$BLG = \left(\left(\frac{BLG_{up} - BLG_{down}}{D_{up-down}} \right) \cdot D_{up} \right) + BLG_{down}$$

BLG_{down} = Lower Known Elevation
 BLG_{up} = Higher Known Elevation
 $D_{up-down}$ = Intersected Building Grade

FORMULA FOR PROVING ISO POINT A1
 $ISO \text{ (POINT A1)} = \left(\left(\frac{302.2 - 298.13}{40.86} \right) \times 19.93 \right) + 298.13 = 299.77'$
 FORMULA FOR PROVING ISO POINT A2
 $ISO \text{ (POINT A2)} = \left(\left(\frac{293.83 - 293.44}{0.39} \right) \times 0.39 \right) + 293.44 = 293.52'$
 FORMULA FOR PROVING ISO POINT A3
 $ISO \text{ (POINT A3)} = \left(\left(\frac{295.77 - 293.53}{2.24} \right) \times 15.71 \right) + 293.53 = 294.35'$
BUILDING GRADE = 294.35'

2024/11/15 09:36 AM

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PROJECT

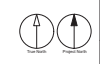
405 & 475 West 41st Avenue
 Vancouver, BC

PROJECT NO:
118639

DESIGNED BY: DK-JM	CHECKED BY: BA
PROJECT MGR: BA	APPROVED BY: DJV

SHEET TITLE
BASEPOINT CALCULATION

SHEET NUMBER AR-0.05	ISSUE
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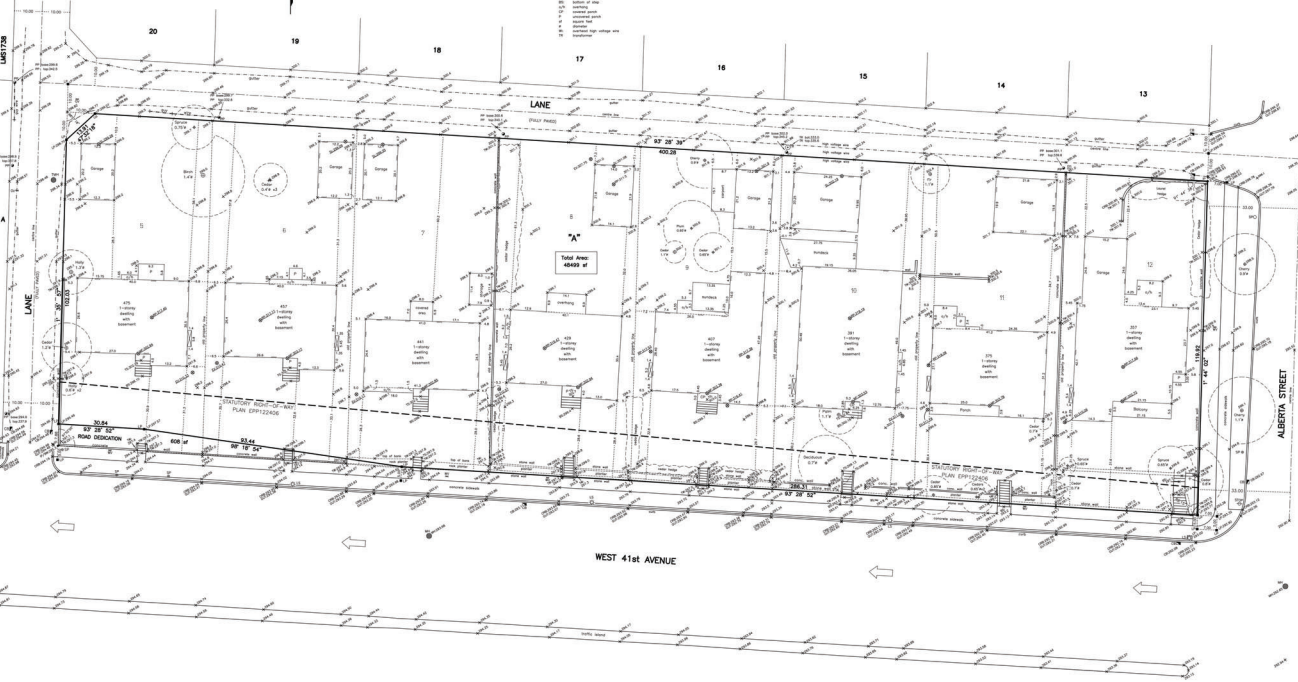


PLAN OF SURVEY OF LOT A, BLOCK 856, DISTRICT LOT 526,
FORMERLY LOTS 2 TO 12, INCLUSIVE, ALL OF BLOCK 856,
GROUP 1, NEW WESTMINSTER DISTRICT,
PLAN EPP122405

REGISTERED PROFESSIONAL ARCHITECT AND LAND SURVEYOR
JONES, BS-1

SCALE: 1" = 33.0 FEET

- 1. LOT AREA
- 2. LOT PERIMETER
- 3. LOT AREA
- 4. LOT PERIMETER
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- 13. LOT AREA
- 14. LOT PERIMETER
- 15. LOT AREA
- 16. LOT PERIMETER
- 17. LOT AREA
- 18. LOT PERIMETER
- 19. LOT AREA
- 20. LOT PERIMETER



NOTES:
1. All dimensions are in feet and inches.
2. All bearings are true bearings.
3. All areas are in square feet.
4. All perimeters are in feet and inches.
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96. All areas are in square feet.
97. All perimeters are in feet and inches.
98. All bearings are true bearings.
99. All areas are in square feet.
100. All perimeters are in feet and inches.

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PROJECT
405 & 475 West 41st Avenue
Vancouver, BC

PROJECT NO:
118639

DRAWN BY: DK-JH	CHECKED BY: BA
PROJECT MGR: BA	APPROVED BY: DV

SHEET TITLE
SITE SURVEY PLAN

SHEET NUMBER
AR-0.06

ISSUE

2024/11/15 10:29:24 AM



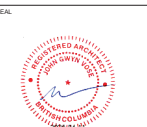
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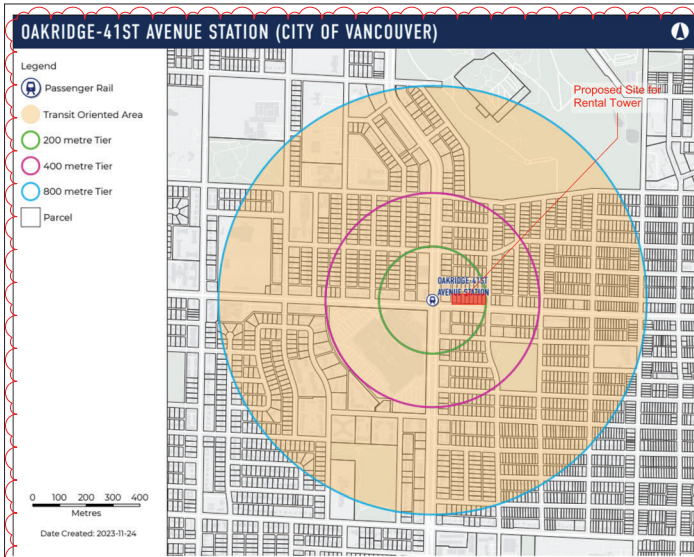
PROJECT
 405 & 475 West 41st Avenue
 Vancouver, BC

PROJECT NO.
 118639
DESIGNED BY: DK-JM
CHECKED BY: BA
PROJECT MGR: BA
APPROVED BY: DV
SHEET TITLE
 SHADOW STUDY

SHEET NUMBER
AR-0.07
ISSUE



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The project's massing takes into consideration the parameters set out for this block in the Cambie Corridor Design Guidelines. The two towers are separated more than 80' and a podium has been provided with appropriate setbacks above the 5th floor. Tonal shift further enhances this division and highlights breaks along its length. The tower has a very simple footprint with purposeful articulation to improve envelope performance. Each tower façade is broken into a vertical and horizontal component. The horizontal zone features white metal panel over balcony (front mounted) and façade (window wall spandrel panel); while the vertical zones feature a continuous window wall that extends above the roof level to provide a visual screen for HVAC equipment.

The retail edge along W 41st Avenue has been designed to provide a robust streetwall composed of a rhythm of commercial shops with ample glazing and pedestrian weather protection. A continuous pedestrian-friendly edge of street-oriented ground-oriented units punctuated by windows and residential entries along with residential building lobbies completes the remainder of streetscapes. Vehicles can access in only through the northern lane access point. Loading vehicles will serve the project at grade from the same lane with direct access to elevators and retail units. All residential garbage will be stored underground in garbage rooms next to each elevator core, while the commercial garbage will be provided behind the retailers next to the loading bays in lane.

The 6 storey Podium provides a robust 4 storey streetwall as the top 2 floors set in to create visual interest and avoid overwhelming the pedestrians. The ground level includes a rhythm of brick clad columns providing opportunity for a variety of retail unit sizes, while the 3 floors above are further articulated through the provision of metal frames creating a vibrant and varied rhythm. Continuous canopy coverage will be provided across the retail public realm and will provide opportunities for lighting and signage.

Project is a mixed-use development adding a significant number of rental units to the neighbourhood and consists of two towers, 22 and 14 storeys, sitting on a 6-storey podium. Ground floor retail spaces are provided along West 41st Avenue & a lobby and residential unit are provided along Alberta Street to create a vibrant street frontage.

In response to the Transit Oriented Development legislative framework brought forward in 2024, the project is seeking to add an **additional 3 levels of rental housing**, making it a 25 and 17-storey rental residential tower with Mechanical at roof top. The general program, Ground level amenity and street interface will remain unchanged, but the revised application will now bring an additional 60 rental units to the neighbourhood with a below market component.

