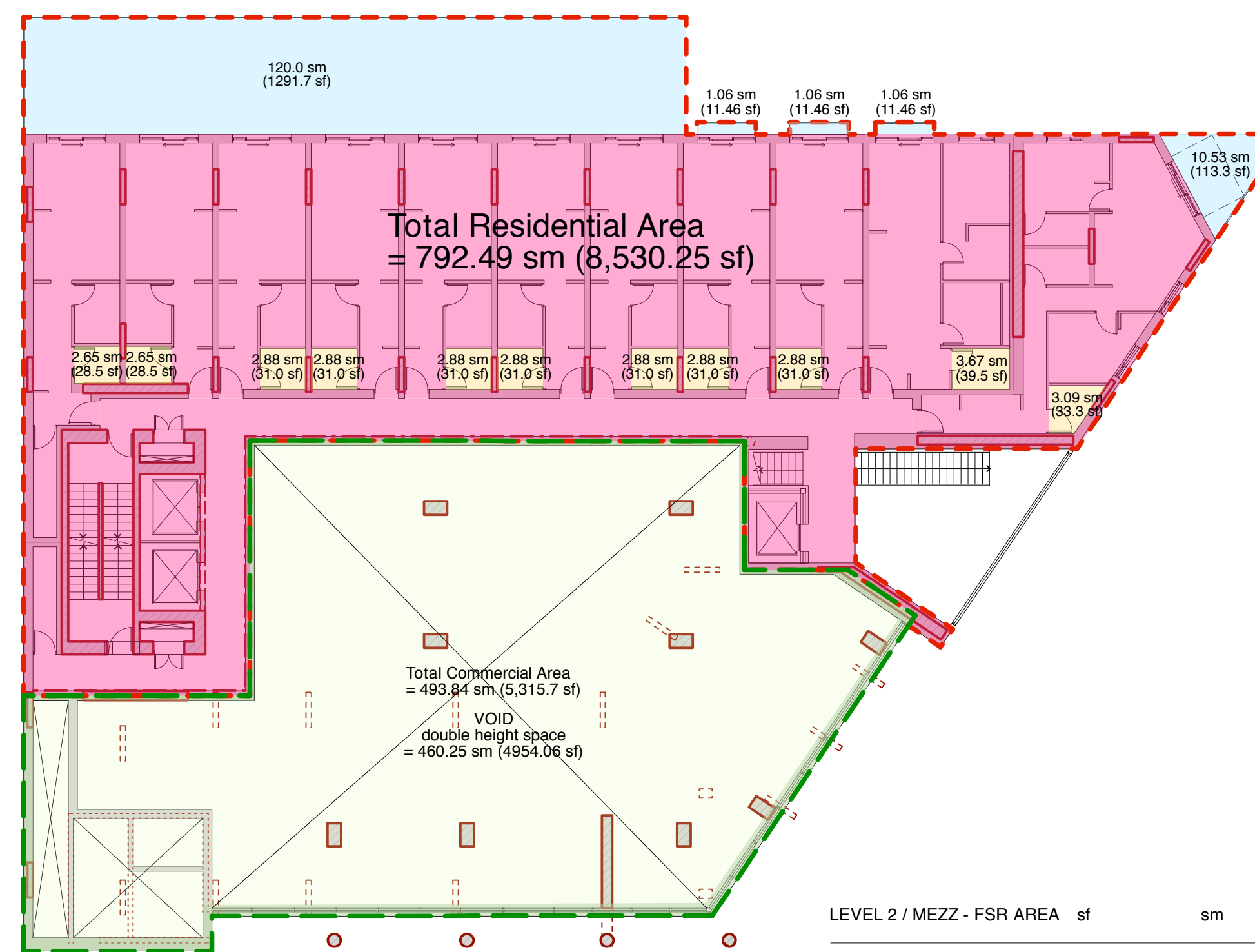


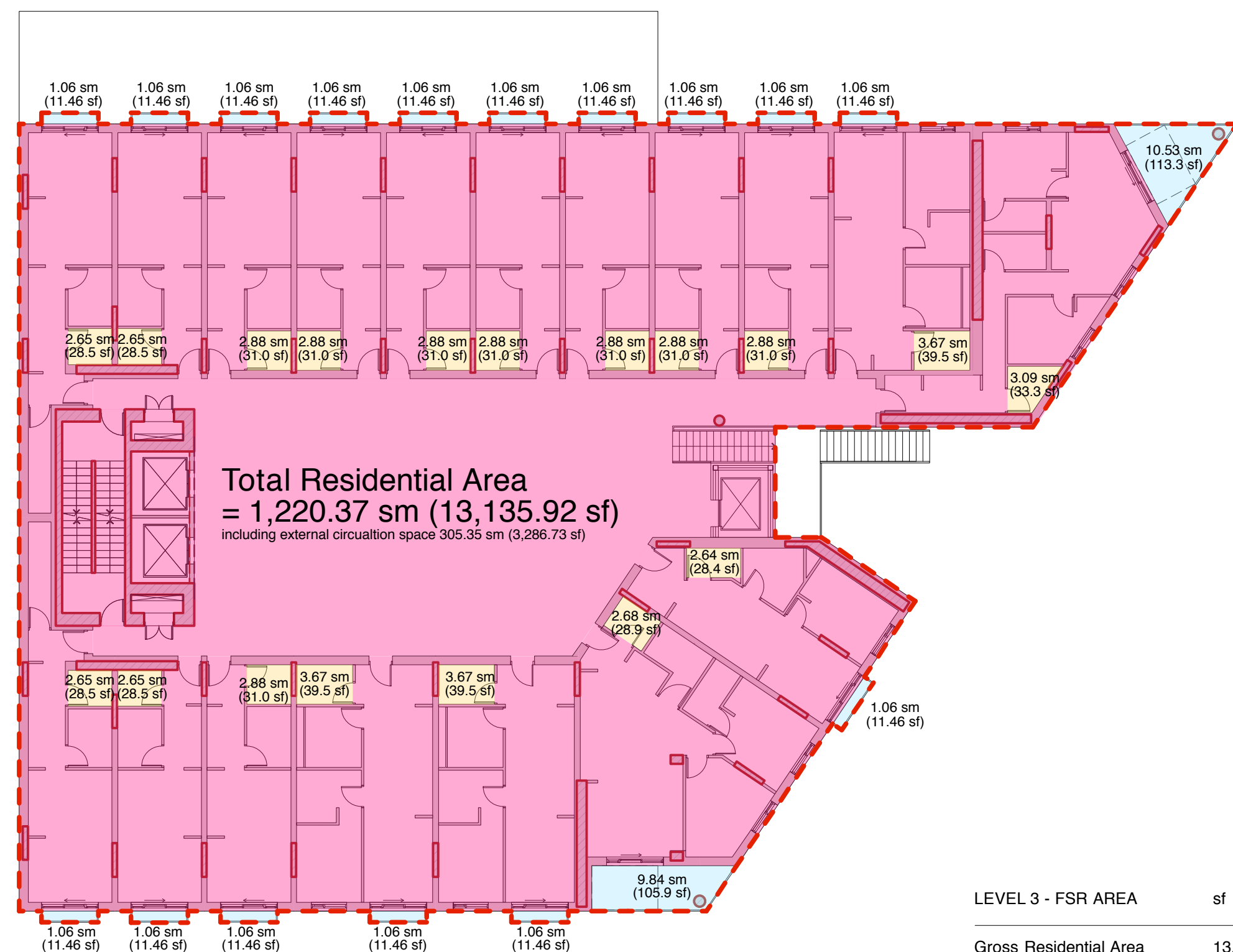
LEVEL 1 - FSR AREA		
	sf	sm
Gross Residential Area	6,888.91	(640.00)
Exclusions: Services	1,459.91	(135.63)
Exclusions: Storage	94.09	(8.74)
Exclusions: Balconies	914.65	(84.97)
Residential FSR	4,420.26 sf	(410.66 sm)
Commercial Area	7,345.32	(682.40)
Exclusions: Services	1,362.30	(126.56)
Commercial FSR	5,983.02 sf	(555.84 sm)

