

MCM

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Partnership

2285 CAMBIE

REZONING SUBMISSION

OCTOBER 2024

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Founded in 2005, Nicola Wealth Real Estate is the in-house real estate division of Nicola Wealth. NWRE acquires and manages a growing portfolio of properties in major markets across North America. Its holding include office, retail, industrial, multi-family residential, self-storage and seniors housing. Along with its strategic partners, NWRE has grown the current real estate portfolio to include 320 properties, over 20 million sq.ft. and a value of \$9.9 billion. 63 of these properties are located within the Lower Mainland.

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Founded in 1965, MCM Partnership is one of British Columbia's most established architecture practices with an extensive portfolio ranging from mixed-use transit oriented, multi-family residential, and mixed use office projects. MCM is proud of its role in shaping the built form of the City of Vancouver and continues to be an active participant in this space.

MCM values the strong relationship with City of Vancouver Staff, building on many successful projects in the past. We value the collaborative approach to projects between ourselves and City Staff and look forward to continuing this relationship in the through the realization of the Broadway Plan and beyond.

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INTRODUCTION



EXECUTIVE SUMMARY

2285 Cambie St. aspires to serve as an exemplary project for the Broadway Plan, emphasizing transit-oriented development, urban design, and local economies.

This application seeks to rezone the site at 2285 Cambie Street from C-3A to CD-1 to allow for the construction of a 30-storey residential building in accordance with the Broadway Plan policy framework and the Transit-Oriented Areas Rezoning Policy. The proposal entails a 30-storey mixed-use residential building, with an above-grade gross area of 227,410 sq.ft. It will house residential units, office spaces, amenity facilities, and ground-level retail spaces along Cambie Street and W 7th Avenue.

Replacing an existing two-storey commercial building on an approximately 16,000-square-foot site, it encompasses a larger portion of the block defined by Cambie St., W. 7th Ave., and a lane. To the north stands a 6-storey strata residential building with ground level retail.

The project is enabled by the Province of British Columbia (BC) amendments to the Local Government Act (LGA) and Vancouver Charter (VC) through Bill 47: 'Housing Statutes (Transit-Oriented Areas) Amendment Act, 2023' as well as the City of Vancouver's aligning policy changes within the Broadway Plan (Dec 2024) to establish transit-supportive densities adjacent to transit stations. By being located within 150m of one rapid-transit station, Olympic Village Station (Canada Line), and 300m of another, Broadway City-Hall Station (Canada Line / Future Millenium Line

Extension); the site is uniquely located to deliver meaningful density at the only crossroads of Vancouver's planned rapid-transit lines.

The urban design elements of the proposal closely align with the overarching objectives of the Broadway Plan and the Transit-Oriented Areas Rezoning Policy and stands as a flagship typology in the Uptown area, acknowledged in the Broadway Plan as Vancouver's 'Second Downtown'. The proposal is a tangible outcome to the Broadway Plan's objective to be a catalyst for job space creation with the addition of providing residential units for increased population with market rental units that commensurates to the significant investment in rapid transit infrastructure.

The proposal includes:

- **30-storey mixed use office/residential building**
- **FSR of 14.37**
- **170,862 SF of residential space (15,880 m²)**
- **52,563 SF of office space (4,884 m²)**
- **3,985 SF of retail at grade (370 m²)**
- **10,721 SF of amenity on level 6 & rooftop (996 m²)**
- **134 below-grade parking spaces**
- **424 Class A Bicycle stalls**



2285 Cambie

Rezoning
Booklet

SITE CONTEXT AND ANALYSIS

SITE DESCRIPTION

UPTOWN/CAMBIE NORTH

The site situated at 2285 Cambie is positioned at the base of the Cambie Bridge in the northern sector of the Uptown area. Uptown is recognized as Vancouver's "Second Downtown" due to its not only its proximity, but access to transportation, along with the area's recent economic growth, cultural and recreational facilities, and considerable investment in residential and mixed-use developments.

The neighbourhood boasts an extensive network of pedestrian and cycling pathways, efficient transit options, and high accessibility. Additionally, it strategically lies at the future nexus of two rapid transit lines.

2285 Cambie is located close to the Canada Line stations at Olympic Village and Broadway-City Hall, making it one of the best served areas for rapid transit commuters today. The addition of the Broadway Line station at City Hall connects this neighbourhood to much of the region via rapid transit.

Approaching Uptown from the north provides a notable opportunity for the site to partake in marking an arrival experience from Cambie Bridge, serving as an identifier between Downtown and Uptown.

If we consider rapid transit as a sustainable catalyst for both increased density and economic vitality, then this pivotal intersection of two rapid transit lines warrants an amplified architectural form to fully harness the potential of the soon-to-be complete infrastructure.



NEIGHBOURHOOD HISTORY

FALSE CREEK TRANSIT AND INDUSTRY

The Uptown office district at Broadway and Cambie represents the latest iteration of an evolving neighbourhood that has been molded by changes in Vancouver’s economy and transportation landscape.

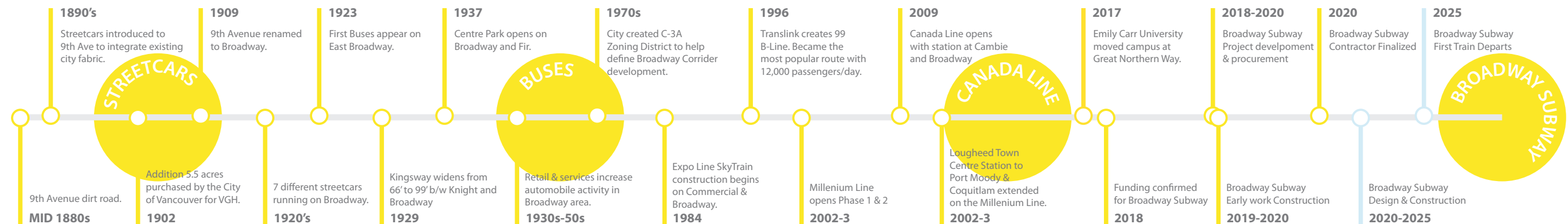
The implementation of the Broadway Plan policy in response to the Broadway Subway, signifies a pivotal juncture in Vancouver’s urban development. By delving into the historical evolution of the Broadway Corridor and its surrounding area, we can gain insight into the long-term implications of planning and transit expansion. What was once a neighbourhood characterized by street cars and lumber production is now a major regional node for the knowledge economy and rapid transit.

In tandem with advancements in public transportation, urban development around the Broadway Corridor has undergone significant evolution. From the era of streetcars to buses and now skytrains, there has been a parallel shift in land use, density, and architectural scale. In the early 20th century, when Broadway was known as 9th Ave. and was a dirt road, the area primarily featured single-family homes or industrial establishments near the waterfront processing and shipping lumber. Fast forward to 2009, with the completion of the Canada Line, transit acted as a catalyst for high-density mixed-use development at the Olympic Village.

Looking ahead, Broadway is on the cusp of revolutionary changes in housing, employment spaces, and sustainability. These transformations will be driven by the imminent arrival of the Broadway Subway Extension, intersecting with the Canada Line at Broadway and Cambie.



False Creek looking East, 1938

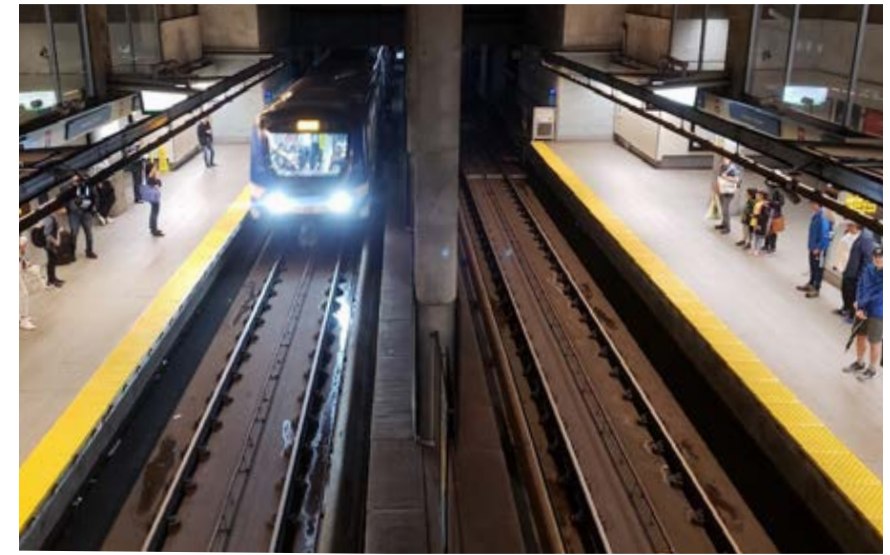




An open-sided streetcar on Cambie St., 1892



BC Hydro Bus, 1964



Canada Line, 2009



Mount Pleasant looking north, 1890



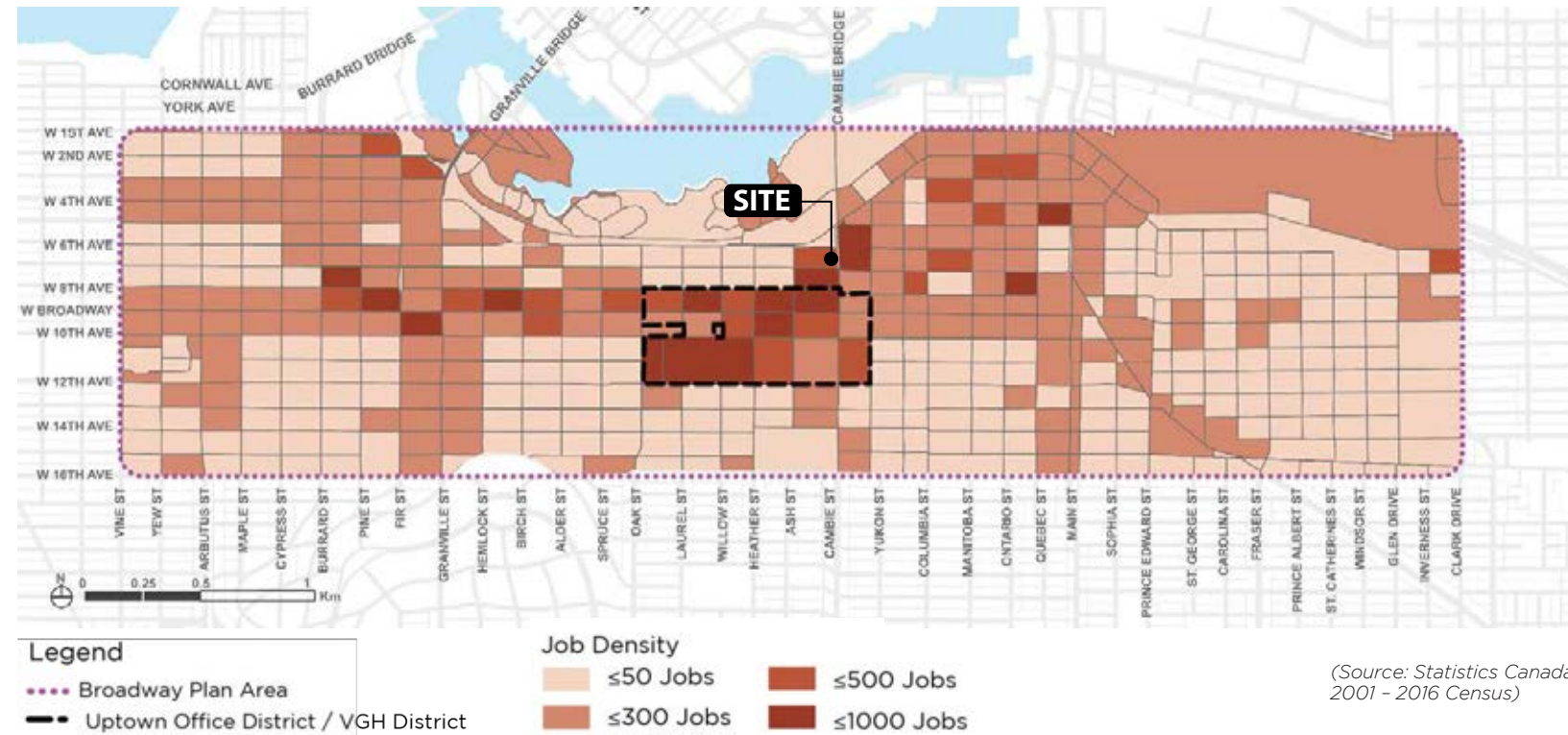
Olympic Village Station, 2009

JOB AND EMPLOYMENT DENSITY

The Broadway plan is a 30-year initiative aimed at integrating housing, jobs, and amenities in the Mount Pleasant, Fairview, and Kitsilano neighborhoods, in response to the new Broadway Subway.