By elevating the building's height by three additional stories, the project now offers more rental units in an area close to the transit station. Bill 47 anticipates projects that are 200-400m from a rapid transit stop to have a minimum allowable height of 12 storeys, so this additional height will keep it at the scale of future buildings that surround it; while increasing much needed housing.

Enhanced Details for Transit Oriented Development Area (TOD Area) at Oakridge - 41st Avenue Station:

The site is strategically located within the designated Transit Oriented Development Area (TOD Area) of Oakridge - 41st Avenue Station, falling within the 400-meter tier. The TOD legislative framework, which includes the establishment of a minimum allowable density level and aligns with provincial policy directives, eliminates the necessity for minimum off-street residential parking requirements. This allows for parking volumes to be dictated by the organic demand and usage patterns within the market.

Given its close proximity to the Sky Train station, the proposed off-street residential parking for the rental development has been significantly reduced, reflecting the expectation that a considerable number of residents will likely forgo private car ownership. Although restrictive parking requirements have been lifted, accessible parking provisions remain fully intact, ensuring compliance with accessibility standards without any alterations.



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PROJECT
 405 & 475 West 41st Avenue
 Vancouver, BC

PROJECT NO:
 118639

DESIGNED BY: DK-JM	CHECKED BY: BA
PROJECT MGR: BA	APPROVED BY: DVF

SHEET TITLE
DESIGN RATIONALE

SHEET NUMBER
AR-0.09

ISSUE

ARCADIS | 118639-AR

118639-AR-0.09-2023-11-24



SSE VIEW ON CAMBIE ST. & W.41ST AVE



SE VIEW ON CAMBIE ST. & W.41ST AVE



AERIAL SE VIEW ON CAMBIE ST. & W.41ST AVE



AERIAL NW VIEW

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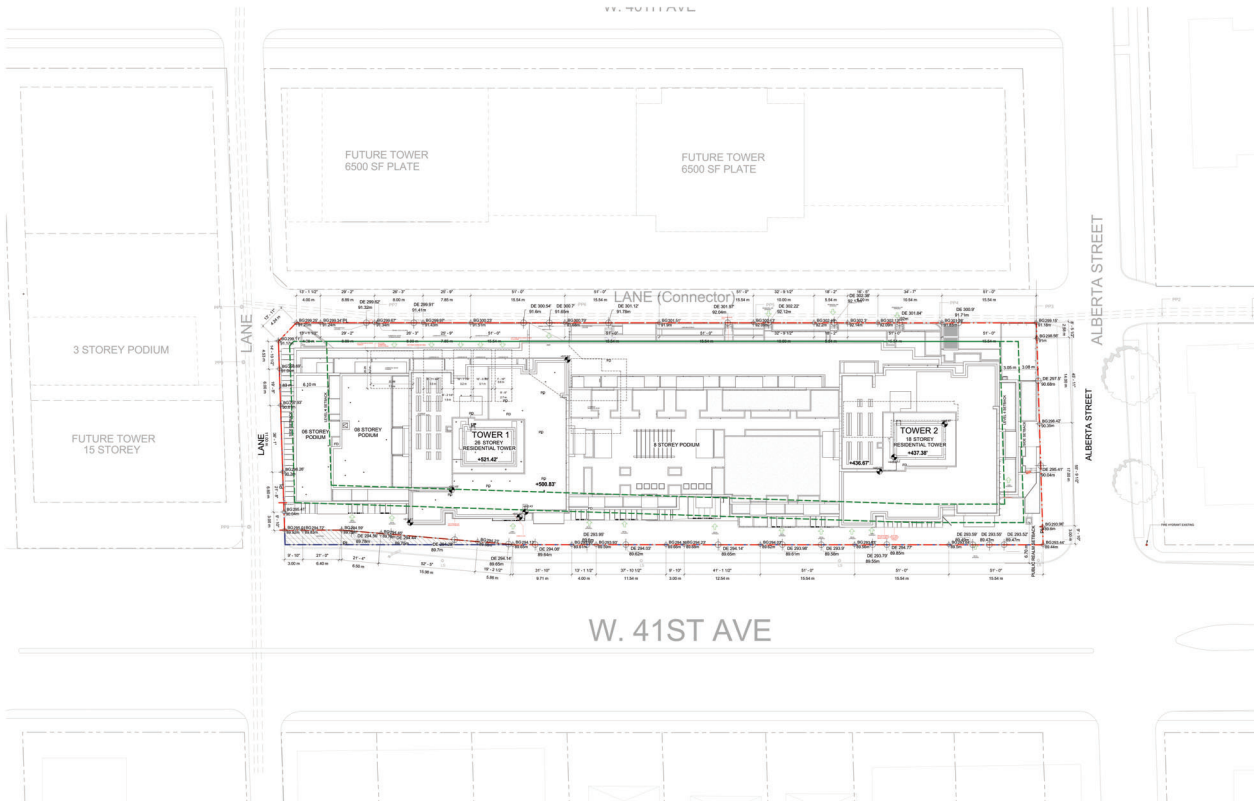
PROJECT
405 & 475 West 41st Avenue
 Vancouver, BC

PROJECT NO: 118639	CHECKED BY: BA
DRAWN BY: DK-JH	APPROVED BY: DVF
PROJECT MGR: BA	
SHEET TITLE RENDERING	
SHEET NUMBER AR-0.10	ISSUE

2024/01/15 10:15 AM

1:25 1/4" = 1' 0" 2024/01/15 10:15 AM 118639/001/RENDERING/AR-0.10.dwg

LEGAL DESCRIPTION:
 PLAN OF LOTS 6 AND 10,
 ALL OF BLOCK 856 GROUP 1, N.W.D PLAN 7240



1 OVERALL - SITE PLAN -
 SCALE: 1:300

Note: BG updated based on revised building Grades from City of Vancouver, dated 13th September 2023.

NOTE:
 1. Through in for automatic opener to be kept for 100% of residential units.
 2. 7 Family vehicles (Residential) battery size as maximum of 1.8 m by 2.7 m as per Sec. 4.3.2.
 3. All Units: Refer to 1st Floor (over Green Enclosures).
 4. (2) DVA: Refer to Drawing Set (Area reserved from inside of all outer walls and exclude in-situ storage and landscaping).
 5. A minimum of one electrical outlet shall be provided for each two class a bicycle spaces.

- LEGEND**
- ORIGINAL PROPERTY LINE
 - PROPERTIES LINE (AFTER DEDICATION)
 - - - SETBACK LINE
 - BG BUILDING GRADE
 - DE BUILDING GRADE
 - TREE
 - POLE WITH TR 21 METERS
 - LAMP POST
 - SIGN POST
 - MANHOLE



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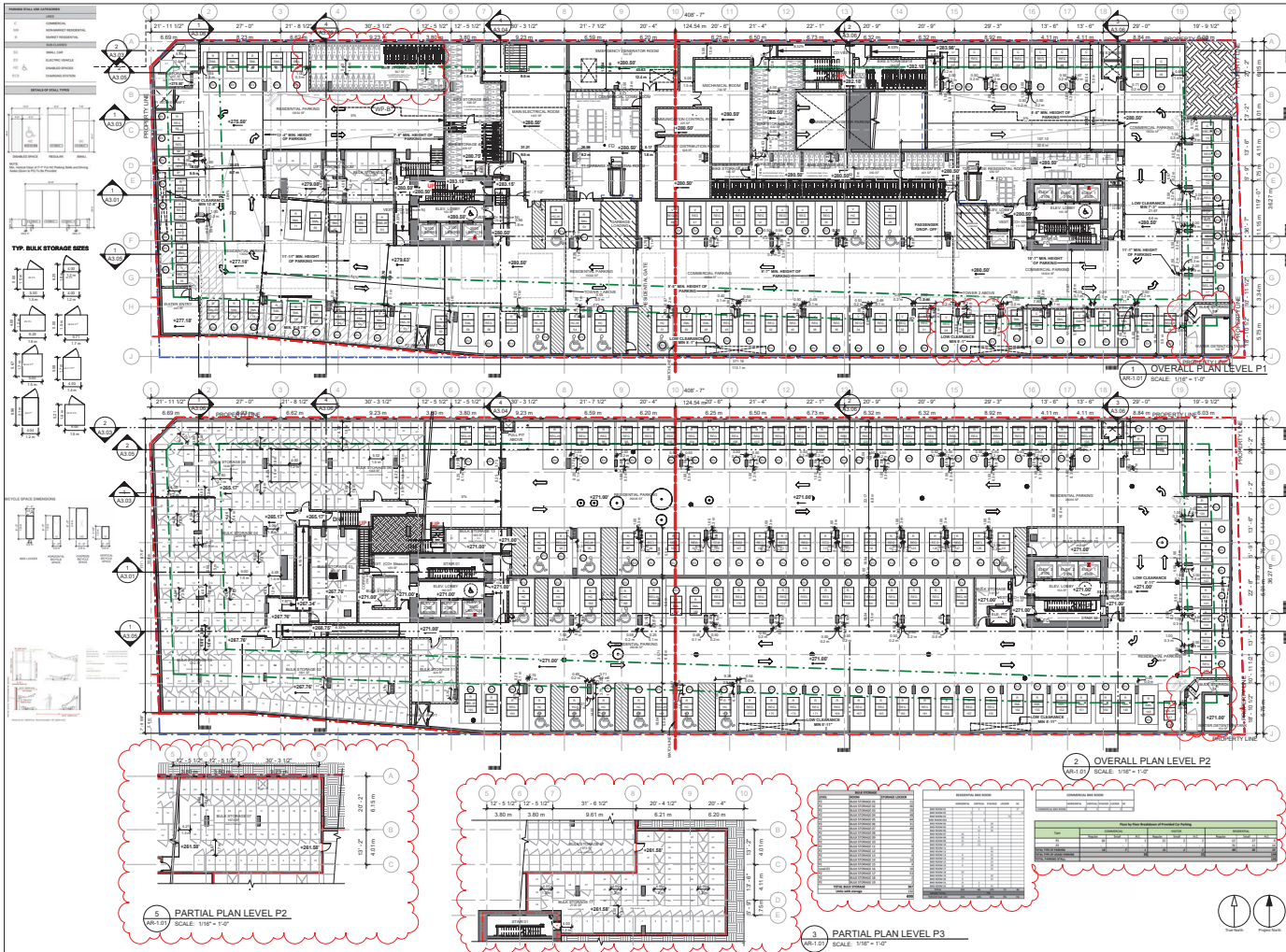
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 Tel: 604 683 8737
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PROJECT
 405 & 475 West 41st Avenue
 Vancouver, BC