1 Level 1 FSR Plan
1/16" = 1'-0"



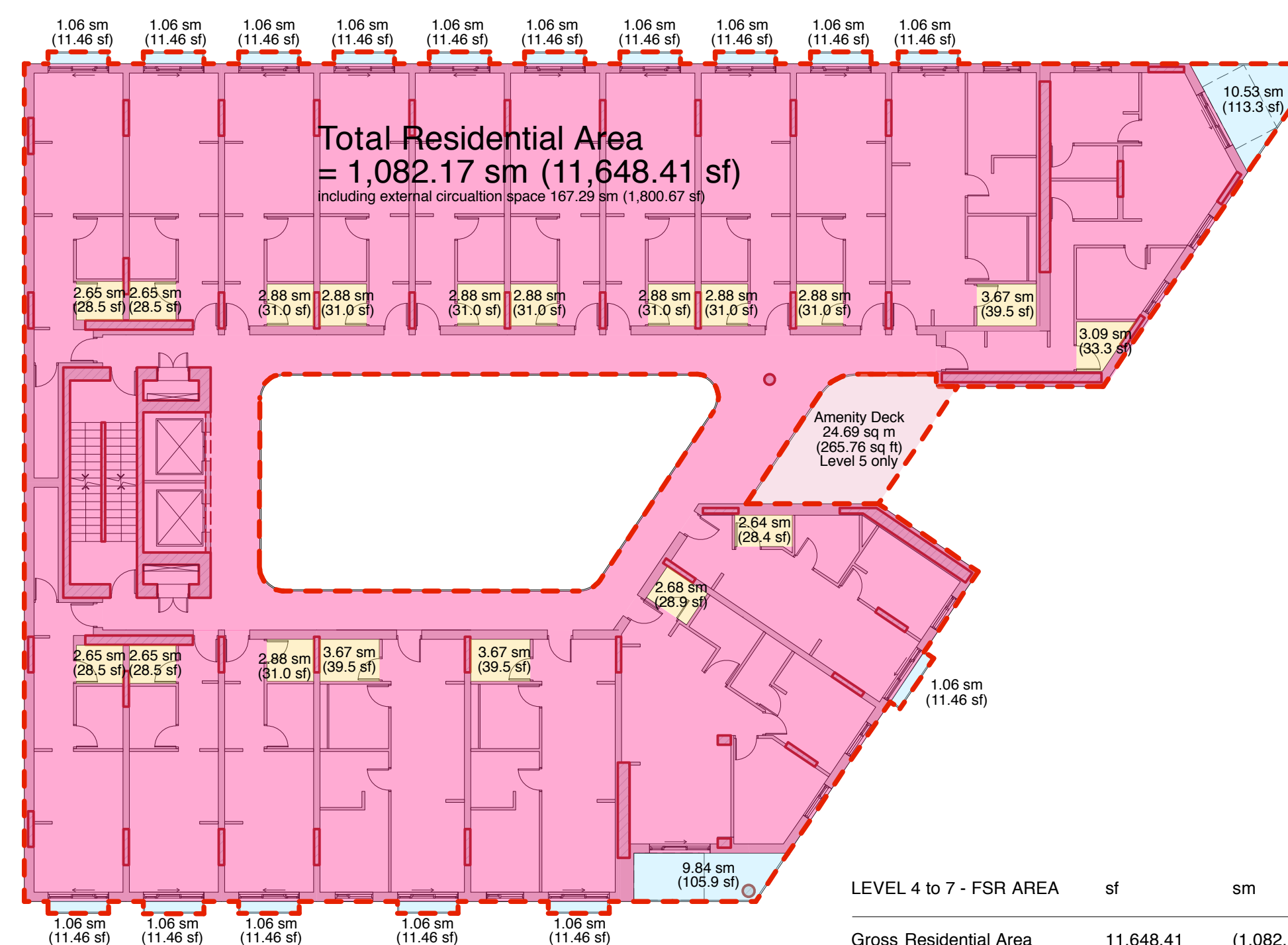
LEVEL 2 / MEZZ - FSR AREA		
	sf	sm
Gross Residential Area	8,530.25	(792.49)
Exclusions: Storage	346.71	(32.21)
Exclusions: Balconies	1,439.37	(133.72)
Residential FSR	6,744.17 sf	(626.55 sm)
Commercial Area	5,315.70	(493.84)
Exclusions: Void Space	4,954.06	(460.25)
Commercial FSR	361.64 sf	(33.59 sm)

2 Level 2 FSR Plan
1/16" = 1'-0"



LEVEL 3 - FSR AREA		
	sf	sm
Gross Residential Area	13,135.92	(1,220.37)
Exclusions: Storage	570.78	(53.03)
Exclusions: Balconies	402.08	(37.35)
Residential FSR	12,163.06 sf	(1,129.99 sm)