Fairview is a diverse neighborhood with purpose-built rentals, retail spaces, and offices. The Broadway Plan aims to enhance its functions, focusing on preserving cherished features, strengthening employment centers, renewing aging rentals, and creating a more connected community with diverse amenities.

Uptown in Central Broadway is the province's second-largest job hub, home to major institutions like City Hall and Vancouver General Hospital. North of West 8th Avenue features a mix of offices, mixed-use spaces, and residences. Uptown also offers a range of retail, hotels, and dining options at the convergence of the Canada Line and the upcoming Broadway Subway (opening in late 2027).



(Source: Statistics Canada 2001 - 2016 Census)



Mural representing workers at VGH



Busy street intersection in Uptown

AREA MAP



- | | | | | |
|--------------------|------------------|---------------------------|-------------|-------------------------|
| ① Granville Island | ④ False Creek | Existing Transit Stations | Expo Line | Other Bus Routes Future |
| ② Yaletown | ⑤ Uptown | Future Transit Stations | Canada Line | Broadway Line |
| ③ Fairview | ⑥ Mount Pleasant | Site | 99 B-Line | |

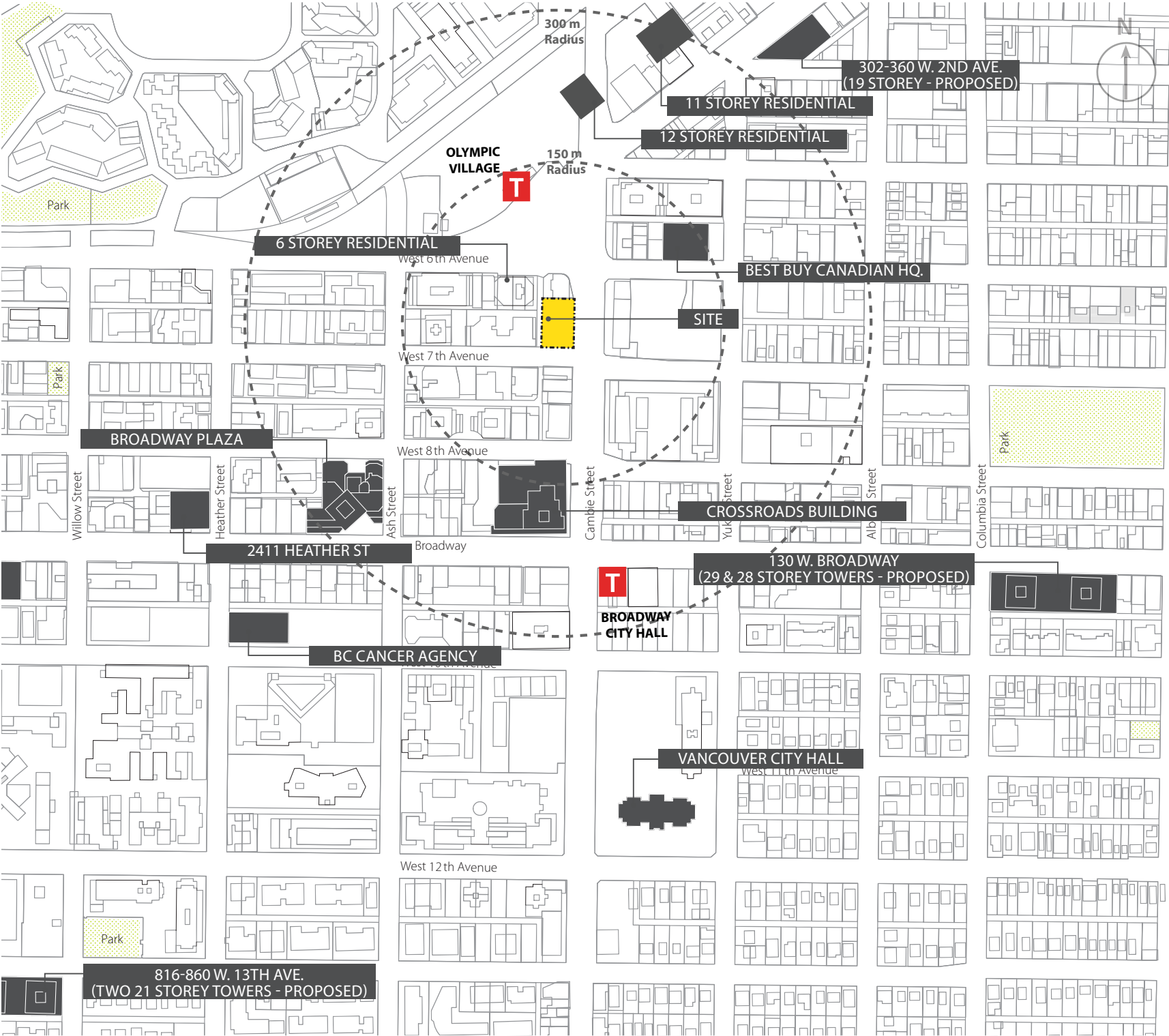
CONTEXT BUILDINGS



Crossroads, 522 W. 8th Ave.



2411 Heather Street





130 W. Broadway



8 E Broadway



BC Cancer Research Centre, 675 W. 10th Ave.



Best Buy Canadian Headquarters, 425 W. 6th Ave.



816-860 W. 13th Ave.



302-360 W. 2nd Ave.



Broadway Plaza Building, 604 W. Broadway

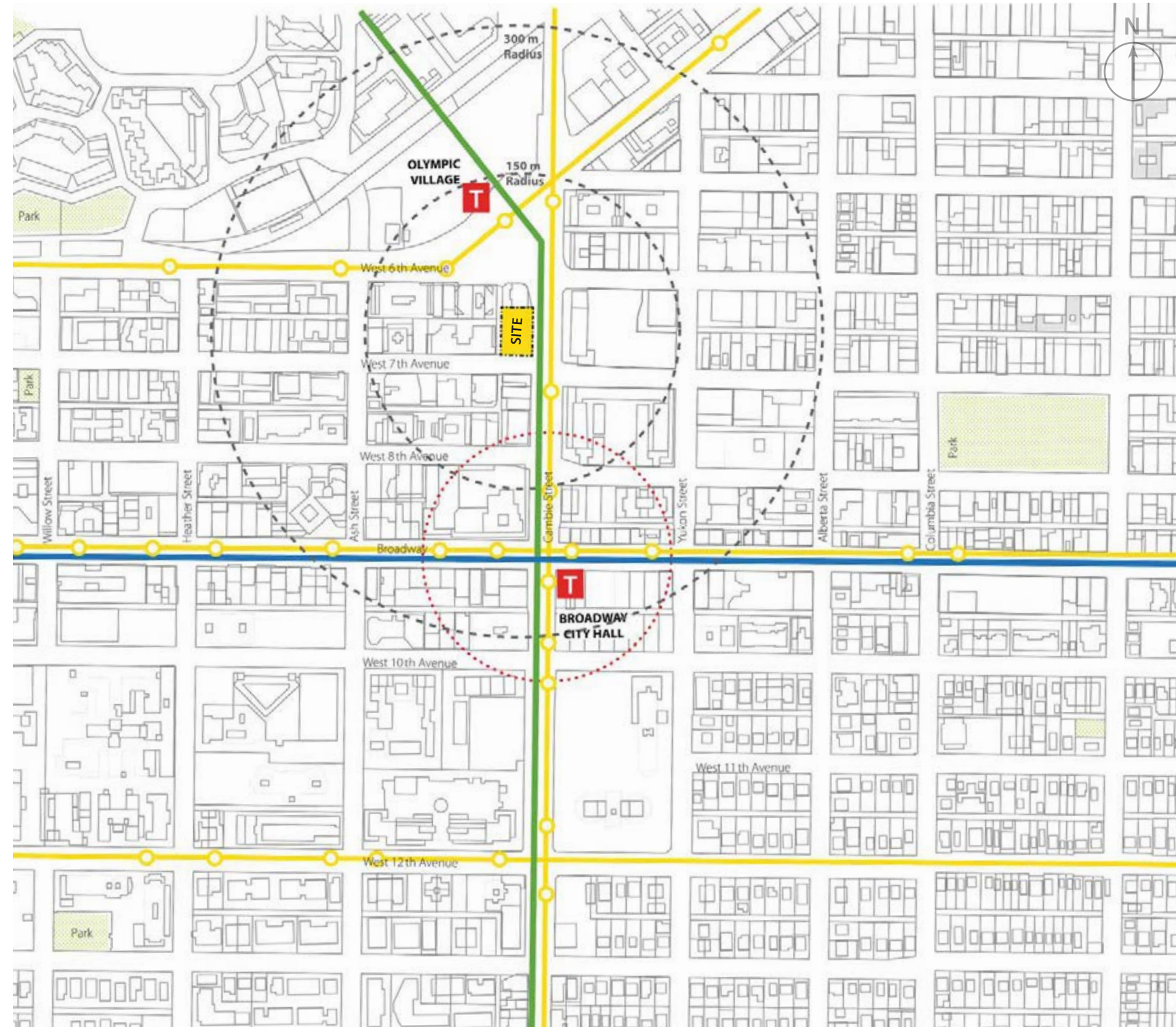
TRANSIT

Situated in close proximity to Olympic Village Station, Broadway-City Hall Station, and various bus routes, the site has excellent connectivity to public transportation. Broadway-City Hall Station, located at the intersection of Cambie St. and Broadway, serves as the central hub for both the Canada Line and the forthcoming Broadway subway extension. Within the Broadway Plan area, there are over 78,000 residents, with approximately one-third relying on public transit for their daily commute. Only 39% of residents choose to drive to work, which is 6% lower than the citywide average of 45%.

Broadway serves as a vital east-west corridor linking West Point Grey with East Vancouver, extending all the way to Lougheed Highway as it traverses through Burnaby. The significance of this thoroughfare is further emphasized by the potential expansion of the Broadway Subway Project, which could extend to UBC. Perpendicular to this, Cambie St. runs from north to south, connecting several neighborhoods including Yaletown, False Creek, South Cambie, Oakridge, and Marpole. Currently, Broadway-City Hall station accommodates the Canada Line and the 99 B-Line, an express bus service shuttling passengers along Broadway between Commercial-Broadway and UBC.

