

All drawings and related documents are the property of Acton Ostry Architects Inc. and may not be reproduced in whole or in part without the Architect's permission. This drawing should not be used to construct or to be used as a basis for construction without the Architect's approval. The Architect is not responsible for any errors or omissions in this drawing and shall not be held liable for any consequences that may arise from its use. All dimensions and quantities shall be as shown unless otherwise indicated. All work must comply with the relevant Building Code and other applicable laws, regulations, codes, standards and ordinances and shall be immediately reported to the Architect.

issues

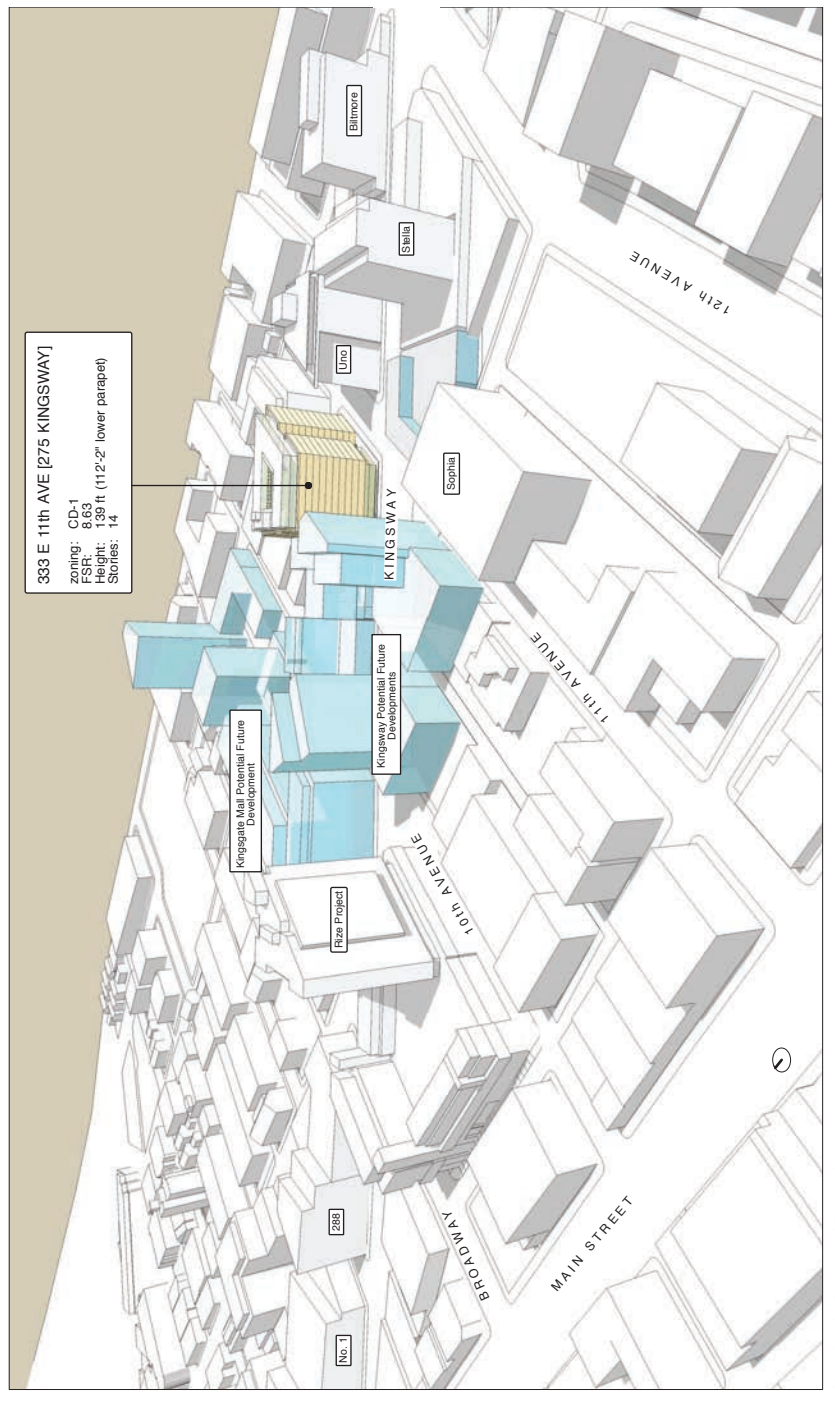
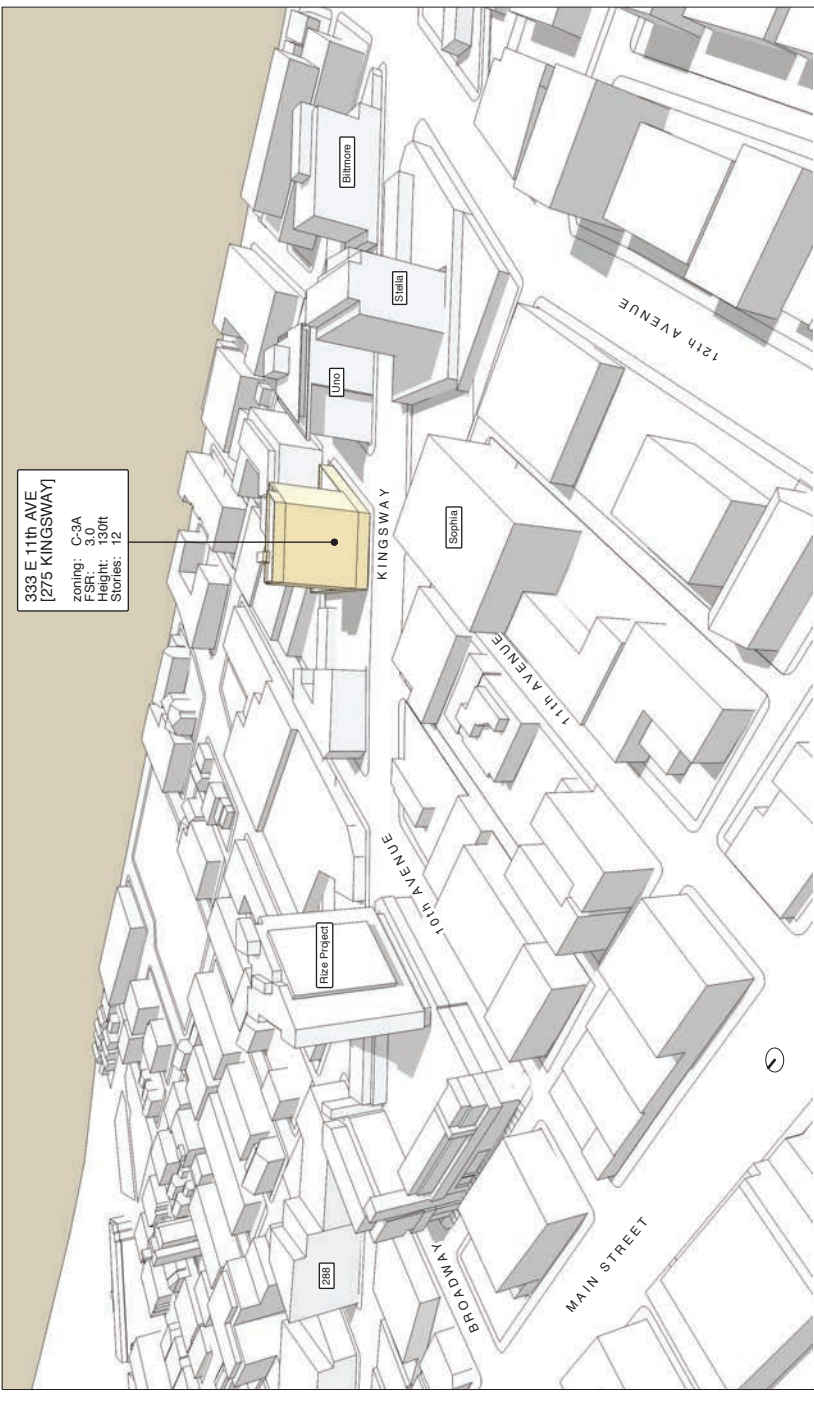
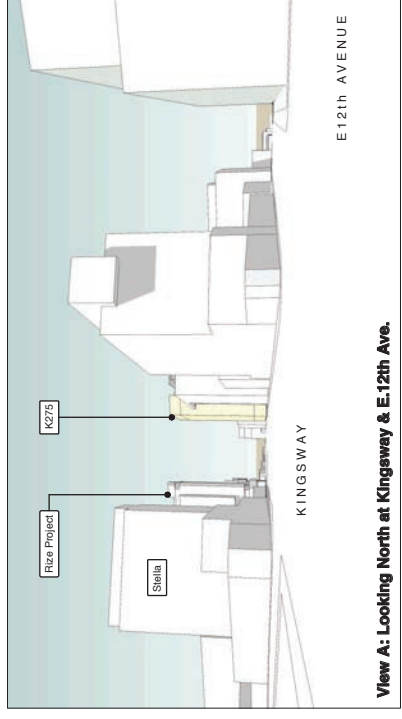
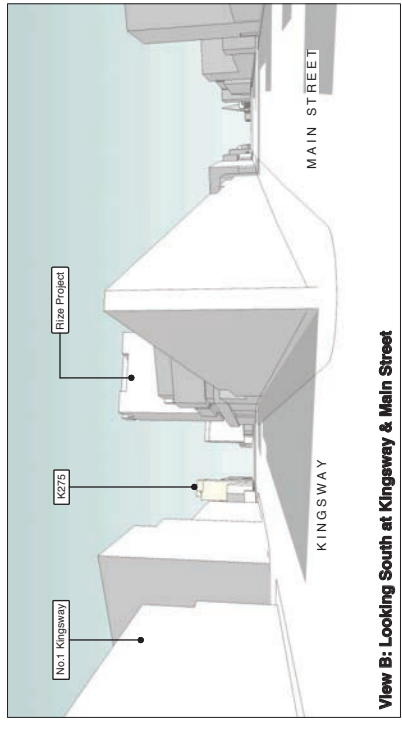
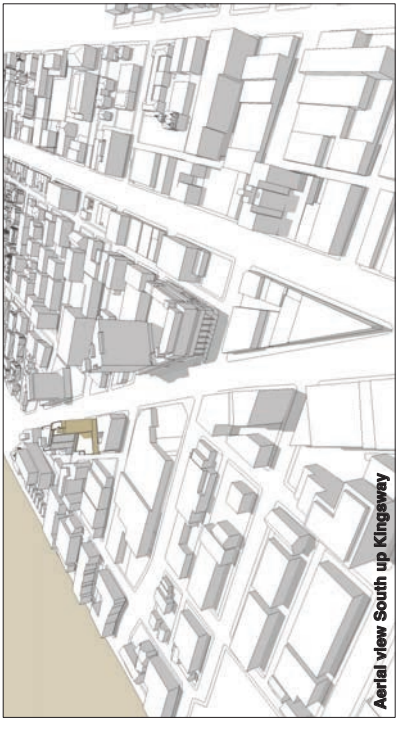
23 Nov '12 Re-zoning Letter of Inquiry