3 Level 3 FSR Plan
1/16" = 1'-0"



LEVEL 4 to 7 - FSR AREA		
	sf	sm
Gross Residential Area	11,648.41	(1,082.17)
Exclusions: Storage	570.78	(53.03)
Exclusions: Balconies	402.08	(37.35)
Residential FSR	10,675.55 sf	(991.79 sm)

4 Level 4 to 7 FSR Plan
1/16" = 1'-0"

Key

- Total Residential Floor Area
- Total Commercial Floor Area
- Residential Area
- Commercial Area
- FSR Exclusion: Storage
- FSR Exclusion: Mech/Elec room or Loading/Refuse
- FSR Exclusion: Balconies
- FSR Exclusion: Amenity Space

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issues

3 June '13	Issue for concurrent rezoning & development permit
21 Oct '13	Issue for concurrent rezoning & development permit resubmission
15 Jan '14	Issue for concurrent rezoning & development permit resubmission (Rental 100 policy changes)

revisions

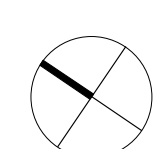
ACTON OSTRY ARCHITECTS INC

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Vancouver BC
Canada V5T 1R8
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Duke, 333 E 11th Avenue

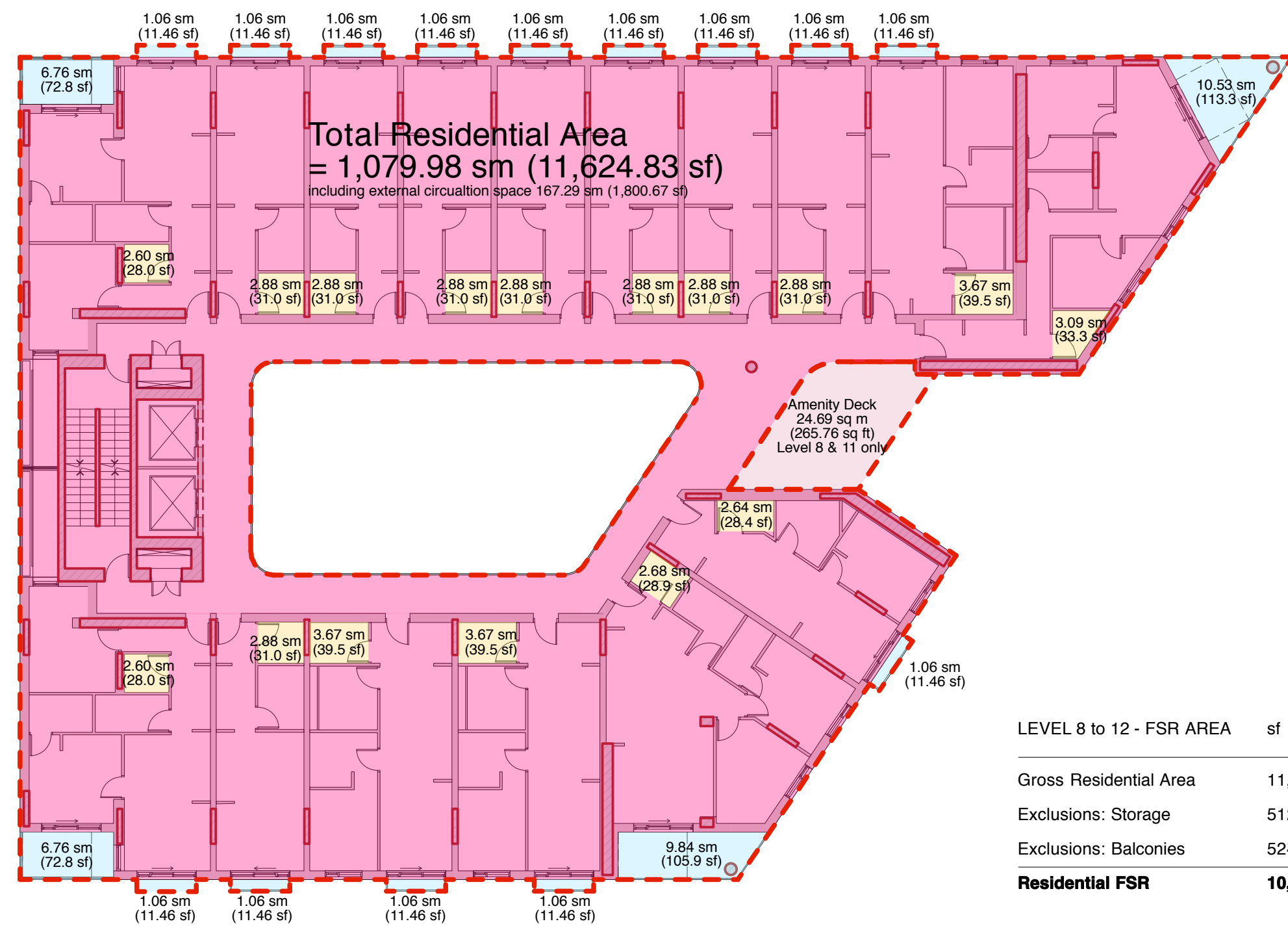
Edgar Development Corp
333 E 11th Avenue, Vancouver, BC