Legend

- Future Broadway Subway
- Canada Line
- Current Bus Network
- Canada Line + Broadway Line intersection



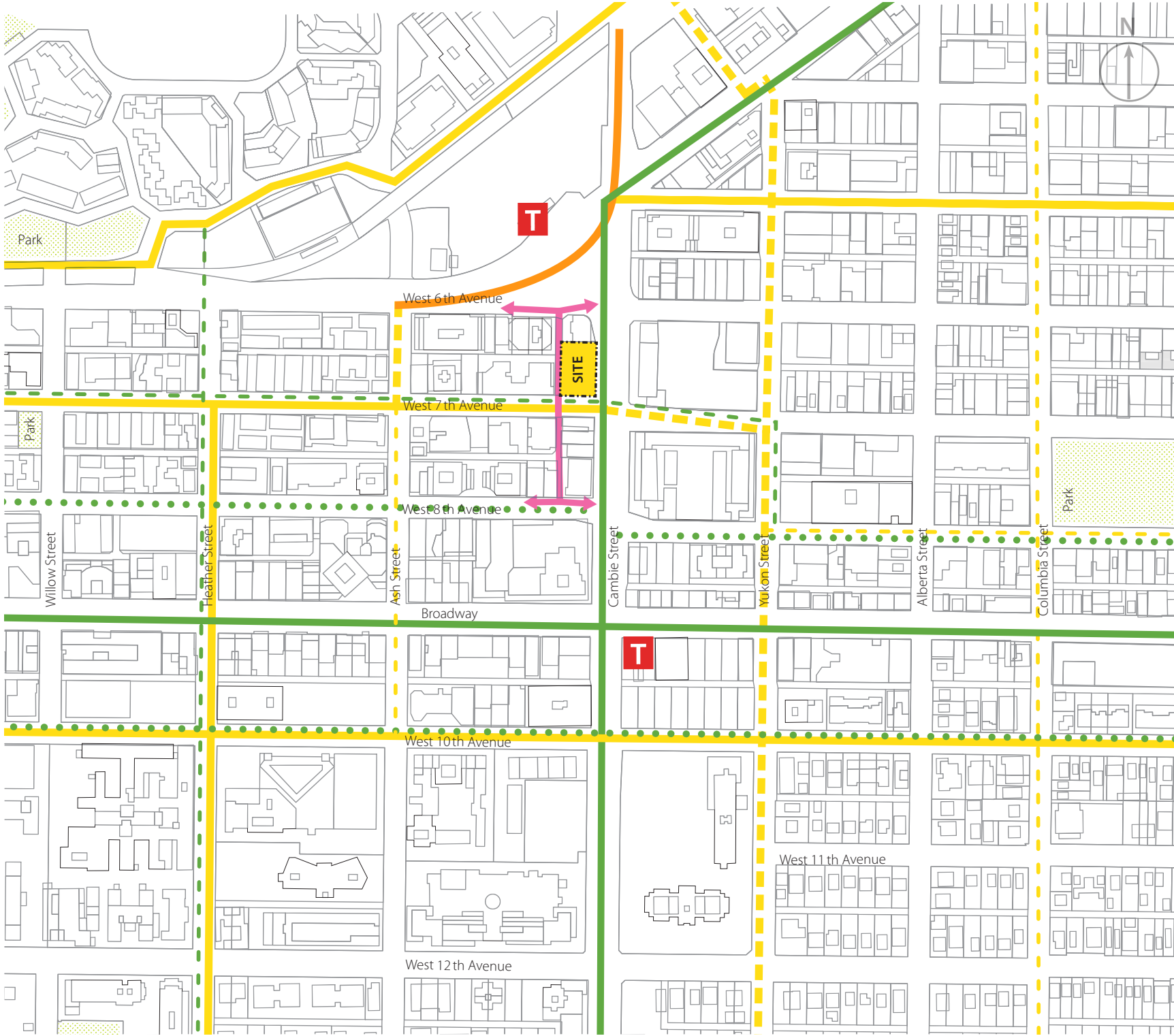
BIKES AND PEDESTRIANS

2285 Cambie St. is exceptionally well-connected for both cyclists and pedestrians. In comparison to the city average, a higher proportion of residents in the Broadway Plan area walk to work, around 17% compared to the city average of 14%. Additionally, 10% of residents in the area cycle to work, as opposed to the citywide average of 6%.

The site is positioned along a primary north-south pedestrian route and benefits from easy accessibility via numerous designated bicycle lanes. Notably, the vicinity around the intersection of Broadway and Cambie St. experiences the highest levels of pedestrian activity within the broader Broadway Plan study area. The lane to the west of the site also serves as an important existing passageway for pedestrians and cyclists in the neighbourhood. As part of the Broadway Plan’s vision, there are plans to further develop alternative transportation infrastructure, ensuring inclusive opportunities for cycling, ‘rolling,’ and walking.

Legend

- Primary Pedestrian Movement
- Secondary Pedestrian Movement
- Emerging Walking and Rolling Network
- Bicycle Lane
- Painted Bicycle Lanes
- Protected Bikeway
- Future Bike Route
- Community Use Pedestrian & Bike Route



LAND USE - EXISTING

Broadway and Cambie St. serve as a pivotal intersection connecting a variety of diverse and culturally rich neighborhoods and regions within the city of Vancouver.

2285 Cambie is strategically situated at a significant crossroads, bridging various neighborhoods and distinct land-use patterns along the southern banks of Vancouver's False Creek. Just north of the site lies the Cambie Bridge, while beyond West 6th Ave. is comprised of multi-family housing complex predominantly consisting of long-term leaseholds. To the east, Mount Pleasant has undergone rapid transformation from a light industrial zone into an eclectic and evolving mixed-use district, encompassing office spaces, light industrial facilities, and manufacturing hubs. Northeast of the site lies Vancouver's Olympic Village, an outcome of the last major infrastructure endeavor, the Canada Line.

Directly south of the site lies the bustling Broadway Corridor, a hub of diverse activities, featuring a concentration of commercial offices and retail establishments on both sides of Broadway. In close proximity is Vancouver City Hall, serving as a civic crossroads, along with the VGH Campus. Heading west, the Fairview Slopes neighborhood between West 6th Ave. and Broadway predominantly consists of low-density residential properties.

Legend

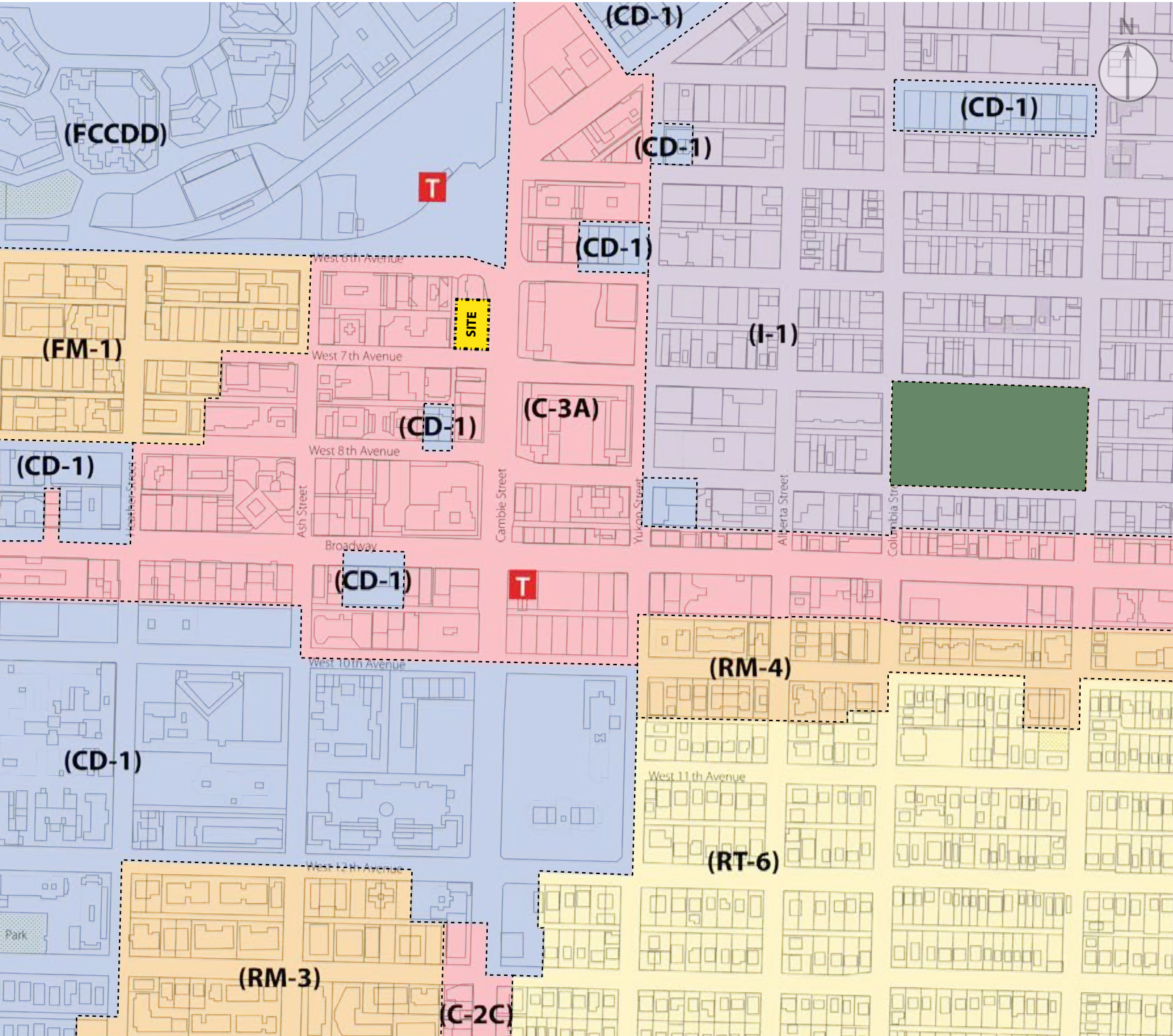
- Retail
- Residential
- Office
- Hospital
- Hotel



ZONING - EXISTING

Existing zoning follows City of Vancouver Legacy land use patterns with low density 'C' zoning designations on arterial streets. As such the areas fronting Broadway and Cambie are zoning C-3A which allows for a diverse range of uses including retail, residential, institutional, office, as well as cultural and recreational facilities.

To the east of the site is a significant portion of the Mount Pleasant Industrial Area (I-1 zone). This zone is mainly occupied by low- and mid-rise commercial and light industrial structures. The other areas in the remaining four quadrants are comprised of low density residential zones such as RM-3, FM-1, and more. A medium density of residential in mixed-use forms are located around Mount Pleasant and along the W 2nd Avenue.



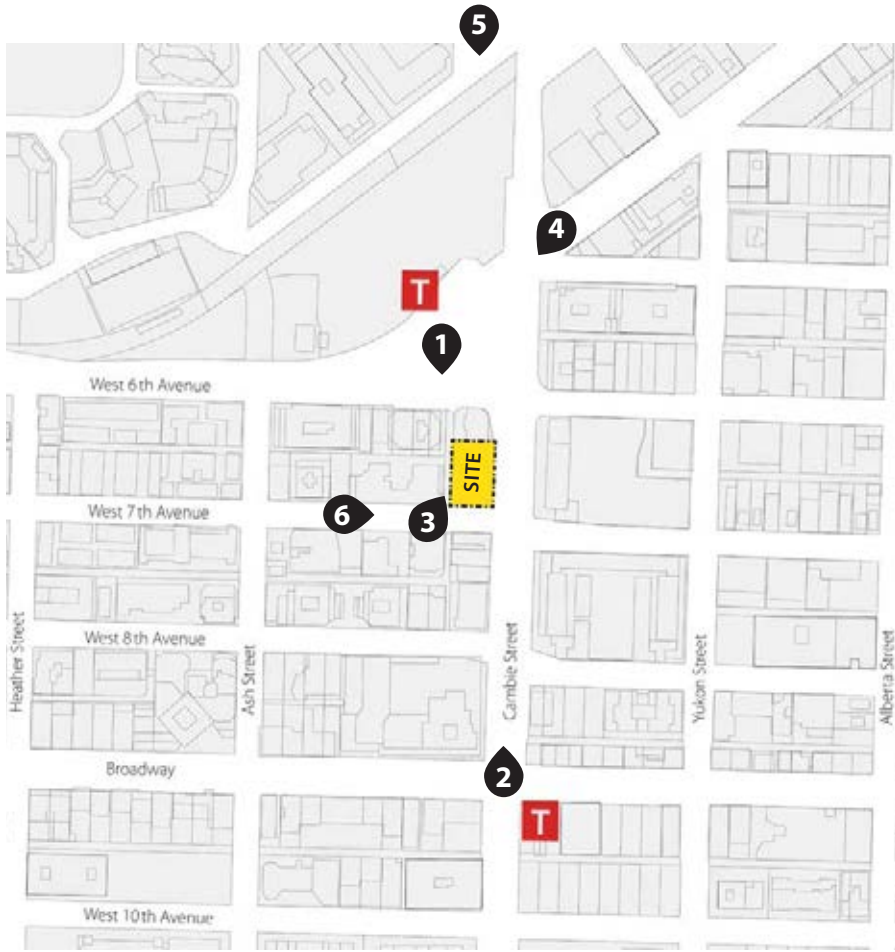
Legend

- Comprehensive Development
- Commercial
- Residential - Multiple Dwelling
- Residential - Single / Duplex Dwelling
- Industrial

SITE PHOTOS

The current site occupies a substantial portion of the city block, enclosed by a lane to the west, Cambie St. to the east, and West 7th Ave. to the south. Spanning approximately 16,000 square feet, the site currently houses a two-story retail showroom for Robinson Lighting and Bath. Immediately adjacent to the north stands a six-story strata residential building, which was completed in 2014.

Directly across the lane on 7th Ave., there is a four-story residential strata building, and further to the north, one can find a five-story office building presently utilized by Vancouver Coastal Health.