PROJECT NO: 118639	CHECKED BY: BA
DRAWN BY: DK-JH	APPROVED BY: DVF
SHEET TITLE SITE PLAN	
SHEET NUMBER AR-1.00	ISSUE

2024-11-15 09:34 AM

PROJECT NUMBER: 118639 - WEST 41ST & 475TH AVENUE (P) - 2024-11-15 09:34 AM

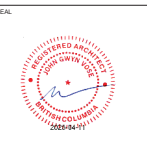


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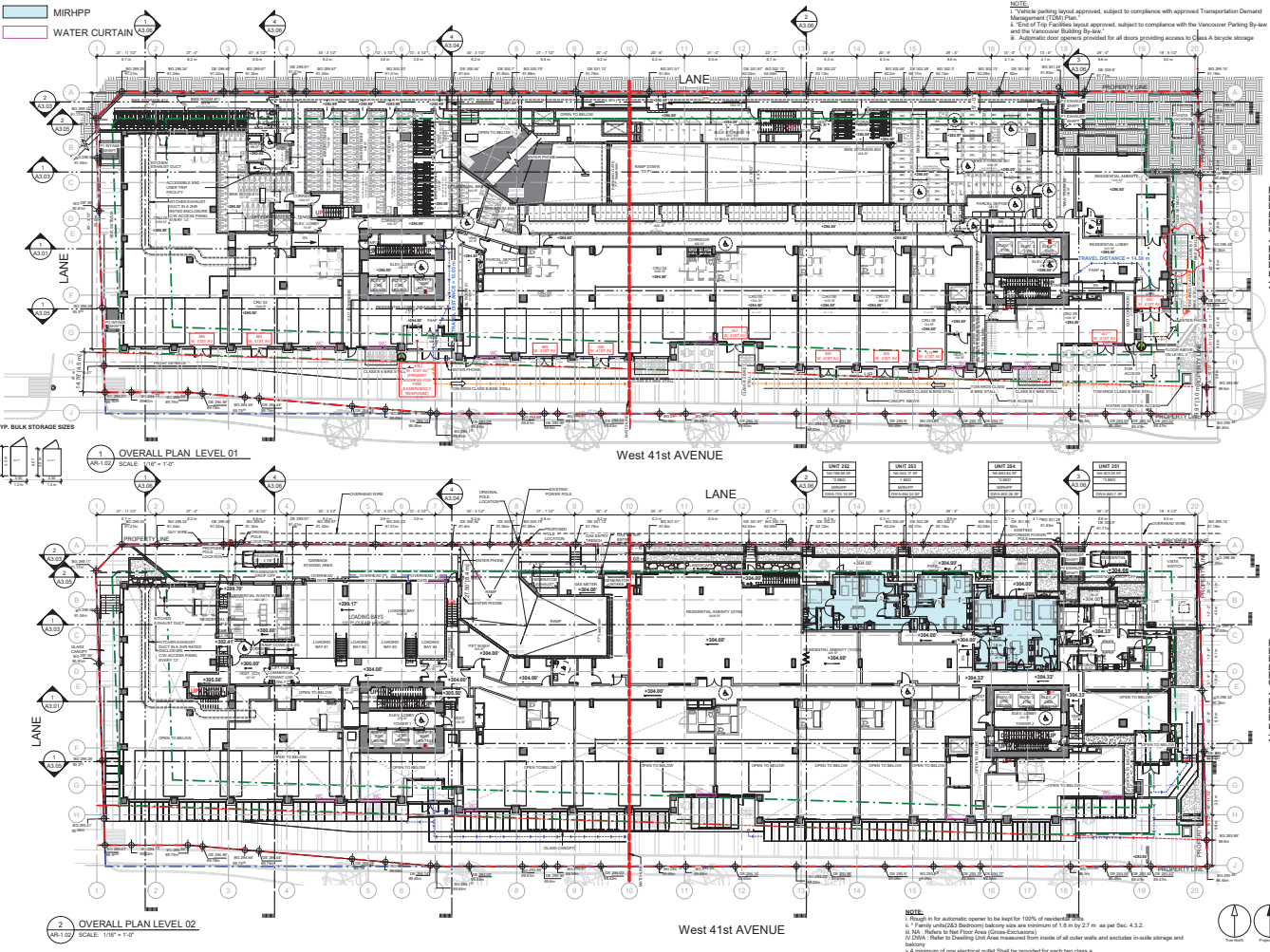
PROJECT
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 Vancouver, BC

PROJECT NO.
 118639
DRAWN BY: DK-JH
CHECKED BY: BA
PROJECT MGR: BA
APPROVED BY: DV
SHEET TITLE
 OVERALL PLAN- LEVEL P2-P1

SHEET NUMBER
AR-1.01

2024-01-11 10:34 AM

PROFESSIONAL ENGINEER - MECHANICAL / P.E. No. 24859-04-0111



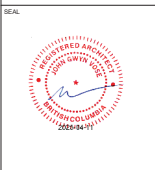
NOTE
 1. Vehicle parking layout approved, subject to compliance with approved Transportation Demand Management (TDM) Plan.
 2. "Clear of Top" Facilities layout approved, subject to compliance with the Vancouver Parking By-law and the Vancouver Building By-law.
 3. Automatic door openers provided for all doors providing access to Level 2 bicycle storage.

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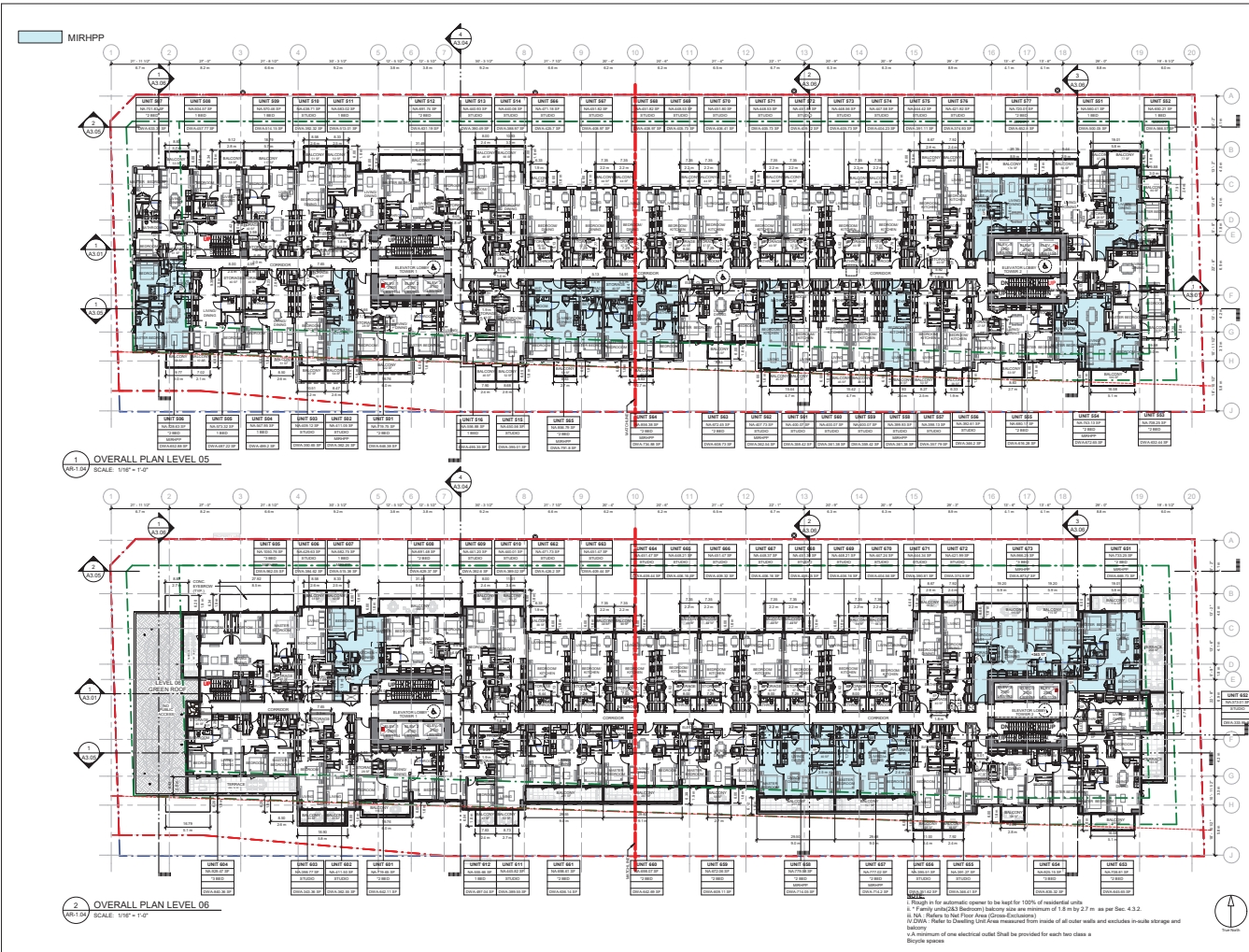
PROJECT NO:
 118639
 DRAWN BY: DK-JH
 PROJECT MGR: BA
 CHECKED BY: BA
 APPROVED BY: DV