24 May '13 Issue for concurrent re-zoning & development permit

21 Oct '13 Issue for concurrent re-zoning & development permit

15 Jan '14 Issue for concurrent re-zoning & development permit re-submission (Retail 100 policy changes)

revisions



ACTON OSTRY ARCHITECTS INC

1116 8 Avenue
 Vancouver BC
 Canada V5T 1R8
 t 604 739 3344
 f 604 739 3355
 info@actonstry.ca

**Duke,
 333 E 11th Avenue**

Edgar Development Corp
 333 E 11th Avenue, Vancouver, BC

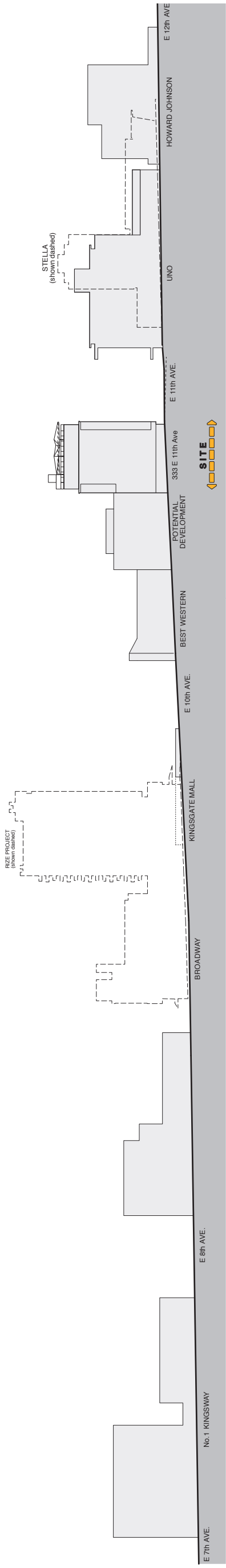
scale	date
1/8" = 1'-0"	Jan 2014
project code	TAKE
drawn	RZ / DP
checked	
BSKW	MOJ/RA

Context - Massing Comparison

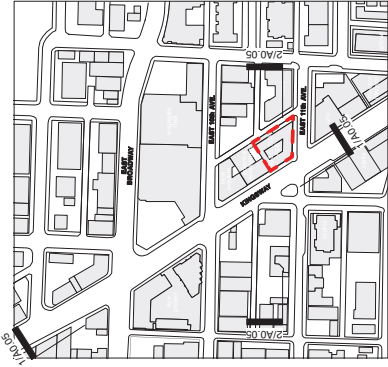
drawing number
A0.04

All drawings and related documents are the property of Acton Ostry Architects Inc. and may not be reproduced in whole or in part without the Architect's permission. This drawing should not be used for any other project without the Architect's written consent. The Architect is not responsible for the accuracy of the information provided in this drawing and does not warrant the accuracy of the information. The Architect's liability is limited to the professional services provided by the Architect and its consultants and shall not extend to any other services provided by the Architect or its consultants. All work must comply with the relevant Building Code and other applicable laws, regulations, codes, standards, and ordinances and shall be immediately reported to the Architect.