View looking Southeast towards the site from Olympic Village Station



View looking North from Cambie St. and Broadway



View looking North along the laneway on W 7th



View looking Southwest to site with Cambie Bridge ramp in the foreground



View looking South from Cambie Bridge



View looking East along W.7th Ave

STREETSCAPE

CAMBIE ST LOOKING WEST



WEST 7TH AVENUE LOOKING NORTH

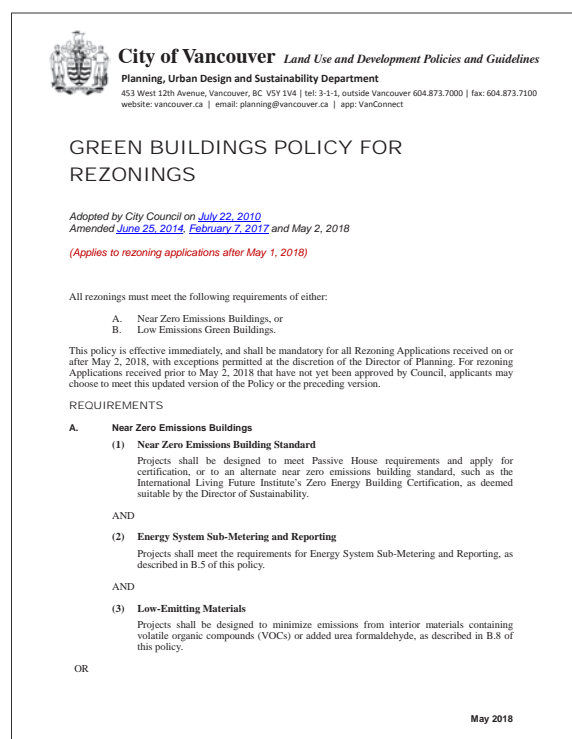
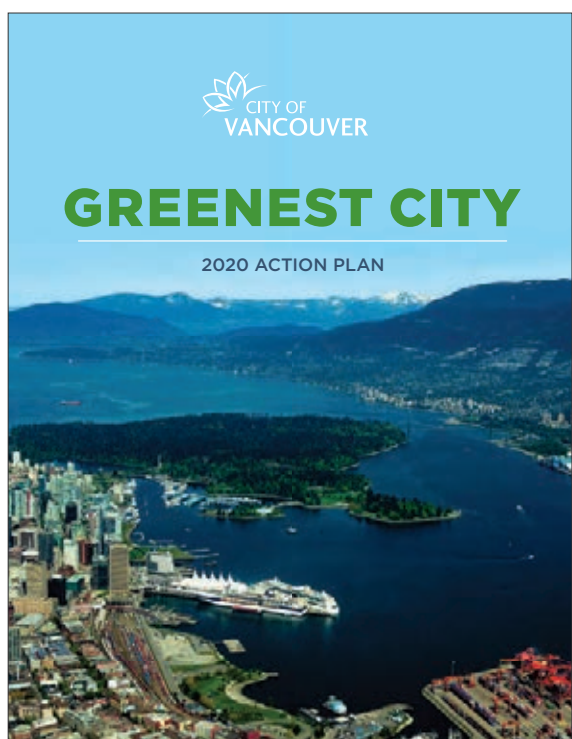
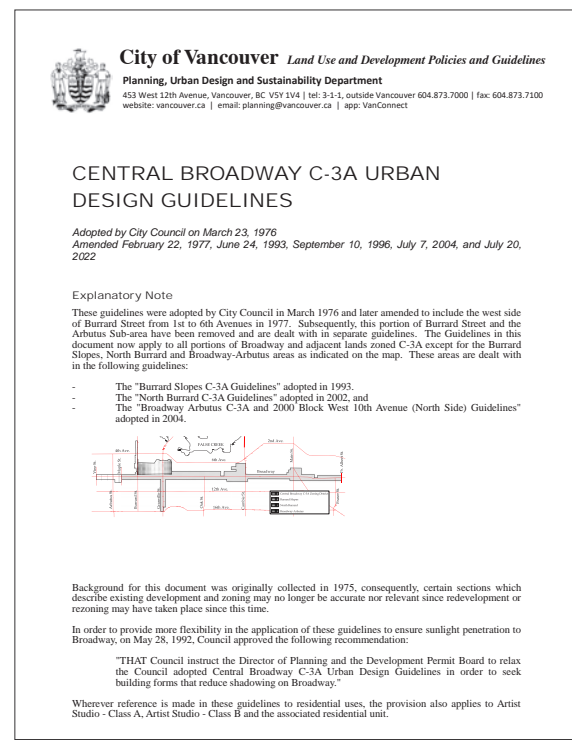
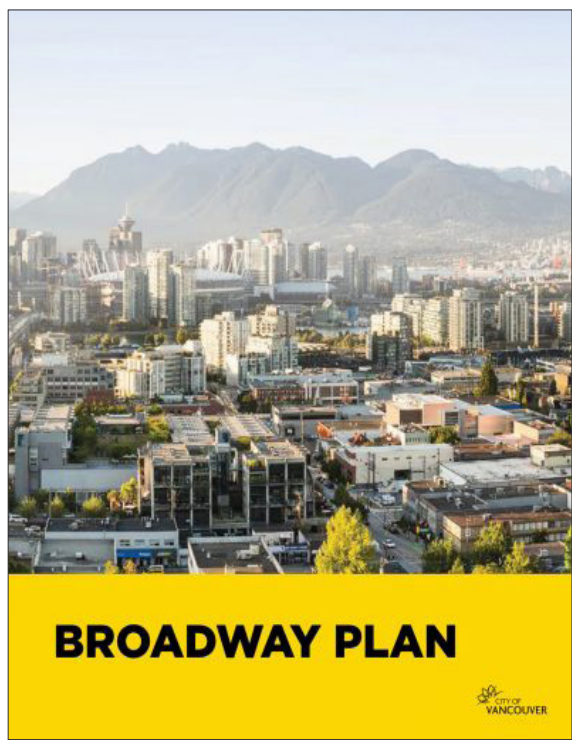


POLICY CONTEXT

POLICY CONTEXT

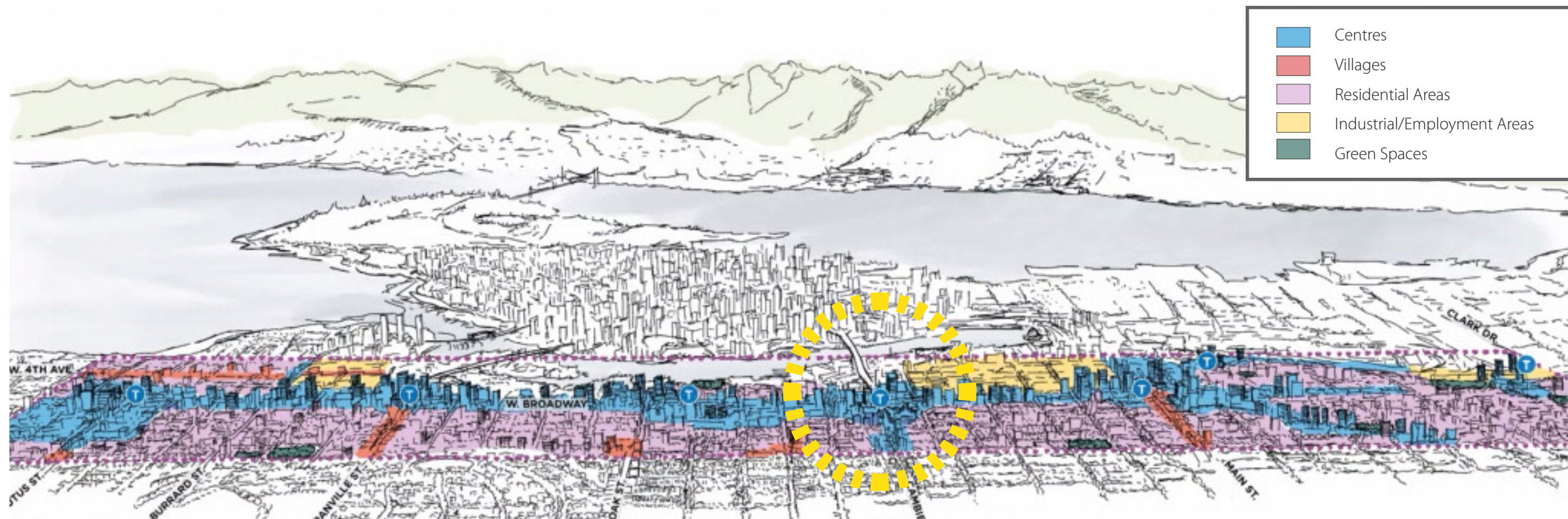
The following city policies have informed the design of the proposed development, including:

- Broadway Plan
- C-3A District Schedule
- Central Broadway - C-3A Urban Design Guidelines
- Greenest City Action Plan 2020
- Green Building Policy for Rezoning
- Transportation 2040 Plan



THE BROADWAY PLAN

In 2050, the Broadway Plan neighbourhoods are highly walkable, vibrant, inclusive and distinctive places to live, work, play and learn, connected to the region by the Broadway Subway.



Support Reconciliation with First Nations and Indigenous Peoples

The Broadway Plan area is located within Musqueam, Squamish, and Tsleil-Waututh Nations' homelands and offer an opportunity to support their voices, art and cultures.

Support Affordable, Diverse, Equitable and Inclusive Complete Neighbourhoods

Investment into new affordable below-market rental, social, and supportive housing will offer relief for existing residents and meet the livability needs of all ages, incomes, and abilities.

Enhance Broadway as a Great Street

Broadway should be enhanced as a street with special significance as urban design focuses on localized traffic for a more livable experience to visit, work, play and gather.

Foster a Robust and Diverse Economy

Diversity and density of job space should be increased to strengthen Central Broadway as the second largest job centre in the province.

Encourage Contextual Design

New developments should consider the existing context, such as neighbourhoods and topography and respond appropriately in the architectural expression and building form.

Provide and Support Healthy Transportation Options

Complete streets should aim to accommodate people of all ages and abilities with infrastructure that supports walking, cycling, and transit that will funnel access to shops and services.

Demonstrate Leadership in Sustainability and Resilience

New development should enhance neighbourhood spaces by considering sustainable practices to reduce carbon emissions, increase environmental systems and resiliency to climate change.

Recognize and Enhance the Area's Distinctive Neighbourhoods and Places

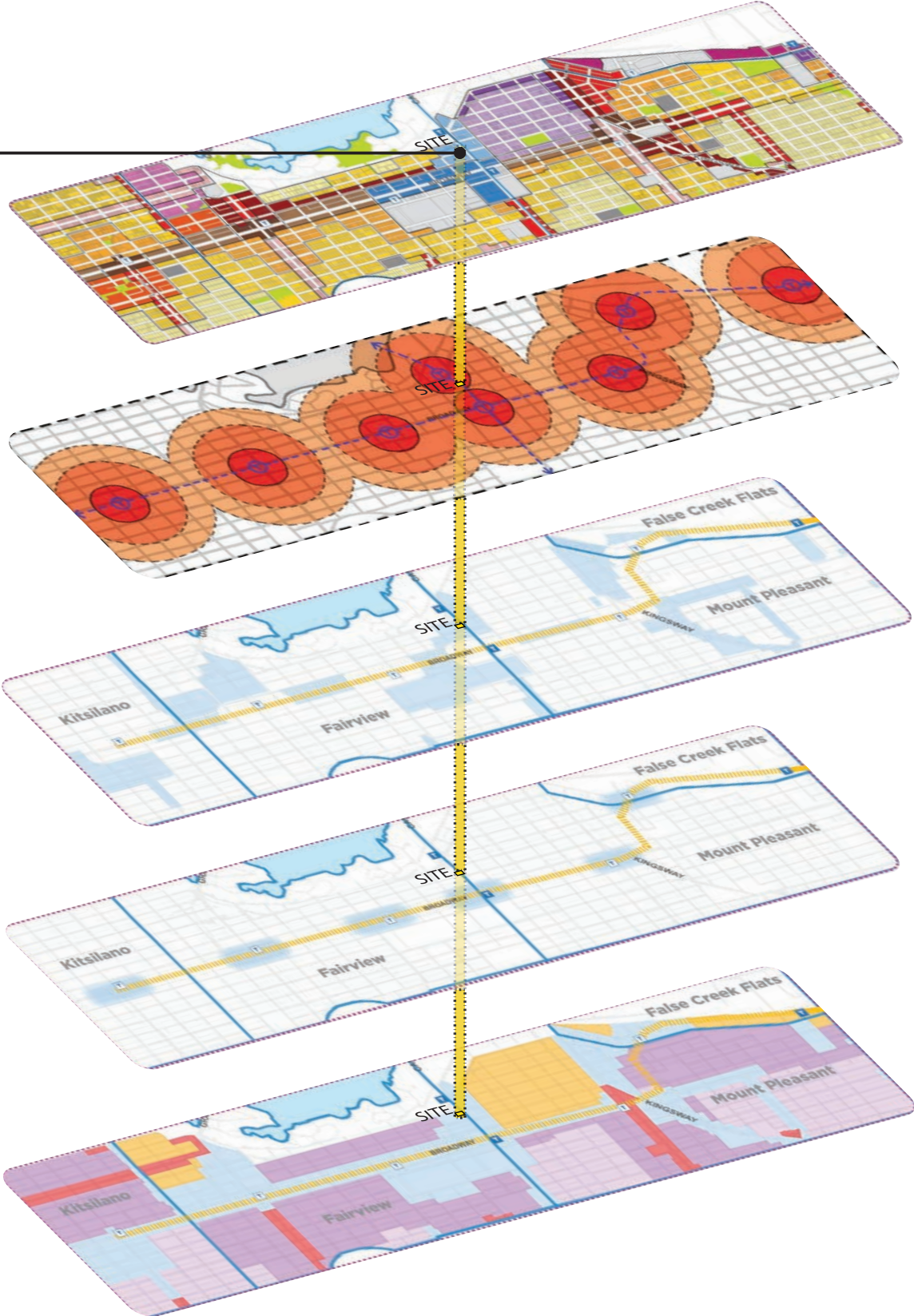
Distinctive qualities of existing neighbourhoods, such as residential streets, walkways, villages, heritage and cultural sites should be enhanced with respect to housing or job space.