SHEET TITLE
OVERALL PLAN-LEVEL 1 & LEVEL 2

SHEET NUMBER
AR-1.02

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1 OVERALL PLAN LEVEL 05
SCALE: 1/8" = 1'-0"

2 OVERALL PLAN LEVEL 06
SCALE: 1/8" = 1'-0"

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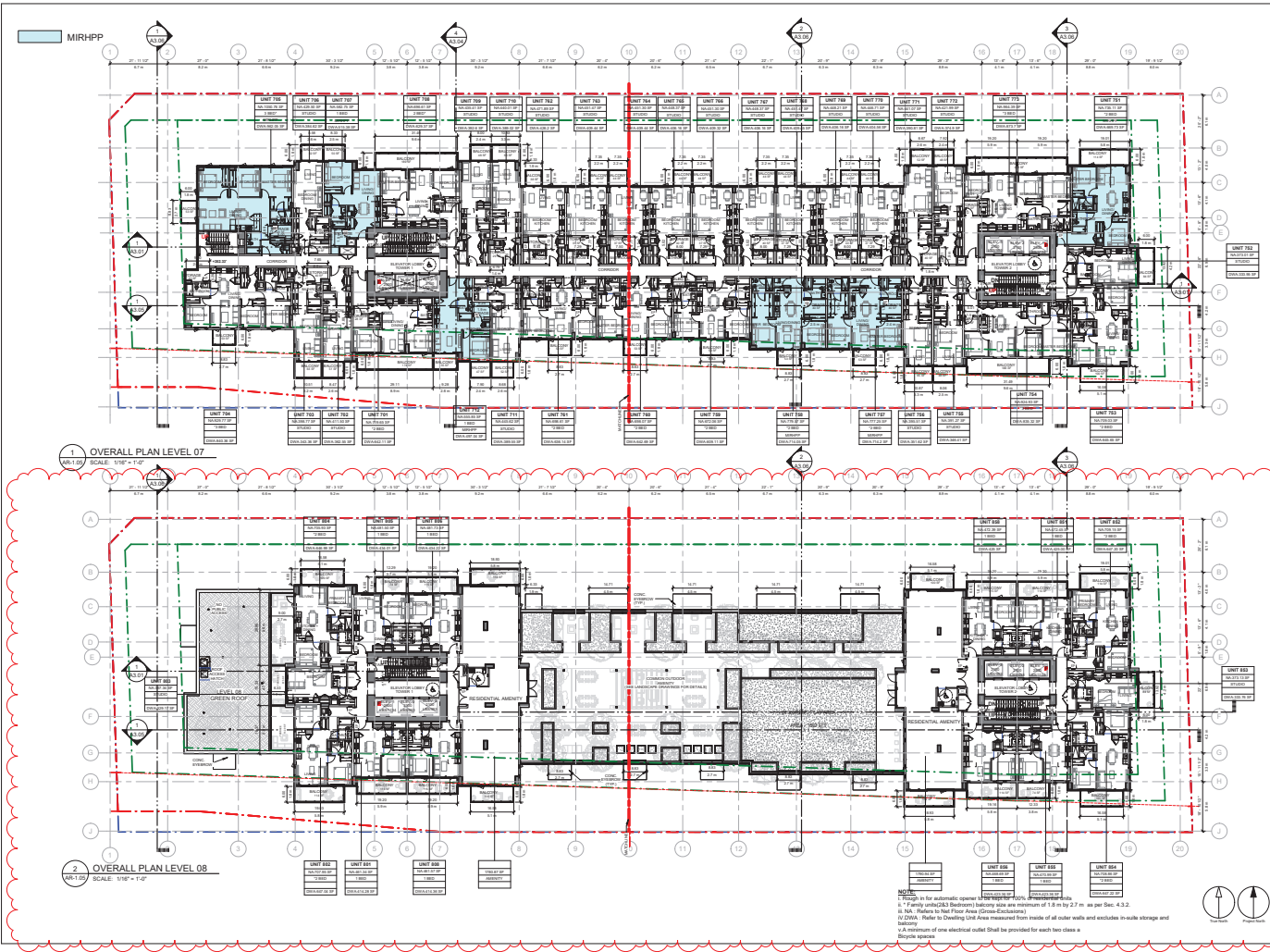
DESIGNED BY: DK-JH	CHECKED BY: BA
PROJECT MGR: BA	APPROVED BY: DGV

SHEET TITLE
OVERALL PLAN-LEVEL 5 & LEVEL 6

SHEET NUMBER AR-1.04	ISSUE
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2024/11/15 09:45 AM

PROFESSIONAL ENGINEER - MECHANICAL - No. 24254-94-0111



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PROJECT NO.
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DESIGNED BY: BA
CHECKED BY: BA

PROJECT MGR: BA
APPROVED BY: DV

SHEET TITLE
 OVERALL PLAN-LEVEL 7 & LEVEL 8

SHEET NUMBER
 AR-1.05

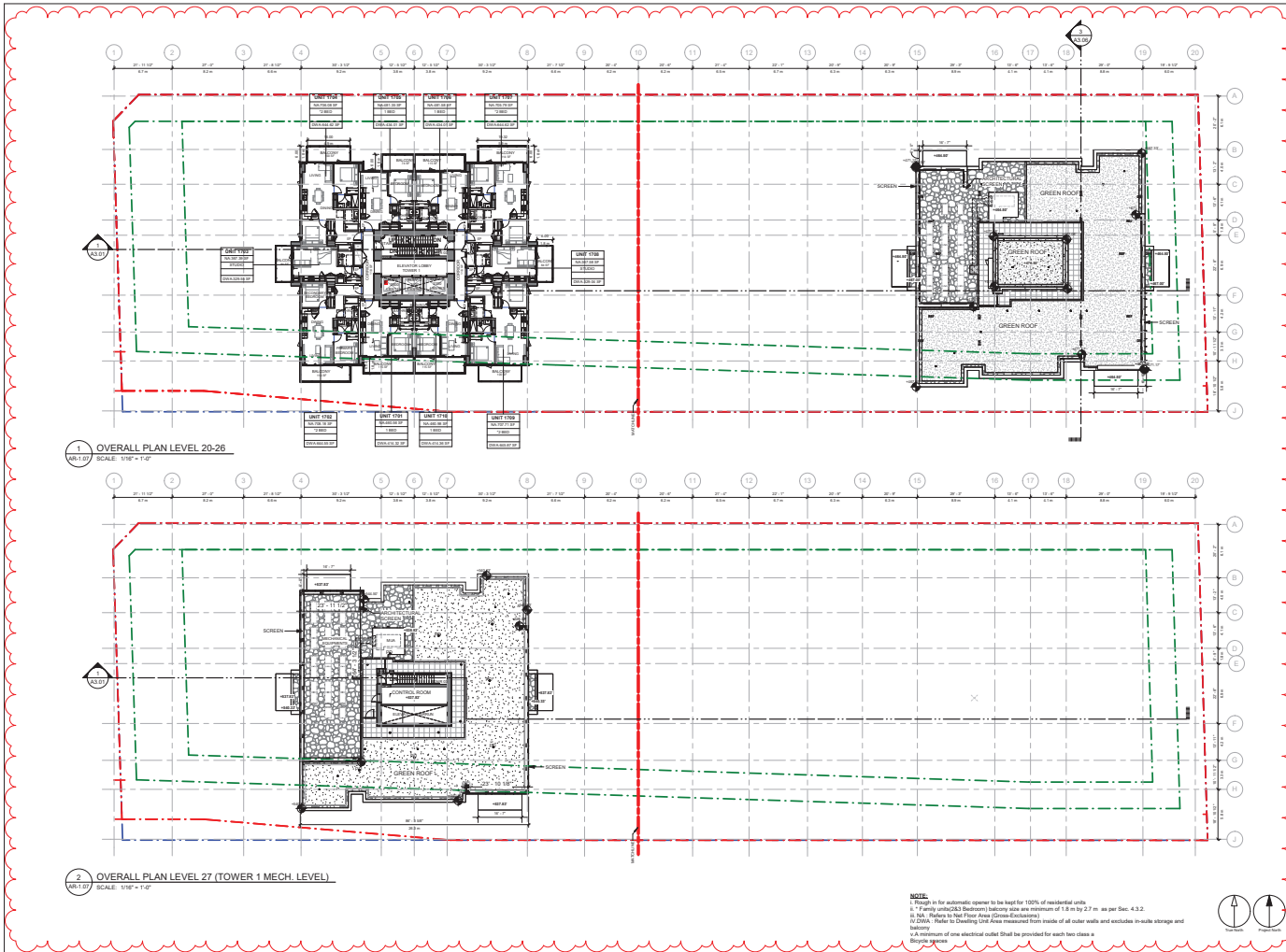
ISSUE



NOTES:

1. All dimensions are in millimeters unless otherwise specified.
2. For automatic opening devices, refer to Sec. 4.3.2.
3. Fire protected openings shall be a minimum of 1.8 m by 2.7 m, as per Sec. 4.3.2.
4. NA. Refer to Not Floor Area (Condo Conclusions).
5. (2) (2) (b). Refer to Drawing Unit Area measured from inside of all outer walls and include in-situ storage and balcony.
6. A minimum of one electrical outlet shall be provided for each two class A bicycle spaces.