scale	date
1/16" = 1'-0"	Jan 15, 2014
project code	status
K275	RZ / DP
drawn	checked
KW	MO / RA

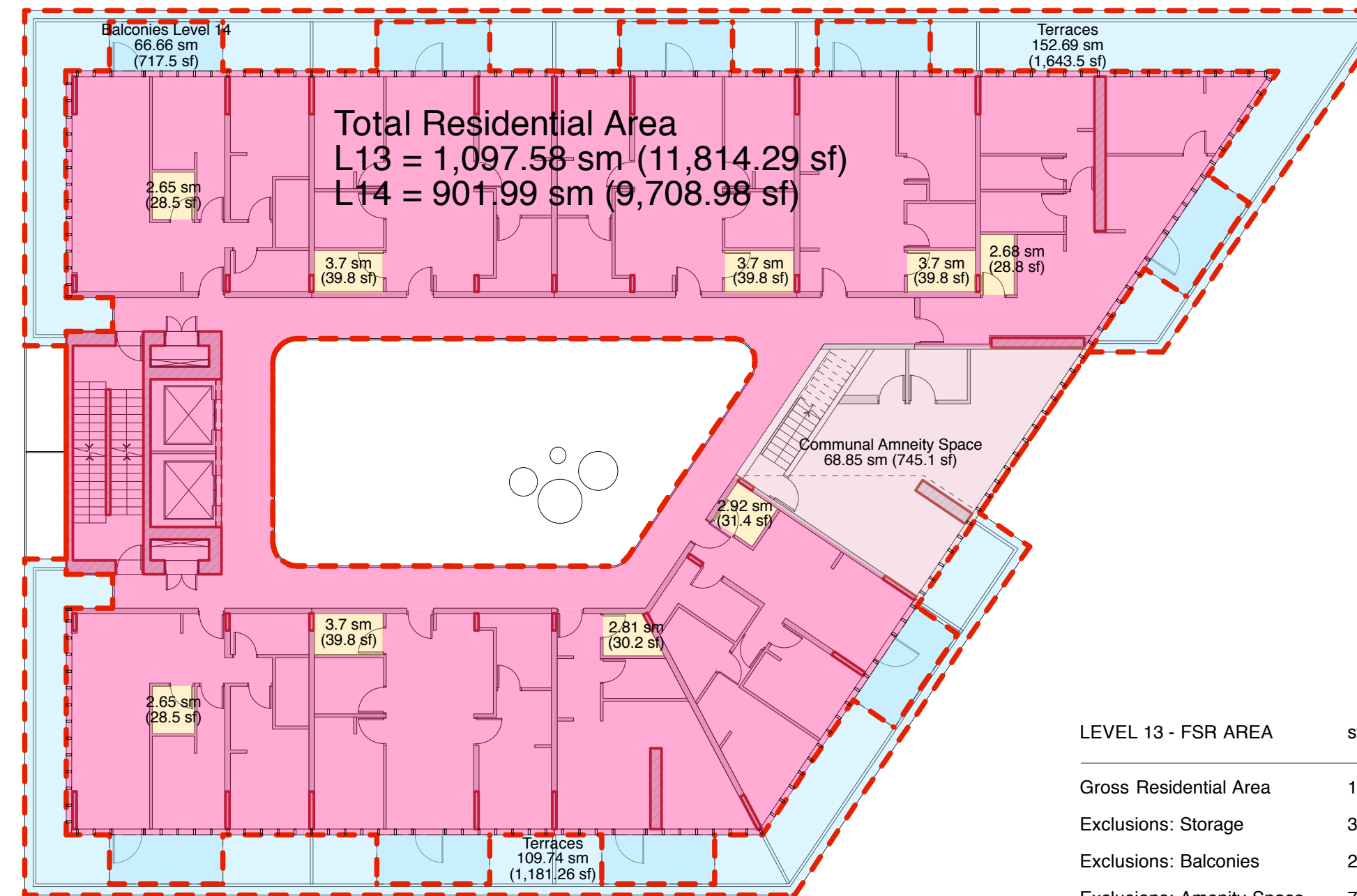


FSR Calculation Plans

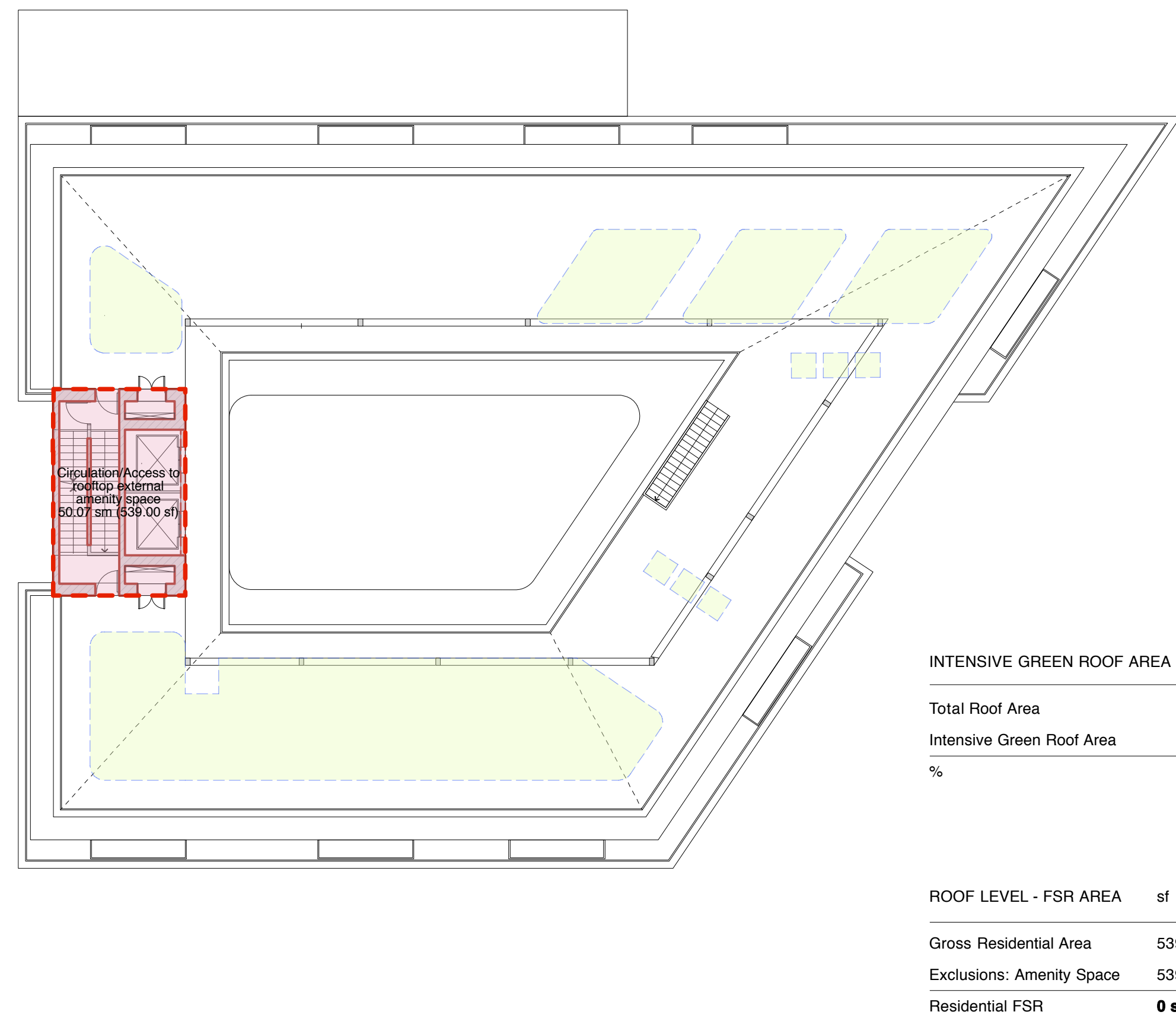
drawing number
A8.01



1 Level 8 to 12 FSR Plan
1/16" = 1'-0"



2 Level 13 & 14 FSR Plan
1/16" = 1'-0"



3 Roof Level
1/16" = 1'-0"

Key

- Total Residential Floor Area
- Total Commercial Floor Area
- Residential Area
- Commercial Area
- FSR Exclusion: Storage
- FSR Exclusion: Mech/Elec room or Loading/Refuse
- FSR Exclusion: Balconies
- FSR Exclusion: Amenity Space

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issues

3 June '13	Issue for concurrent rezoning & development permit
21 Oct '13	Issue for concurrent rezoning & development permit resubmission
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revisions

FSR CALCULATION SUMMARY		
TOTAL RESIDENTIAL FSR AREA	sf	sm
Level 1	4,420.26	(410.66)
Level 2	6,744.17	(626.55)
Level 3 - Entry / Podium	12,163.06	(1,129.99)
Level 4	10,675.55	(991.79)