Create and Enhance Parks and Public Spaces

Parks and public places should play key role in integrating human connections, cultural expression, recreation and access to nature. They also offer opportunity to respond to views.

BROADWAY AREA PLANS

| | |
|----------------------------|---|
| Policy area | Uptown/Cambie North - Area C |
| USES | Retail/service, office, hotel, cultural, and institutional uses. Residential permitted in mixed-use projects. |
| MAX HEIGHT | Up to 30 storeys contingent on protected public views. |
| MAX DENSITY | Achievable density will depend on view cone height restrictions and urban design performance |
| NOTES | Minimum 3.0 FSR for non-residential uses. |
| ADDITIONAL POLICIES | Require continuous active ground floor retail/service uses with narrow frontage widths along Cambie Street; active ground floor retail/service uses are strongly encouraged off Cambie Street |



Land Use Plan

Site located in Office District, Uptown Extension

Rapid transit stations

Site located between two rapid transit stations - Olympic Village station and Broadway City Hall

Centres- Shoulder Areas

Site located in a Shoulder Area, where 16-24 storey building heights are recommended

Centres- Station Areas

Site is located just south of a major transit station

Neighborhood character "Centre"

Site should display traits of Vancouver's "Second Downtown"

Broadway Plan Updates

In December 2024, the City of Vancouver made corridor-wide amendments to the Broadway Plan. While the plan was adopted only two years prior, Provincial legislation and learnings from the implementation of the plan drove the opportunity for change. The result was the opportunity to add 41,500 net new homes, accommodating up to 64,000 additional residents, 45,000 net new jobs and 3,000 new hotel rooms within the 30-year framework.

The changes made to Uptown/Cambie North – Area C align with originally intended objectives for the area but further allows for the opportunity for mixed-use buildings inclusive of retail / service, office, hotel, cultural and institutional uses and residential.

UPTOWN/CAMBIE NORTH

BROADWAY PLAN POLICY AREAS

The Broadway Plan outlines the area as having the following “Future Role”:











Affirm Uptown as a key location to integrate transit-oriented residential development in the region and the heart of Central Broadway, Vancouver’s “second downtown”, and strengthen this role by providing opportunities for additional job space to leverage the rapid transit investment that serves the area.

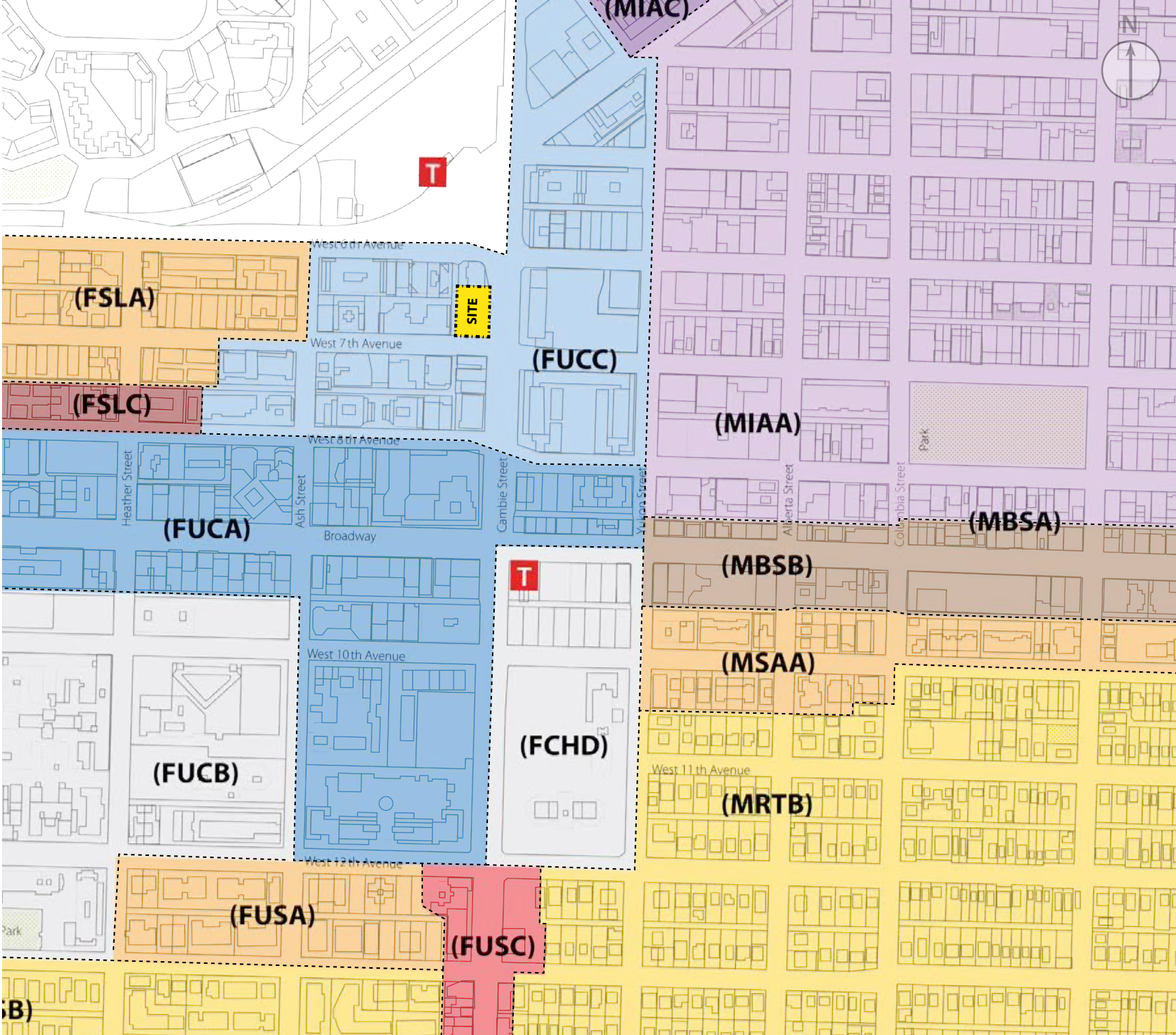
Uptown comprises of four major areas (FUCC, FUCA, FUCB, and FCHD) that collectively concentrate the second highest density of jobs in the province. It has major civic employers like City Hall, Vancouver General Hospital, BC Cancer Centre, and includes a variety of other employment industries such as retail, hotel, and restaurants.

The future role of Uptown is to be a key office location for the region as it sits within the nexus of two rapid transit lines - the Canada Line and the Broadway Subway. Our site is situated in FUCC, which is especially close to the rapid transit stations. Key moves for Uptown/Cambie North are:

- Major office and health district for Central Broadway
- increase office and hotel capacity and development
- Support master planning for the Civic District
- Support long term expansion of VGH and BC Cancer Centre
- Increase office and rental density north of 8th Ave.

Legend

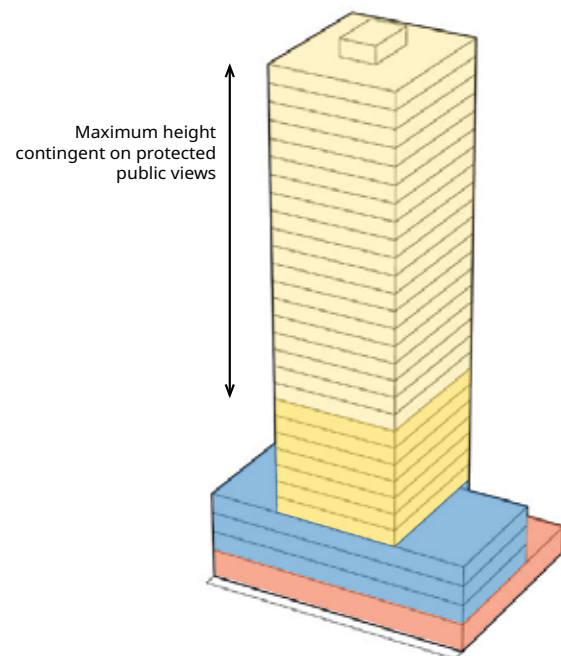
| | |
|--|---|
|  Uptown |  Mid-to High-Rise Mixed-Use |
|  Uptown Extension |  High-Rise Mixed-Use |
|  Large and Unique Sites |  Industrial - High Intensity |
|  High-Rise Residential |  Industrial - Medium Intensity |
|  Mid-to High-Rise Residential |  Broadway Choice-of-Use |



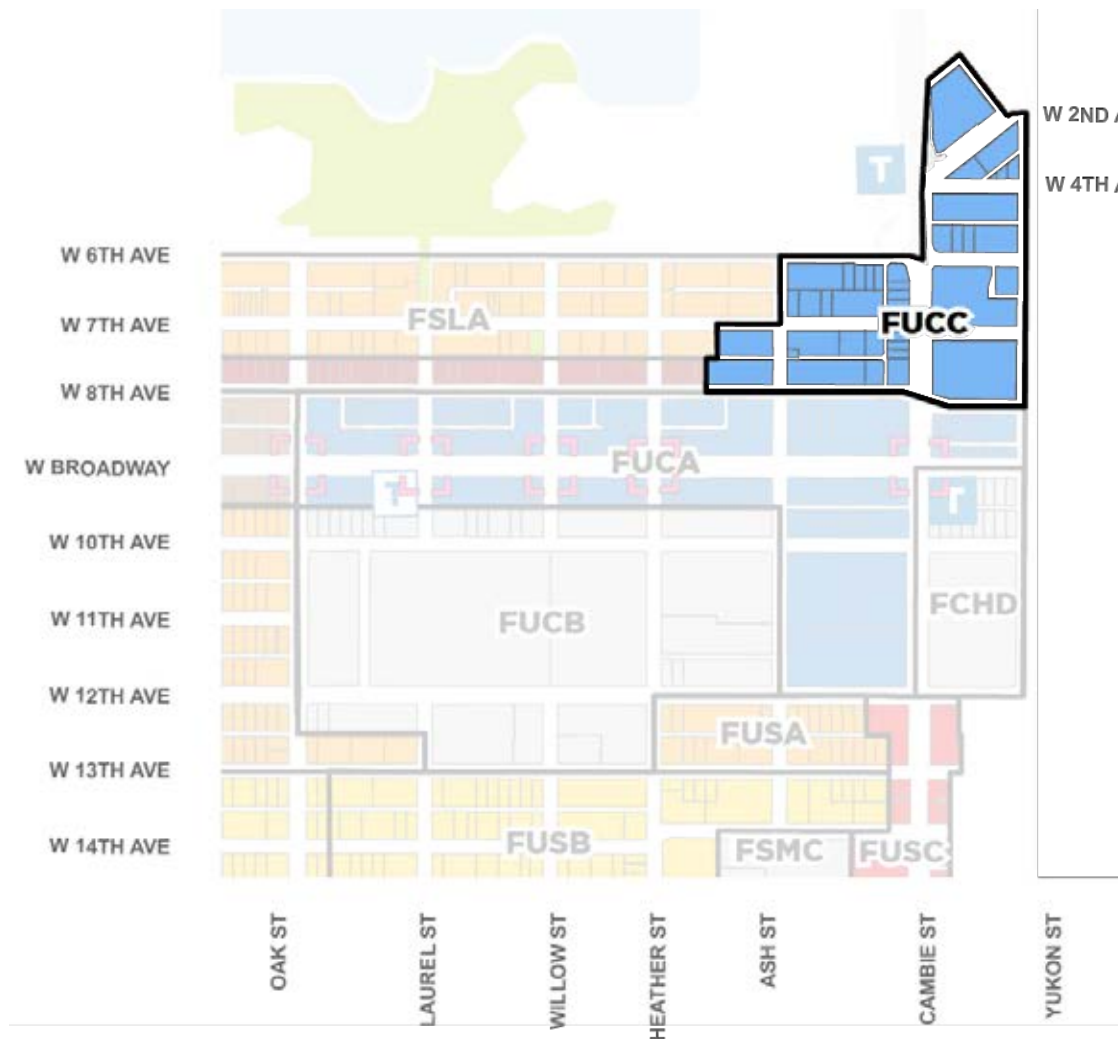
FUCC AREA DETAIL

The City is proposing amendments to Broadway Plan policies to enable a greater mix of building uses. The intent for the area will continue to be for employment uses and intensifying the amount of job space but will also include allowances for complementary residential uses. Uptown/Cambie North - Area C (FUCC) is included in these areas responding to TOA Legislation to allow for additional housing to augment employment space as per existing zoning and the original Broadway Plan policy.