2024/11/15 10:58 AM



1 OVERALL PLAN LEVEL 20-26
SCALE: 1/8" = 1'-0"

2 OVERALL PLAN LEVEL 27 (TOWER 1 MECH. LEVEL)
SCALE: 1/8" = 1'-0"

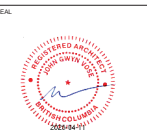
NOTE:
 1. Rough in for automatic opener to be kept for 100% of residential units.
 2. Family unit(s) (Residential) balconies are a maximum of 1.8 m by 2.7 m as per Sec. 4.3.2.
 3. No. Rakey to Hall Floor Area (Green Enclosures).
 4. (2) (2) (2) Refer to Drawing 1st Area measured from inside of all outer walls and excludes in-slab storage and landing.
 5. A minimum of one electrical outlet shall be provided for each two class A Single spaces.

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SHEET TITLE
 OVERALL PLAN- LEVEL 20-26 & LEVEL 27

SHEET NUMBER
 AR-1.07

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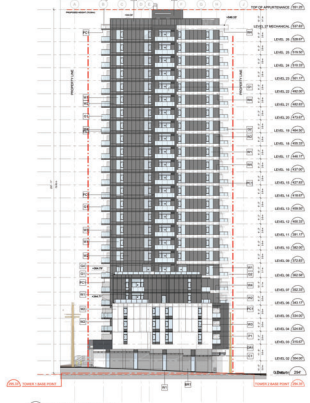
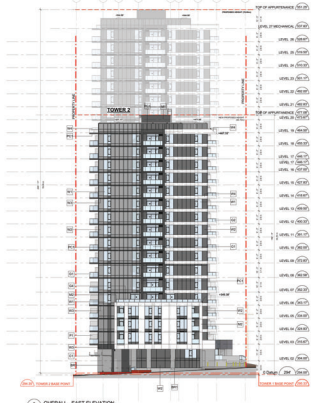
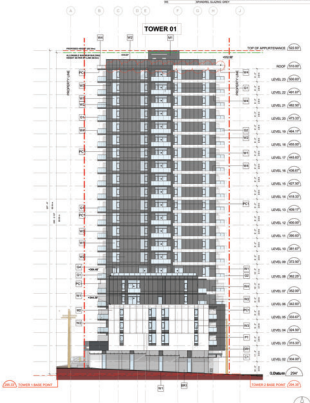
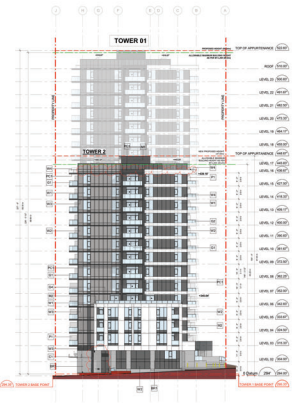
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CURRENT (WEST TOWER:23 STOREY, EAST TOWER:15 STOREY)

PROPOSED (WEST TOWER:26 STOREY, EAST TOWER:18 STOREY)

ELEVATION MATERIAL LEGEND		ELEVATION MATERIAL LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	ALUMINUM PANEL	1	ALUMINUM PANEL
2	GLASS CURTAIN WALL	2	GLASS CURTAIN WALL
3	CONCRETE	3	CONCRETE
4	BRICK	4	BRICK
5	STONE	5	STONE
6	PAINTED CONCRETE	6	PAINTED CONCRETE
7	SMOOTH CONCRETE	7	SMOOTH CONCRETE
8	TEXTURED CONCRETE	8	TEXTURED CONCRETE
9	GLASS	9	GLASS
10	ALUMINUM CLADDING	10	ALUMINUM CLADDING
11	BRICK CLADDING	11	BRICK CLADDING
12	STONE CLADDING	12	STONE CLADDING
13	PAINTED CONCRETE CLADDING	13	PAINTED CONCRETE CLADDING
14	SMOOTH CONCRETE CLADDING	14	SMOOTH CONCRETE CLADDING
15	TEXTURED CONCRETE CLADDING	15	TEXTURED CONCRETE CLADDING
16	GLASS CURTAIN WALL CLADDING	16	GLASS CURTAIN WALL CLADDING
17	ALUMINUM CLADDING CLADDING	17	ALUMINUM CLADDING CLADDING
18	BRICK CLADDING CLADDING	18	BRICK CLADDING CLADDING
19	STONE CLADDING CLADDING	19	STONE CLADDING CLADDING
20	PAINTED CONCRETE CLADDING CLADDING	20	PAINTED CONCRETE CLADDING CLADDING
21	SMOOTH CONCRETE CLADDING CLADDING	21	SMOOTH CONCRETE CLADDING CLADDING
22	TEXTURED CONCRETE CLADDING CLADDING	22	TEXTURED CONCRETE CLADDING CLADDING
23	GLASS CURTAIN WALL CLADDING CLADDING	23	GLASS CURTAIN WALL CLADDING CLADDING
24	ALUMINUM CLADDING CLADDING CLADDING	24	ALUMINUM CLADDING CLADDING CLADDING
25	BRICK CLADDING CLADDING CLADDING	25	BRICK CLADDING CLADDING CLADDING
26	STONE CLADDING CLADDING CLADDING	26	STONE CLADDING CLADDING CLADDING
27	PAINTED CONCRETE CLADDING CLADDING CLADDING	27	PAINTED CONCRETE CLADDING CLADDING CLADDING
28	SMOOTH CONCRETE CLADDING CLADDING CLADDING	28	SMOOTH CONCRETE CLADDING CLADDING CLADDING
29	TEXTURED CONCRETE CLADDING CLADDING CLADDING	29	TEXTURED CONCRETE CLADDING CLADDING CLADDING
30	GLASS CURTAIN WALL CLADDING CLADDING CLADDING	30	GLASS CURTAIN WALL CLADDING CLADDING CLADDING

ELEVATION MATERIAL LEGEND		ELEVATION MATERIAL LEGEND	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
1	ALUMINUM PANEL	1	ALUMINUM PANEL
2	GLASS CURTAIN WALL	2	GLASS CURTAIN WALL
3	CONCRETE	3	CONCRETE
4	BRICK	4	BRICK
5	STONE	5	STONE
6	PAINTED CONCRETE	6	PAINTED CONCRETE
7	SMOOTH CONCRETE	7	SMOOTH CONCRETE
8	TEXTURED CONCRETE	8	TEXTURED CONCRETE
9	GLASS	9	GLASS
10	ALUMINUM CLADDING	10	ALUMINUM CLADDING
11	BRICK CLADDING	11	BRICK CLADDING
12	STONE CLADDING	12	STONE CLADDING
13	PAINTED CONCRETE CLADDING	13	PAINTED CONCRETE CLADDING
14	SMOOTH CONCRETE CLADDING	14	SMOOTH CONCRETE CLADDING
15	TEXTURED CONCRETE CLADDING	15	TEXTURED CONCRETE CLADDING
16	GLASS CURTAIN WALL CLADDING	16	GLASS CURTAIN WALL CLADDING
17	ALUMINUM CLADDING CLADDING	17	ALUMINUM CLADDING CLADDING
18	BRICK CLADDING CLADDING	18	BRICK CLADDING CLADDING
19	STONE CLADDING CLADDING	19	STONE CLADDING CLADDING
20	PAINTED CONCRETE CLADDING CLADDING	20	PAINTED CONCRETE CLADDING CLADDING
21	SMOOTH CONCRETE CLADDING CLADDING	21	SMOOTH CONCRETE CLADDING CLADDING
22	TEXTURED CONCRETE CLADDING CLADDING	22	TEXTURED CONCRETE CLADDING CLADDING
23	GLASS CURTAIN WALL CLADDING CLADDING	23	GLASS CURTAIN WALL CLADDING CLADDING
24	ALUMINUM CLADDING CLADDING CLADDING	24	ALUMINUM CLADDING CLADDING CLADDING
25	BRICK CLADDING CLADDING CLADDING	25	BRICK CLADDING CLADDING CLADDING
26	STONE CLADDING CLADDING CLADDING	26	STONE CLADDING CLADDING CLADDING
27	PAINTED CONCRETE CLADDING CLADDING CLADDING	27	PAINTED CONCRETE CLADDING CLADDING CLADDING
28	SMOOTH CONCRETE CLADDING CLADDING CLADDING	28	SMOOTH CONCRETE CLADDING CLADDING CLADDING
29	TEXTURED CONCRETE CLADDING CLADDING CLADDING	29	TEXTURED CONCRETE CLADDING CLADDING CLADDING
30	GLASS CURTAIN WALL CLADDING CLADDING CLADDING	30	GLASS CURTAIN WALL CLADDING CLADDING CLADDING