Level 5	10,675.55	(991.79)
Level 6	10,675.55	(991.79)
Level 7	10,675.55	(991.79)
Level 8 - above adjacent building	10,587.32	(983.59)
Level 9	10,587.32	(983.59)
Level 10	10,587.32	(983.59)
Level 11	10,587.32	(983.59)
Level 12	10,587.32	(983.59)
Level 13	7,941.60	(737.7)
Level 14	7,943.55	(737.9)
Amenity Roof Level	0	0
Total Residential FSR Area	134,851.44 sf	(12,528.11 sm)
TOTAL COMMERCIAL FSR AREA	sf	sm
Level 1	5,983.02	555.84
Level 2 / Mezzanine	361.64	33.59
Total Commercial FSR Area	6,344.66 sf	(589.44 sm)
Total Gross FSR Area	= 141,196.1 sf	(13,117.55 sm)

AREA SUMMARY		
Gross Building Area	= 14,431.50 sm (residential) + 1,176.25 (commercial)	= 15,607.75 sm
Exclusion: Storage	= 601.3 sm	
Exclusion: Services	= 135.6 sm (residential) + 126.5 sm (commercial)	
Exclusion: Void Space	= 460.2 sm	
Exclusion: Amenity Space	= 188.4 sm	
Exclusion: Balconies	= 978.2 sm	
Total Exclusions	= 2,490.02 sm	
GROSS FSR AREA	= 13,117.55 sm	
FSR CALCULATION		