Uptown is currently a key office location in the region and the heart of Central Broadway, Vancouver's "second downtown". The Broadway Plan intends to strengthen Uptown/Cambie North Area C as an extension of Uptown, intensifying the area's primarily retail/ service while introducing a much-needed housing component. This area of Uptown/Cambie North is within 200 and 400 metres of Broadway – City Hall Station and Olympic Village Station. The Broadway Plan allows for building heights and densities that exceed the TOA legislative requirements.



9.20 Uptown/Cambie North - Area C FUCC



Intent

Strengthen as an extension of Uptown by intensifying the area's retail/service and office character.



9.20.1 FUCC Policy Summary Table

| Policy Area | Uptown/Cambie North – Area C | FUCC |
|---------------|--|--------------|
| Uses | Retail/service, office, hotel, residential, cultural and institutional uses | |
| Option/Tenure | Secured market and below-market rental housing | Office/Hotel |
| Max Height | Can generally be considered up to 122m (400 ft.) or up to the underside of Queen Elizabeth Park View sections 3.2.1-3.2.3 (if more restrictive), except where other view cones or helicopter flight paths are more restrictive. | |
| Max Density | Achievable density will depend on view cone height restrictions and urban design performance. | |
| Min Frontage | 45.7 m (150 ft.) | |
| Notes | <ul style="list-style-type: none"> Explore opportunities to secure a portion of the residential floor area at below-market rents (see Chapter 12 for details), where feasible. A minimum of 3.0 FSR of non-residential uses (job space) is required. See Land Use (Chapter 7) for cases where lesser site frontage may be considered at the discretion of the Director of Planning. For sites on the east side of Cambie Street, a front yard setback of 7.6 m along Cambie Street should be established to create a generous pedestrian circulation area. | |

Additional Policies

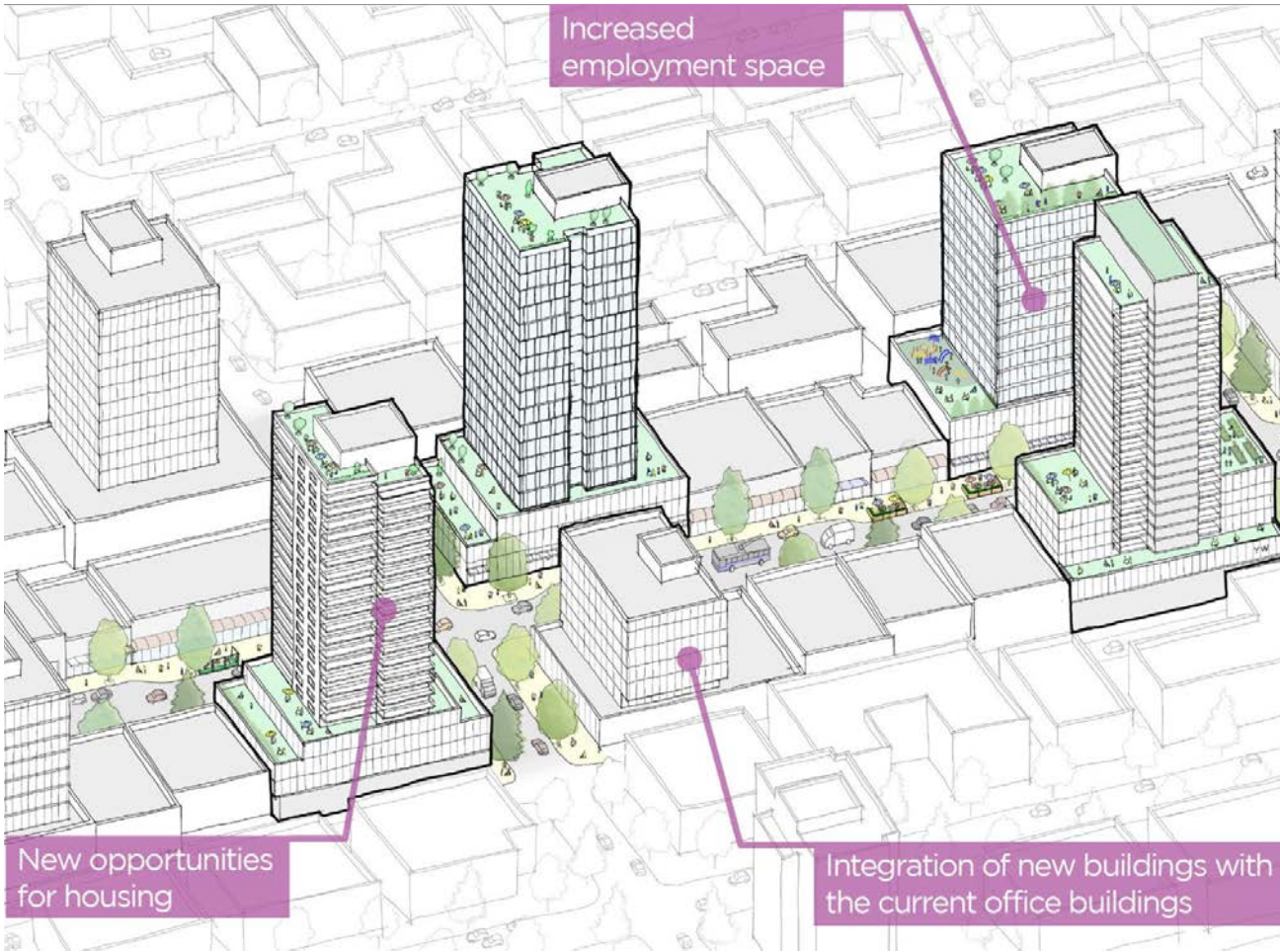
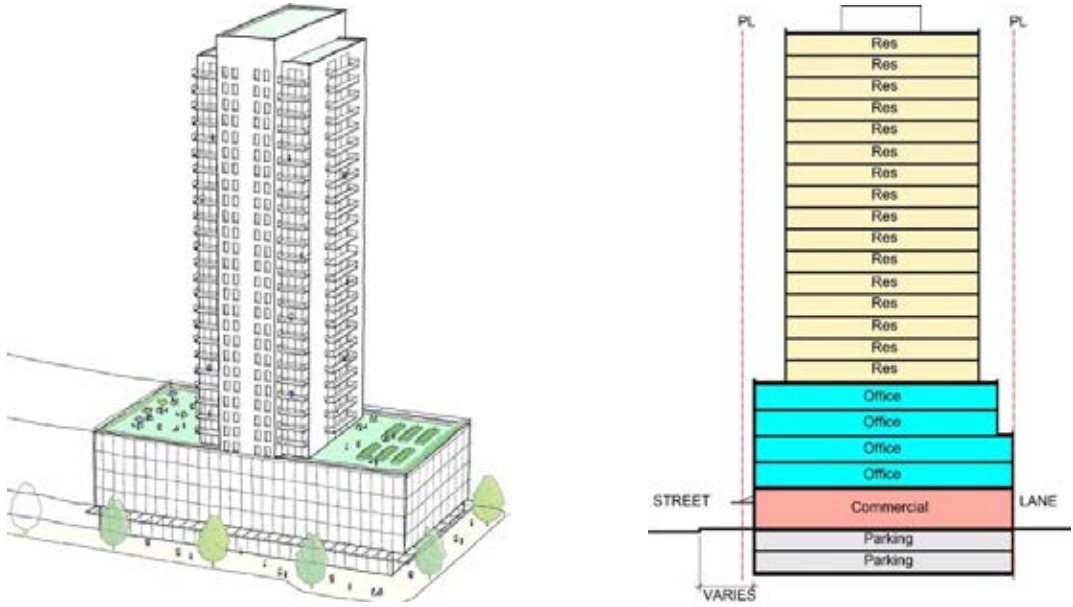
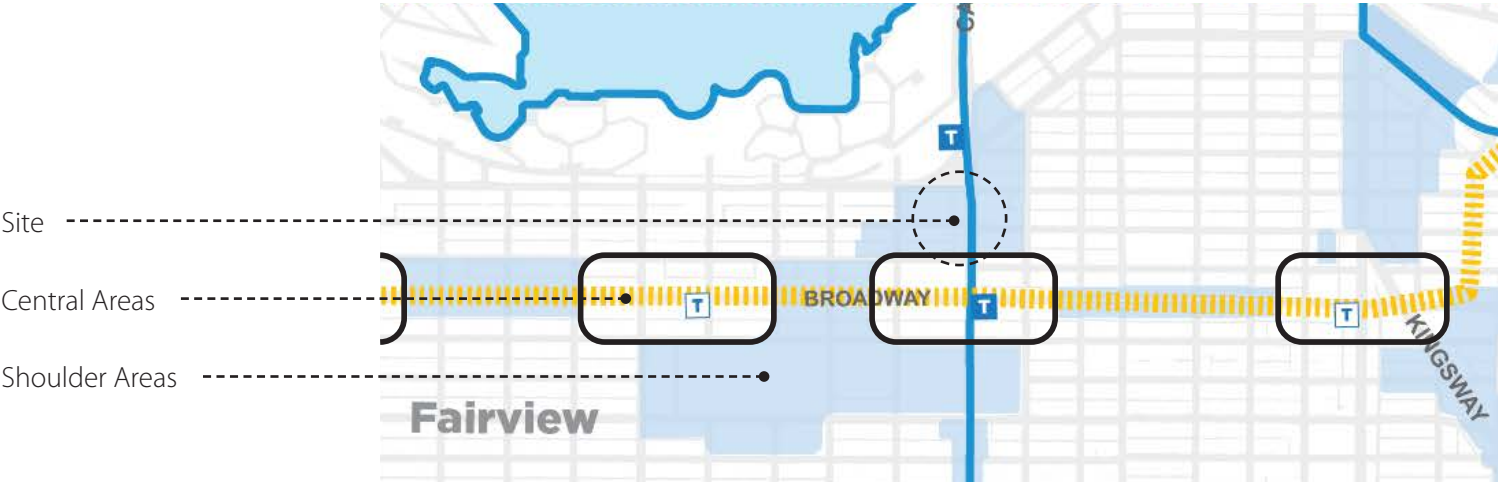
9.20.2 Require continuous active ground floor retail/service uses with narrow frontage widths along Cambie Street; active ground floor retail/service uses are strongly encouraged off Cambie Street.

BROADWAY HEIGHT AND DENSITY

Section 11.7.1 of the Broadway Plan guidelines outlines that tower heights should range from 30 to 40 storeys in station areas and from 20 to 30 storeys in shoulder areas. This height strategy is directly tied to the significant investments in rapid transit infrastructure along Broadway.