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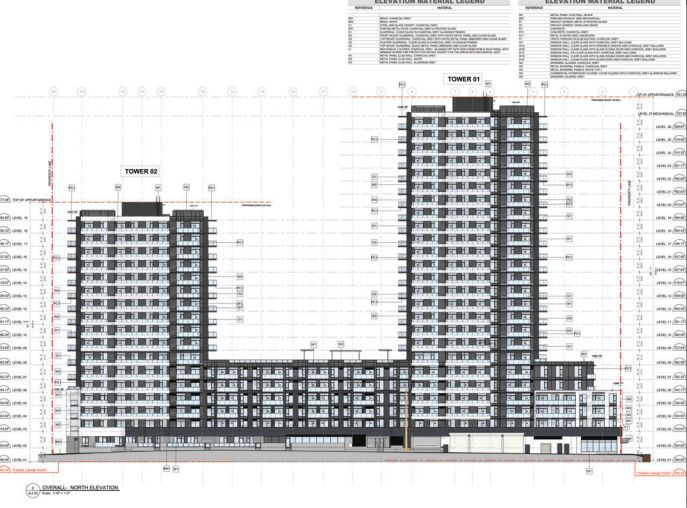
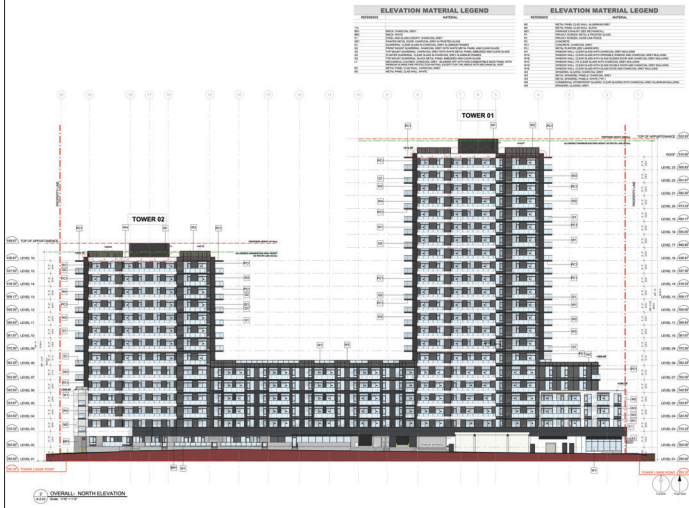
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PROJECT MGR: BA	APPROVED BY: DV

SHEET TITLE
EAST & WEST ELEVATION

SHEET NUMBER AR-2.02	ISSUE
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CURRENT (WEST TOWER:23 STOREY, EAST TOWER:15 STOREY)

PROPOSED (WEST TOWER:26 STOREY, EAST TOWER:18 STOREY)



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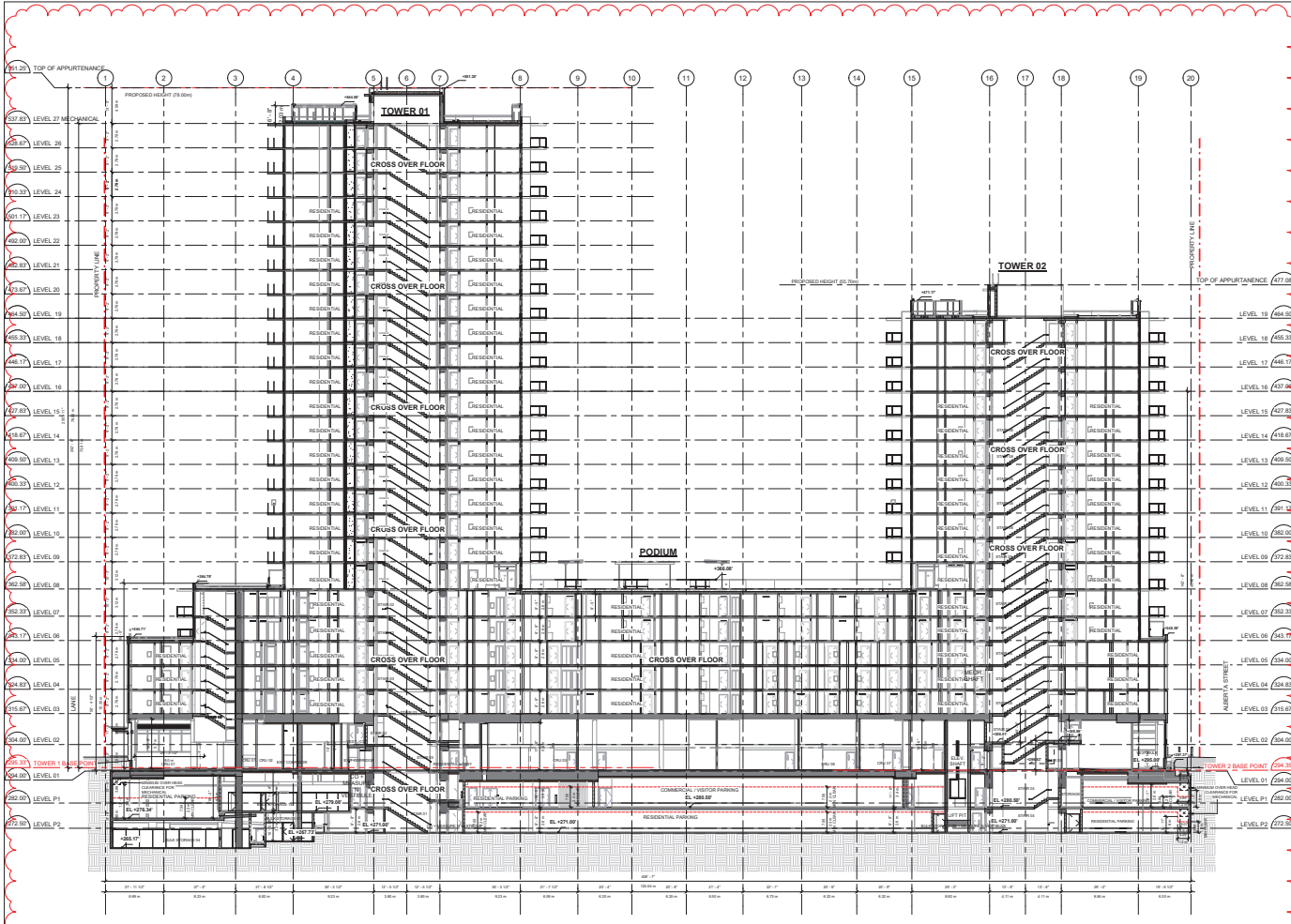
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 NORTH ELEVATION

SHEET NUMBER
AR-2.03

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1 BUILDING SECTION A-A (LONGITUDINAL)
SCALE: 1/8" = 1'-0"

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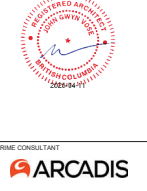
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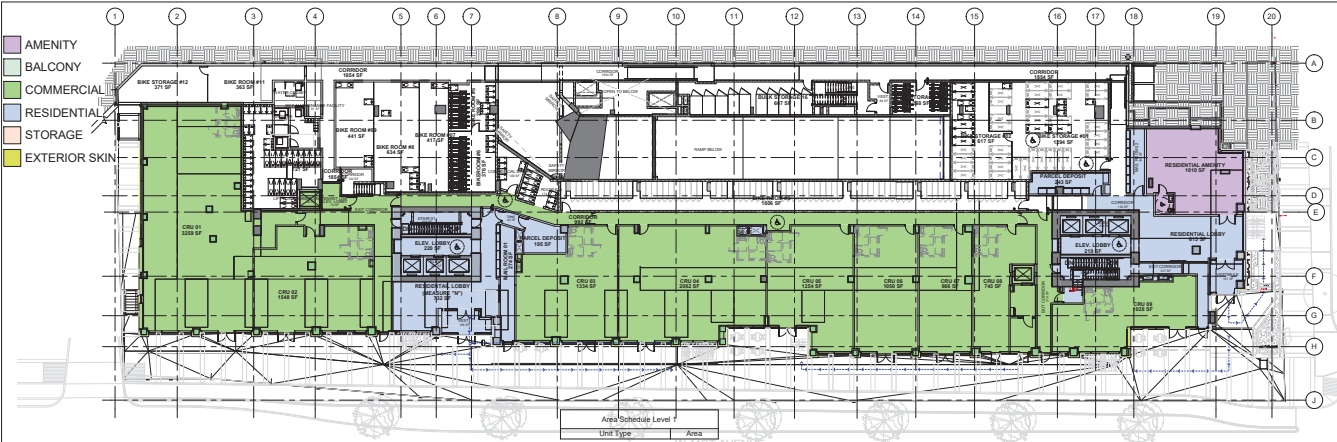
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SHEET TITLE
SECTION A-A