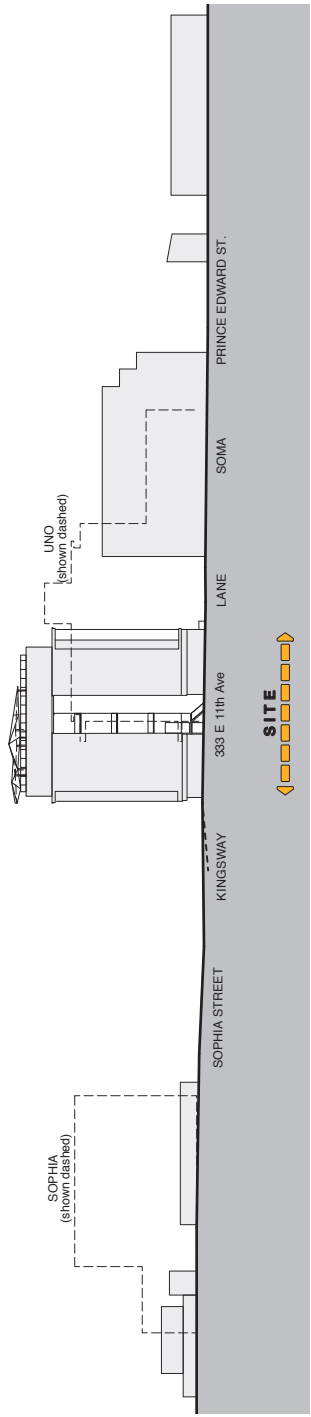
ISSUES	DATE	DESCRIPTION
	25 Oct '12	Reasoning Letter of Inquiry
	24 May '13	Issue for concourment rezoning & development permit
	21 Oct '13	Issue for concourment rezoning & development permit
	15 Jan '14	Issue for concourment rezoning & development permit resubmission (Retail 100 policy changes)
revisions		



1/A0.05 Section Diagram through Kingsway looking East



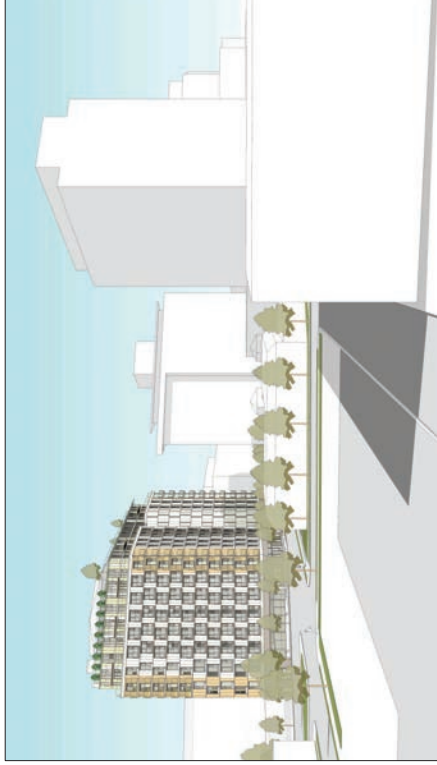
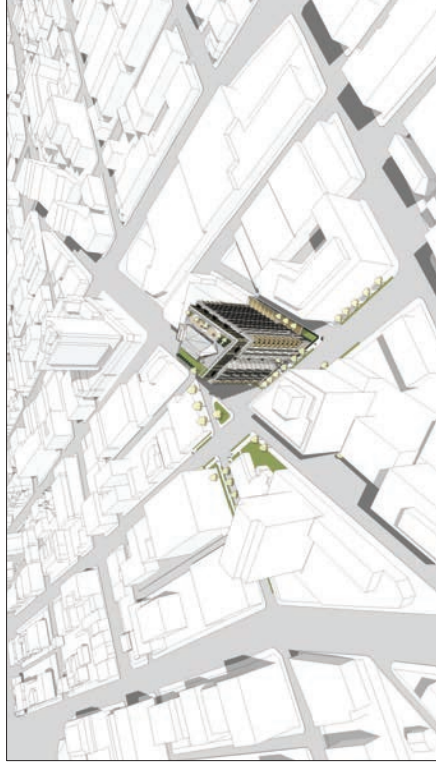
Section Key



2/A0.05 Section Diagram through E 11th Ave looking North



3d Context View



ACTON OSTRY ARCHITECTS INC

111 E Avenue
Vancouver BC
Canada V5T 1R8
t 604 739 3344
f 604 739 3355
info@actonosty.ca

Duke,
333 E 11th Avenue

Edgar Development Corp
333 E 11th Avenue, Vancouver, BC

SCALE	DATE
1:1000 (approx.)	Jan 2014
PROJECT CODE	STATUS
K275	RZ/DP
TOWN	TRACKED
BSKW	NO/NA

Context - Proposed
Massing & Street
Sections

drawing number
A0.05