The overarching principle is to prioritize taller structures and higher density in immediate proximity to transit hubs, allowing for seamless integration. As one moves farther from the stations, there's a deliberate decrease in height.

Given the project's placement in the FUCC area of the Broadway Plan, combined with its designation as a shoulder area and its proximity to crucial transportation nodes, it is prudent to reexamine the tower's height restrictions. This reevaluation should particularly consider the implications of View Cones on the provision of housing, workspace, and public amenities.



Typical mixed-use residential tower height and density found throughout the shoulder areas of the Broadway Plan - FUCC policy area.

VIEW CONES

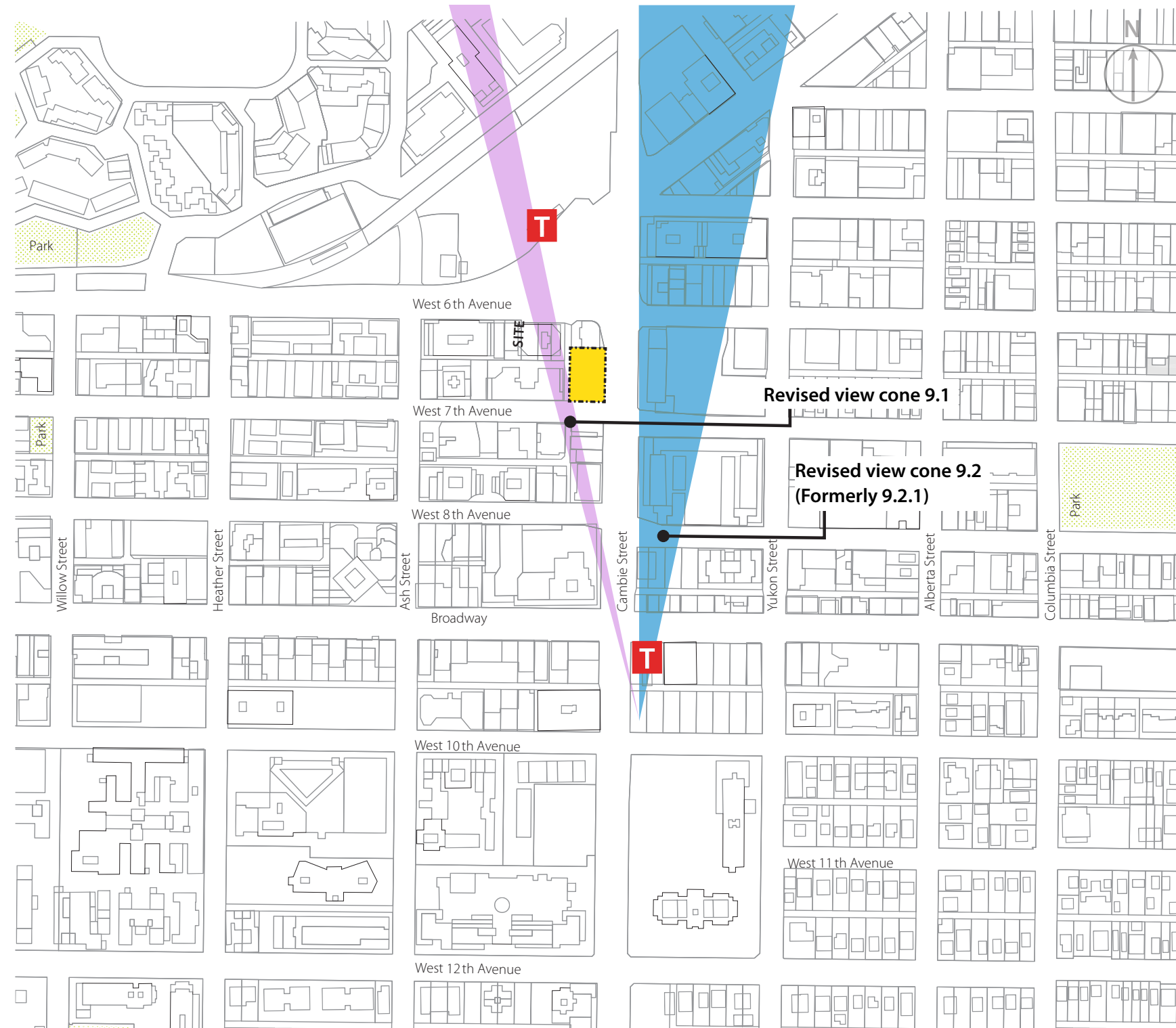
Vancouver's original View Protection Policy was established to preserve views of natural features such as mountains, water bodies, parks, and notable man-made landmarks. In 2024, Council approved modernized viewcones to better reflect the evolving needs of the growing city. This rezoning application is shaped by the updated Public View Guidelines.

In the Broadway Plan FUCC zone, building heights are restricted to the lower of 30 storeys or the strictest applicable viewcones, which cover parts of the area. Following the 2024 modernization, some viewcones in the FUCC zone were revised to address regional priorities for housing and employment space. These revisions include:

- 9.1: View of Ch'ích'yúy Elxxwíkn (the 'Two Sisters' or the 'Lions') from Cambie St. at the Walking Figures plaza behind Broadway-City Hall Station.
- 9.2: View of the North Shore mountains from Cambie St. at the Walking Figures plaza behind Broadway-City Hall Station.

The updated public view protection policy eliminated the former Viewcone 3.1 (Queen Elizabeth Park) which preserved views to Vancouver's downtown buildings.

As a result, the height limit for this rezoning is 30 storeys, in line with the 2024 Broadway Plan updated policy.

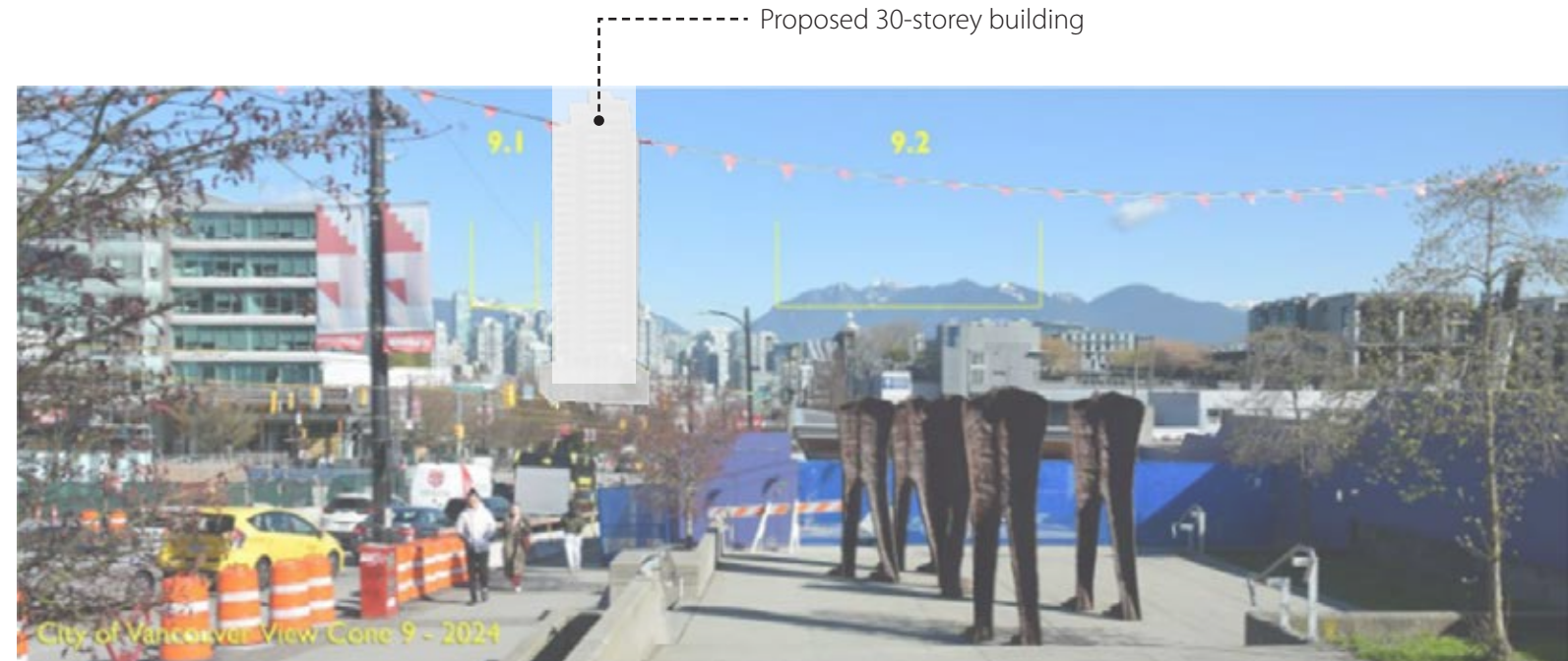


VIEW CONE COMPLIANCE

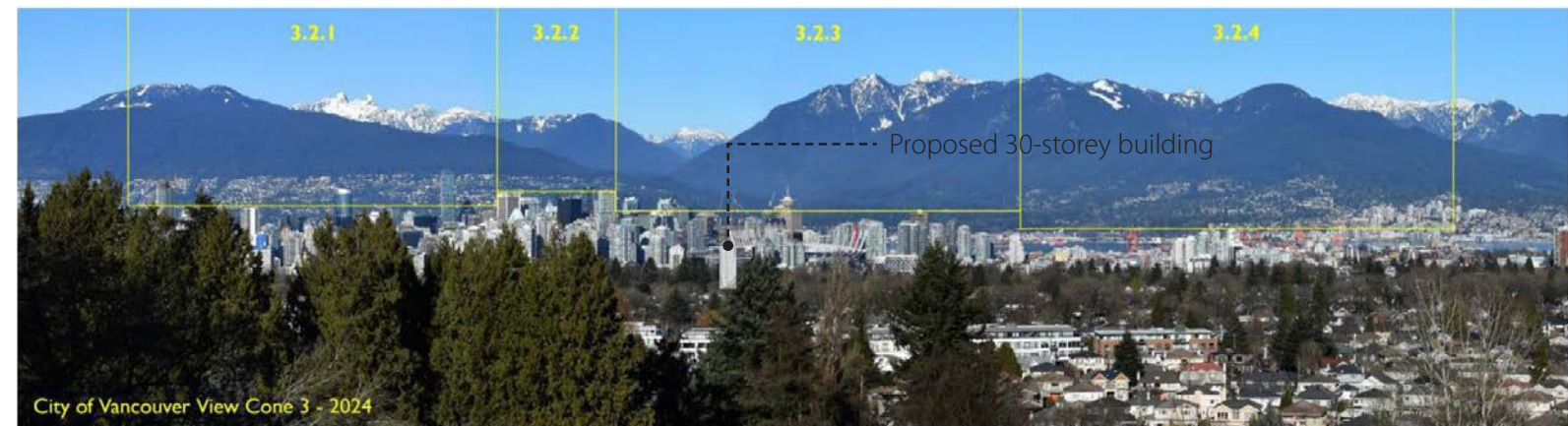
The proposed rezoning application for 2285 Cambie complies with all Public View Guidelines following the July 2024 approved amendments. Height and massing of the building is fully governed by Broadway Plan height and built form policy.

The nearest View Cone affecting 2285 Cambie is 9.1, taken from the Walking Figures plaza behind Broadway City Hall Station, offering perspectives of the Ch'ích'yúy Elxwíkn (the 'Two Sisters' or the 'Lions'). This view extends westward to encompass the summit of Capilano Mountain, approximately 40 km to the north, closer to Squamish than Vancouver. At the southern edge of the site, View Cone 9.1 crosses at an elevation of roughly 160 feet (49.0m) above sea level.

View Cone 3.2.3 from Queen Elizabeth Park sits above the proposed 30-storeys of the project.



2285 Cambie St. as seen from Cambie St. view cone 9.



With the deletion of view cone 3.1, 2285 Cambie St. is no longer under the affected parcels of View Cone 3.

DESIGN ANALYSIS



Cambie St

7th & CAMBIE

W 7th Ave.

OFFICE

COFFEE

COFFEE

RETAIL

NEIGHBOURHOOD CHARACTER

Uptown Cambie is an energetic, well-established urban neighborhood, characterized by its strategic positioning as the gateway to Vancouver, South from Downtown. Situated at the southern base of the Cambie Bridge, this area currently includes a diverse mix of building styles and land use.