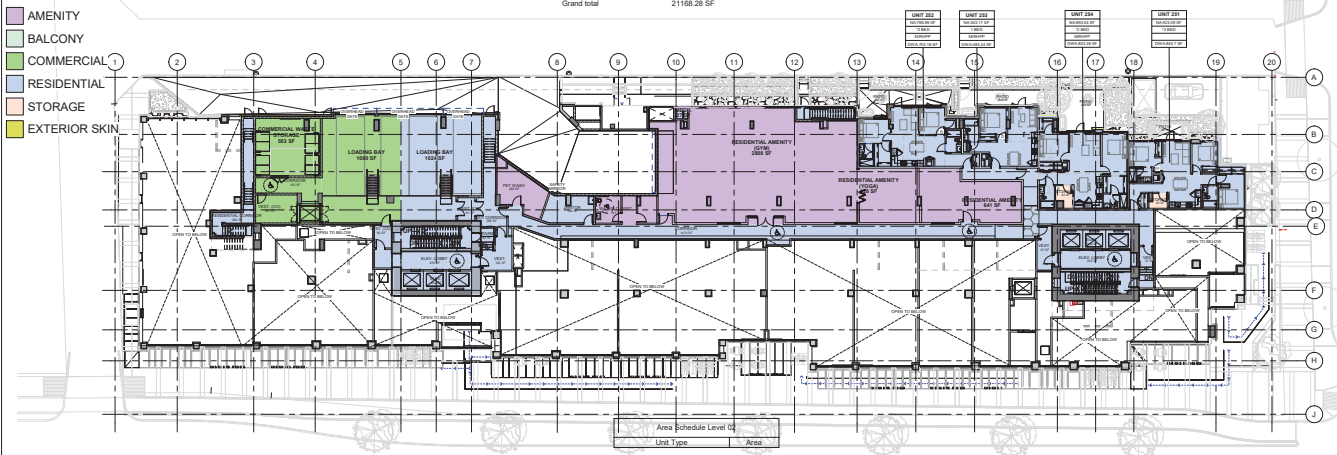
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AR-3.01

118639-01-AR-3.01-SECTION A-A (LONGITUDINAL) - 2023-08-15 10:00 AM



1 AREA PLAN - LEVEL 01
SCALE: 1/8" = 1'-0"

Area Schedule Level 01	
Unit Type	Area
AMENITY	1009.91 SF
COMMERCIAL	12442.28 SF
EXTERIOR SKIN	119.45 SF
RESIDENTIAL	4596.64 SF
Grand Total	21168.28 SF



2 AREA PLAN - LEVEL 02
SCALE: 1/8" = 1'-0"

Area Schedule Level 02	
Unit Type	Area
AMENITY	1404.30 SF
COMMERCIAL	1973.60 SF
EXTERIOR SKIN	49.15 SF
RESIDENTIAL	958.32 SF
STORAGE	69.81 SF
Grand Total	15077.96 SF

NOTE:
 1. Rough in for automatic opener to be kept for 100% of residential units.
 2. Family unit(s) (Residential) balcony size are maximum of 1.8 m by 2.7 m as per Sec. 4.3.2.
 3. N/A. Refer to First Floor Area (Common Enclosures).
 4. (2) Bay. Refer to Drawing Unit Area measured from inside of all outer walls and excludes in-situ storage and ceiling.
 5. A minimum of one electrical outlet shall be provided for each two class A receptacle spaces.

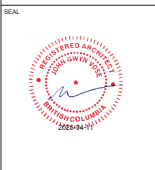


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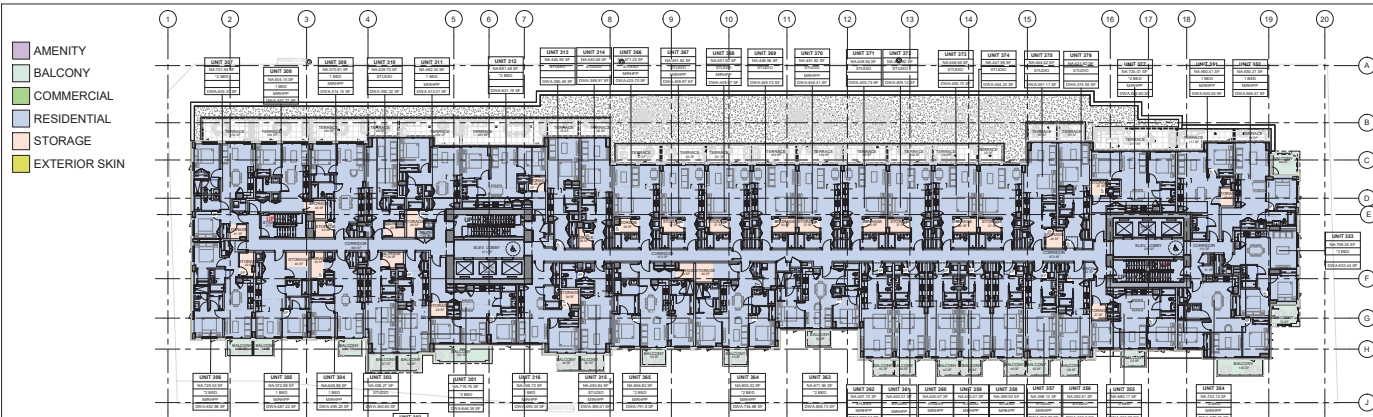
DESIGNED BY: DK-JH	CHECKED BY: BA
PROJECT MGR: BA	APPROVED BY: DGV

SHEET TITLE
 AREA PLAN - LEVEL 1 & LEVEL 2

SHEET NUMBER
AR-4.02

2024-11-11 10:58 AM

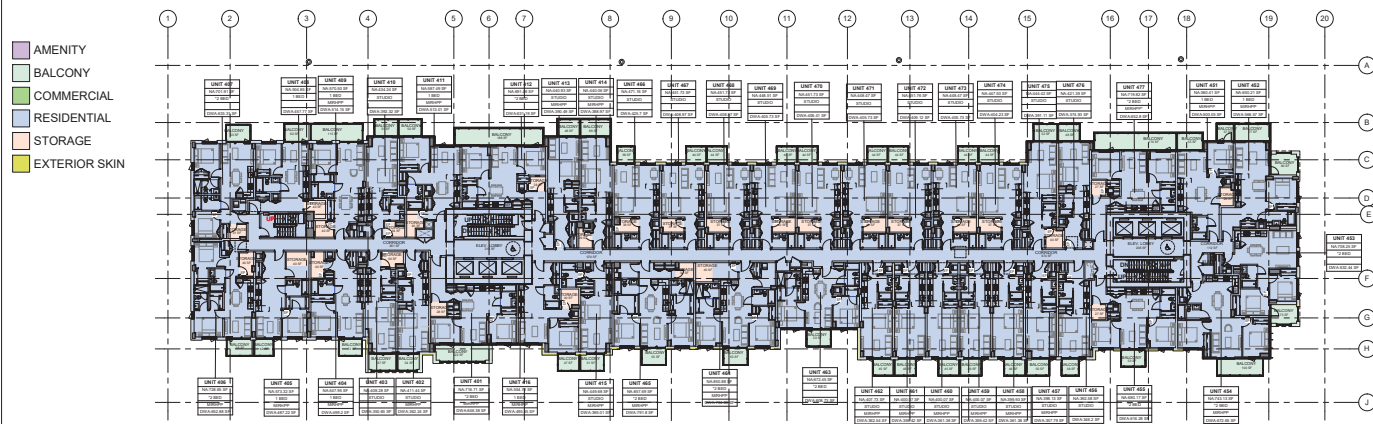
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1 AREA PLAN - LEVEL 03
SCALE: 1/8" = 1'-0"

Area Schedule Level 3	
Unit Type	Area
EXTERIOR SKIN	160.83 SF
RESIDENTIAL	26171.07 SF
STORAGE	1002.98 SF
Grand total	27334.88 SF

Balcony Area Schedule Level 3		
Unit Type	Area	Level
BALCONY	1271.89 SF	LEVEL 03
Grand total	1271.89 SF	



2 AREA PLAN - LEVEL 04
SCALE: 1/8" = 1'-0"

Area Schedule Level 4	
Unit Type	Area
EXTERIOR SKIN	172.12 SF
RESIDENTIAL	26158.28 SF
STORAGE	1104.35 SF
Grand total	27334.75 SF

Balcony Area Schedule Level 4		
Unit Type	Area	Level
BALCONY	2735.71 SF	
Grand total	2735.71 SF	

NOTE:
 1. Rough-in for automatic opener to be kept for 100% of residential units.
 2. Fencing and/or Balcony railing size are maximum of 1.3m by 2.7 m, as per Sec. 4.3.2.
 3. NA: Refers to Net Floor Area (Gross-Exclusions).
 4. GWA: Refers to Grossing Unit Area measured from inside of all outer walls and excludes in-situ storage and balcony.
 5. A minimum of one electrical outlet shall be provided for each two class A people systems.

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PROJECT NO: 118639
DESIGNED BY: DK-JM
PROJECT MGR: BA
CHECKED BY: BA
APPROVED BY: DV

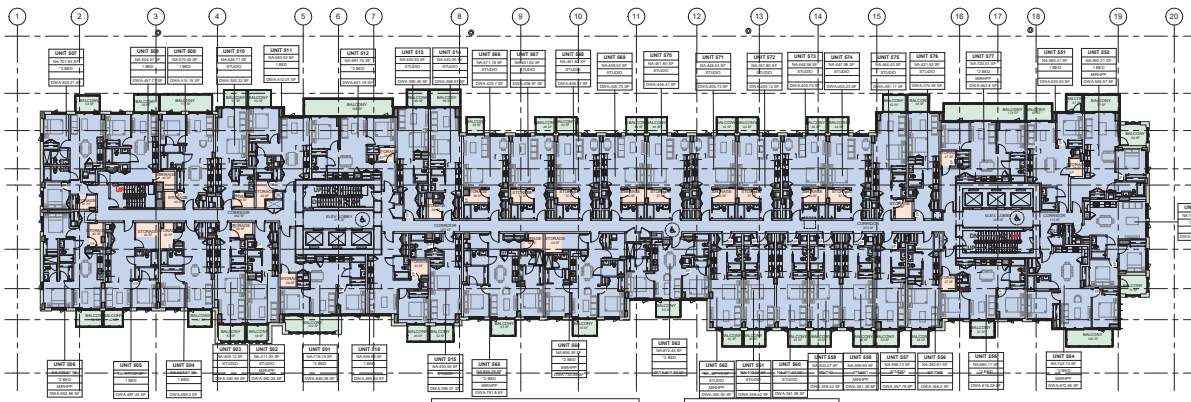
SHEET TITLE
 AREA PLAN - LEVEL 3 & LEVEL 4