Residential FSR	Total residential FSR area / site area = 12,528.11 / 1,520.8 sm	= 8.24
Commercial FSR	Total Commercial FSR area / site area = 589.44 / 1,520.8 sm	= 0.39
TOTAL FSR		= 8.63

BALCONY ALLOWANCE SUMMARY		
Balcony Allowance	Gross residential area x 8% = 14,381.01 x 8%	= 1,150.48 sm
TOTAL BALCONY AREA	sm	sf
Level 1	84.97	(914.65)
Level 2 / Mezz	133.72	(1,439.37)
Level 3 - Entry / Podium	37.35	(402.08)
Level 4	37.35	(402.08)
Level 5	37.35	(402.08)
Level 6	37.35	(402.08)
Level 7	37.35	(402.08)
Level 8 - above adjacent	48.75	(524.69)
Level 9	48.75	(524.69)
Level 10	48.75	(524.69)
Level 11	48.75	(524.69)
Level 12	48.75	(524.69)
Level 13	262.4	(2,824.76)
Level 14	66.66	(717.50)
Total Balcony Area	978.25 sm	(10,529.80 sf)

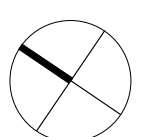
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333 E 11th Avenue**

Edgar Development Corp
333 E 11th Avenue, Vancouver, BC

scale	date
1/16" = 1'-0"	Jan 15, 2014
project code	status
K275	RZ / DP
drawn	checked
BS	MO / RA



FSR Calculation Plans

drawing number
A8.02