SHEET NUMBER
AR-4.03

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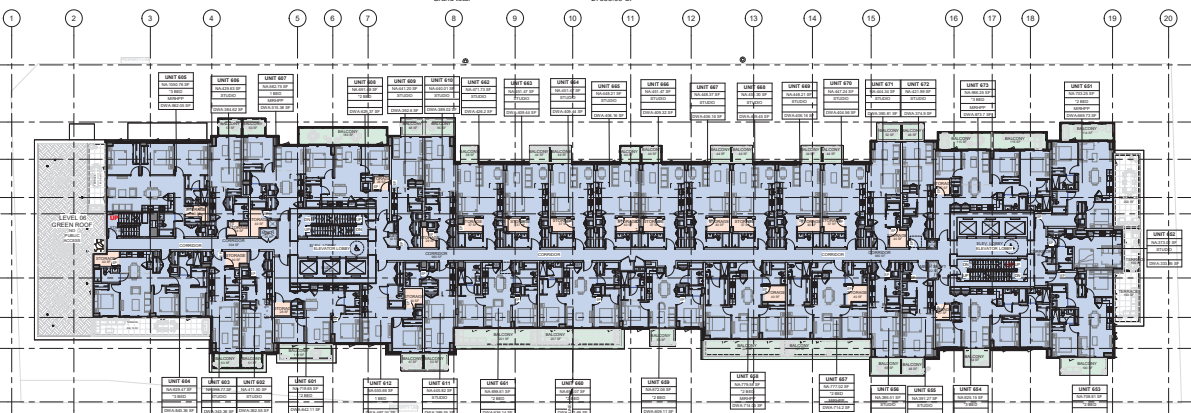
- AMENITY
- BALCONY
- COMMERCIAL
- RESIDENTIAL
- STORAGE
- EXTERIOR SKIN



1 AREA PLAN - LEVEL 05
SCALE: 1/16" = 1'-0"

Area Schedule Level 5		Balcony Area Schedule Level 5	
Unit Type	Area	Unit Type	Area
EXTERIOR SKIN	180.32 SF	BALCONY	2735.60 SF
RESIDENTIAL	26170.78 SF	Grand total	2735.60 SF
STORAGE	1300.29 SF		
Grand total	27333.99 SF		

- AMENITY
- BALCONY
- COMMERCIAL
- RESIDENTIAL
- STORAGE
- EXTERIOR SKIN



2 AREA PLAN - LEVEL 06
SCALE: 1/16" = 1'-0"

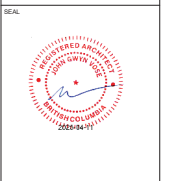
Area Schedule Level 6		Balcony Area Schedule Level 6	
Unit Type	Area	Unit Type	Area
EXTERIOR SKIN	89.40 SF	BALCONY	2093.89 SF
RESIDENTIAL	23291.97 SF	Grand total	2093.89 SF
STORAGE	826.19 SF		
Grand total	24207.57 SF		

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Arcadis Architects (Canada) Inc.
formerly B Group Architects (Canada) Inc.

NO.	DESCRIPTION	DATE

CONSULTANTS



PRIME CONSULTANT
ARCADIS
1205 West Pender Street - Suite 100
Vancouver BC V6E 4B1 Canada
Tel: 604 683 8707
www.arcadis.com

PROJECT
405 & 475 West 41st Avenue
Vancouver, BC

PROJECT NO:
118639

DESIGNED BY:	BA	CHECKED BY:	BA
PROJECT MGR:	BA	APPROVED BY:	DV

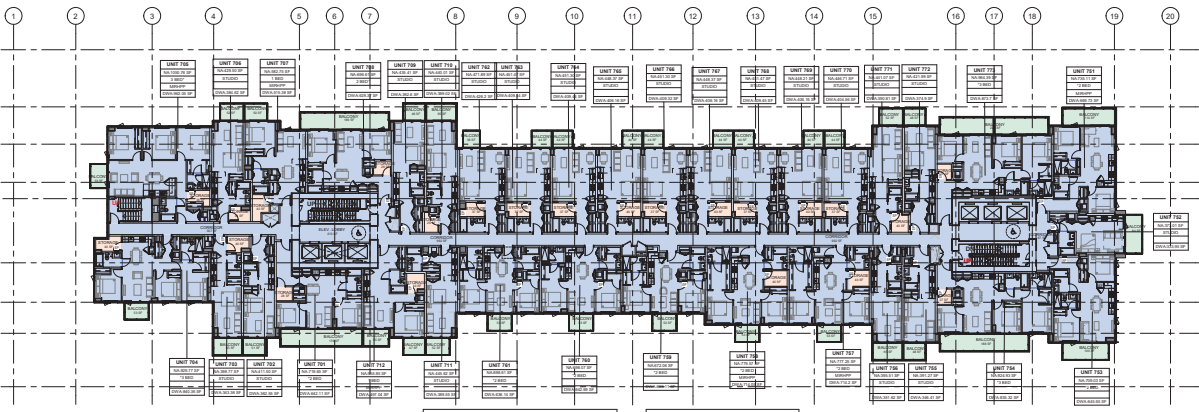
SHEET TITLE
AREA PLAN - LEVEL 5 & LEVEL 6

SHEET NUMBER
AR-4.04

2024/11/11 09:52 AM

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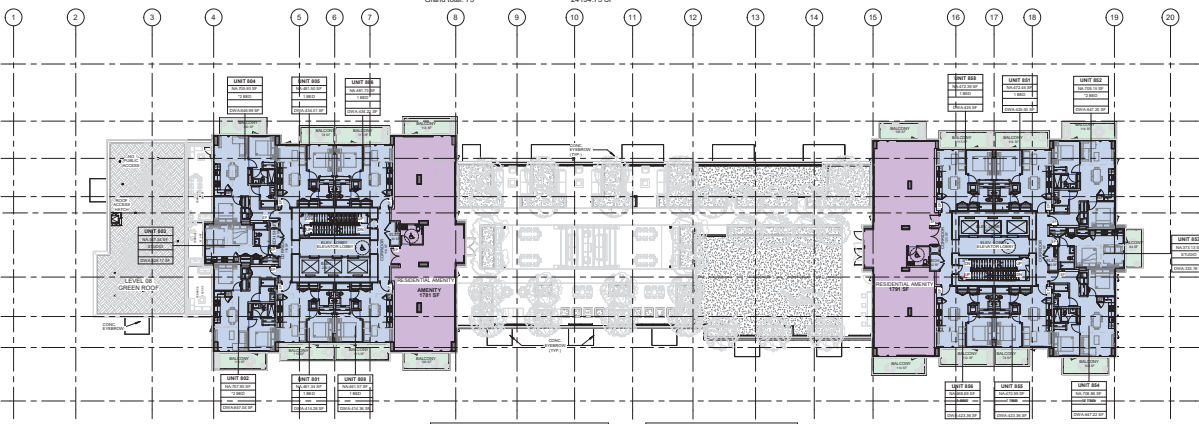
- AMENITY
- BALCONY
- COMMERCIAL
- RESIDENTIAL
- STORAGE
- EXTERIOR SKIN



1 AREA PLAN - LEVEL 07
SCALE: 1/8" = 1'-0"

Area Schedule Level 7		Balcony Area Schedule Level 7	
Unit Type	Area	Unit Type	Area
EXTERIOR SKIN	78.17 SF	BALCONY	2535.27 SF
RESIDENTIAL	23287.80 SF		
STORAGE	1628.79 SF	Grand total:	2535.27 SF
Grand total:	24194.75 SF		

- AMENITY
- BALCONY
- COMMERCIAL
- RESIDENTIAL
- STORAGE
- EXTERIOR SKIN



2 AREA PLAN - LEVEL 08
SCALE: 1/8" = 1'-0"

Area Schedule Level 8		Balcony Area Schedule Level 8	
Unit Type	Area	Unit Type	Area
AMENITY	3571.81 SF	BALCONY	1771.57 SF
EXTERIOR SKIN	58.41 SF		
RESIDENTIAL	8418.87 SF	Grand total:	1771.57 SF
Grand total:	13047.09 SF		

NOTE:
 1. Rough in for automatic opener to be kept for 100% of residential units.
 2. Family entrance (Residential) balcony size are minimum of 3.6m by 2.7m as per Sec. 4.3.2.
 3. BA: Refer to Next Floor Area (Cross-Enclosures).
 4. GVA: Refer to Drawing Unit Area measured from inside of all outer walls and encloses in-situ storage and balcony.
 5. A minimum of one electrical outlet shall be provided for each two class a bicycle spaces.

CLIENT
NICOLA REAL ESTATE
 1100 Metville St Suite 1400
 Vancouver, BC V6E 4A8

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PROJECT
 405 & 475 West 41st Avenue
 Vancouver, BC

PROJECT NO: 118639
DESIGNED BY: DK-JM
CHECKED BY: BA
APPROVED BY: DV

SHEET TITLE
 AREA PLAN - LEVEL 7 & LEVEL 8

SHEET NUMBER
AR-4.05

2024/11/11 09:47 AM

PROJECT NO: 118639 - WEST 41ST AVENUE - WEST 41ST AVENUE - WEST 41ST AVENUE - WEST 41ST AVENUE