The convergence of various transportation modes brings a high volume of people to the public realm, creating a busy and animated atmosphere. Cambie and Broadway stand out as crucial corridors for both vehicular and rapid transit movement in the region. Investment in active transportation paths have helped Uptown evolve into an increasingly pedestrian-friendly and accessible neighbourhood.

This pivotal location has led to the inclusion of some of the area's most significant institutional landmarks, including City Hall and VGH, complemented by surrounding medical office facilities. A vibrant retail and service presence enlivens the street level. Currently, the area encompasses an array of uses, including residential and institutional buildings.

2285 Cambie

Rezoning
Booklet



Busy intersection at Broadway and Cambie St.

NEIGHBOURHOOD CHARACTER

ARCHITECTURE AND URBAN DESIGN

The architectural and urban design character of Uptown is defined by its blend of programmatically diverse buildings that serve the high demand for job density and the residents who live there:

- 1. Transit:** Heavy traffic area that is accommodated by densely located transit stations, crucial bus lines, and expanded bike path network.
- 2. Mixed-Use Office Buildings:** Several mixed-use office buildings that address the public realm with retail and amenities.
- 3. Institutional Buildings:** Key civic centres and institutional buildings include City Hall, VGH, and BC Cancer Research Centre.
- 4. Fine Grain Retail:** Vibrant street level retail that supports local businesses and restaurants.
- 5. Service Retail:** Large service and big-box retailers like Best Buy, Home Depot, and Canadian Tire line provide a strong urban presence.
- 6. Residential:** Several residential buildings in the area with varying densities that range from low-rises to mid-rises with a push for further densification.



525 W. 8th Ave.



Fast + Epp Home Office, 397 W. 7th Ave.



Save on Foods and Home Depot on the podium of The Rise, 485 W. 8th Ave.



Crossroads, 522 W. 8th Ave.



Best Buy Canadian Headquarters, 425 W. 6th Ave.

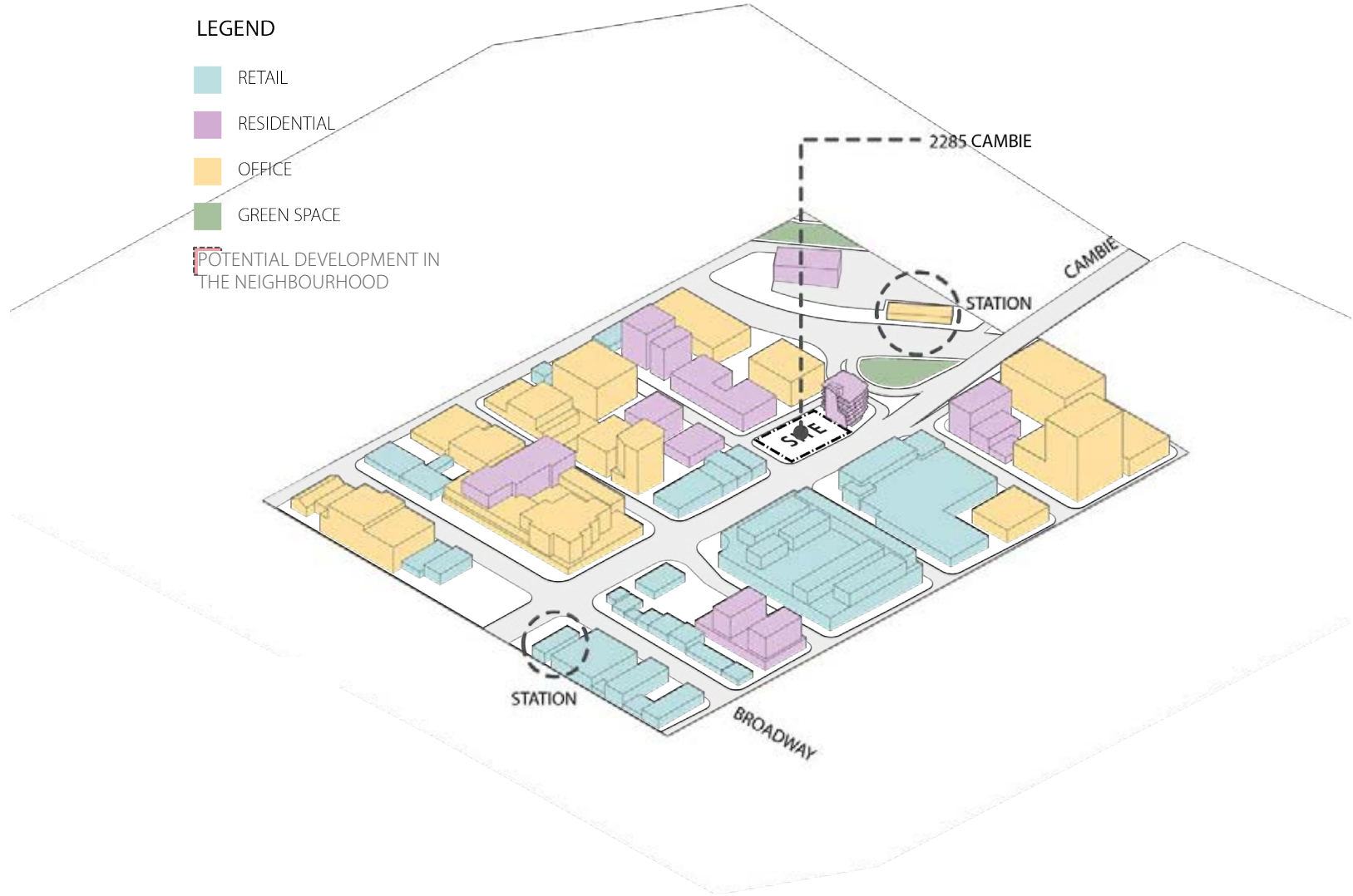


Jollibee and Starbucks franchises in mixed-use building, 500 W. Broadway

2285 Cambie

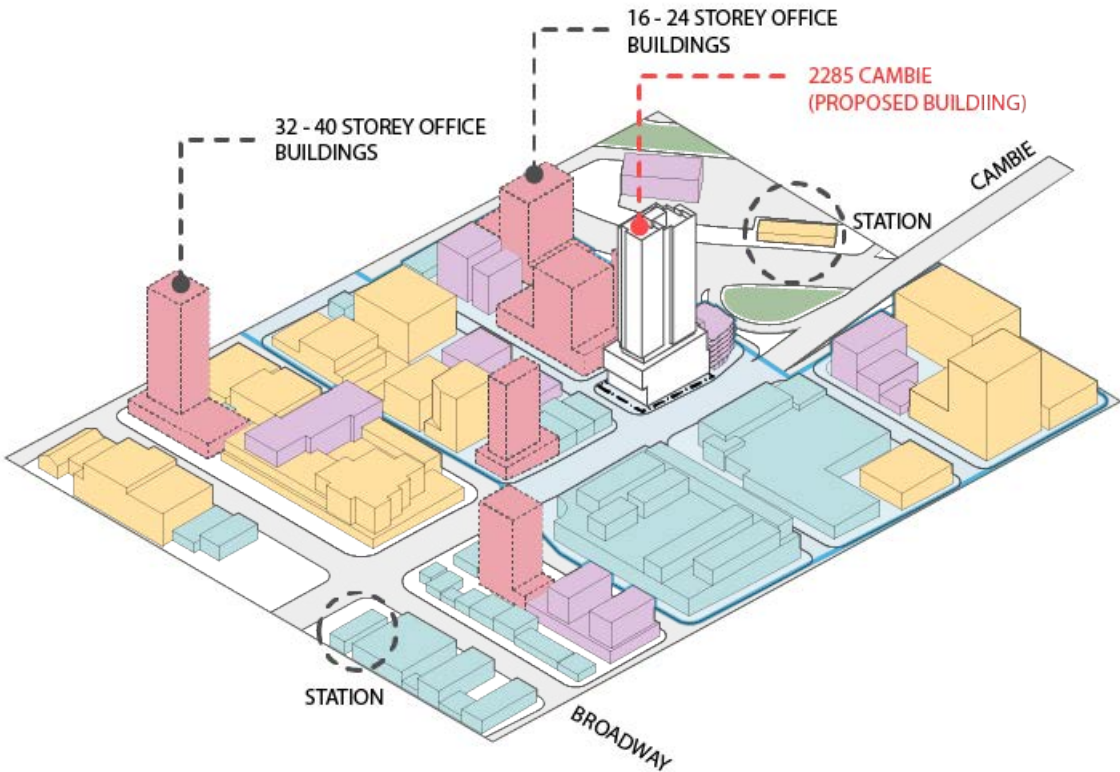
Rezoning
Booklet

EXISTING AND EMERGING URBAN FORM



Existing Urban form around 2285 Cambie

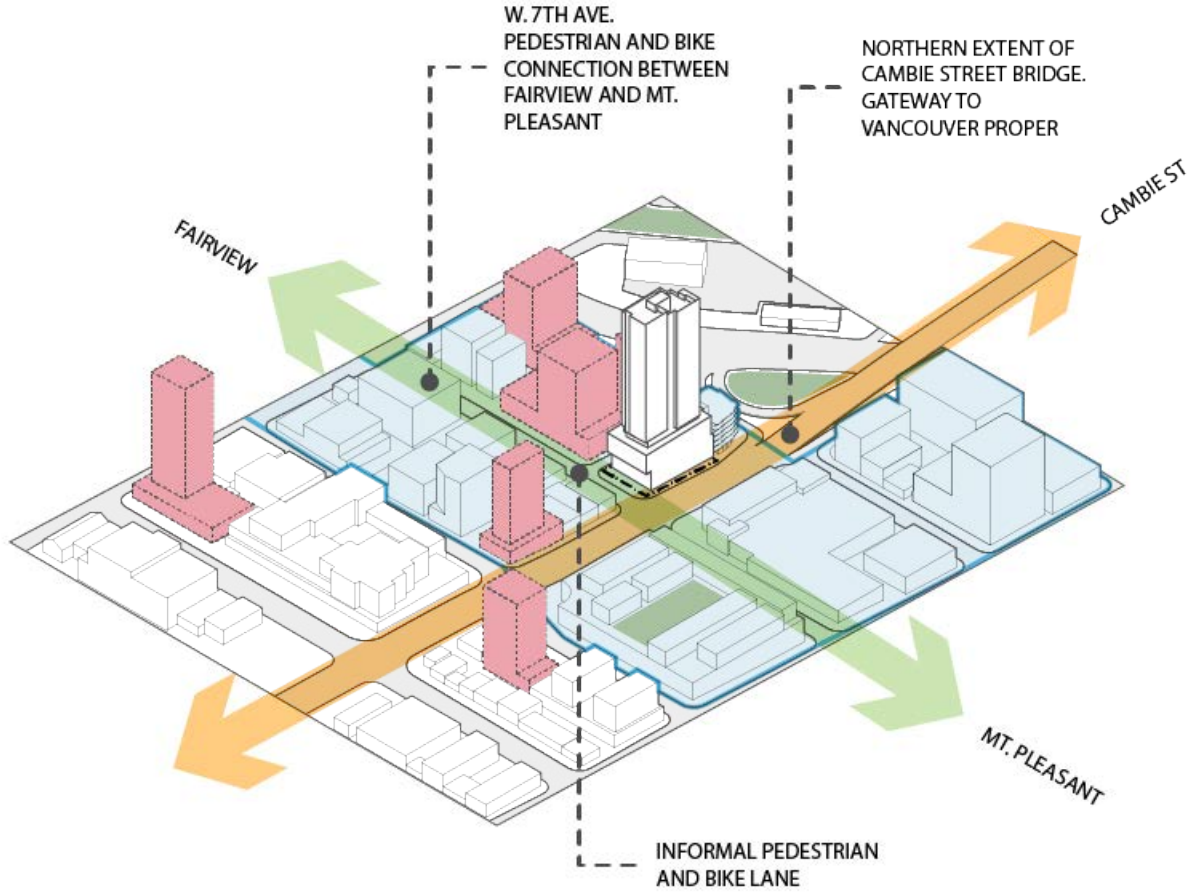
This bustling transportation corridor is characterized by a prominent intersection. In the surrounding blocks are institutional structures such as the city hall and VGH. Mixed use Office buildings are present in generally supportive roles to institutional uses. There is a diverse array of retail spaces ranging from large-format stores to small-scale shops. Interspersed amidst them are residential buildings.



Emerging form following Fucc and Broadway Plan

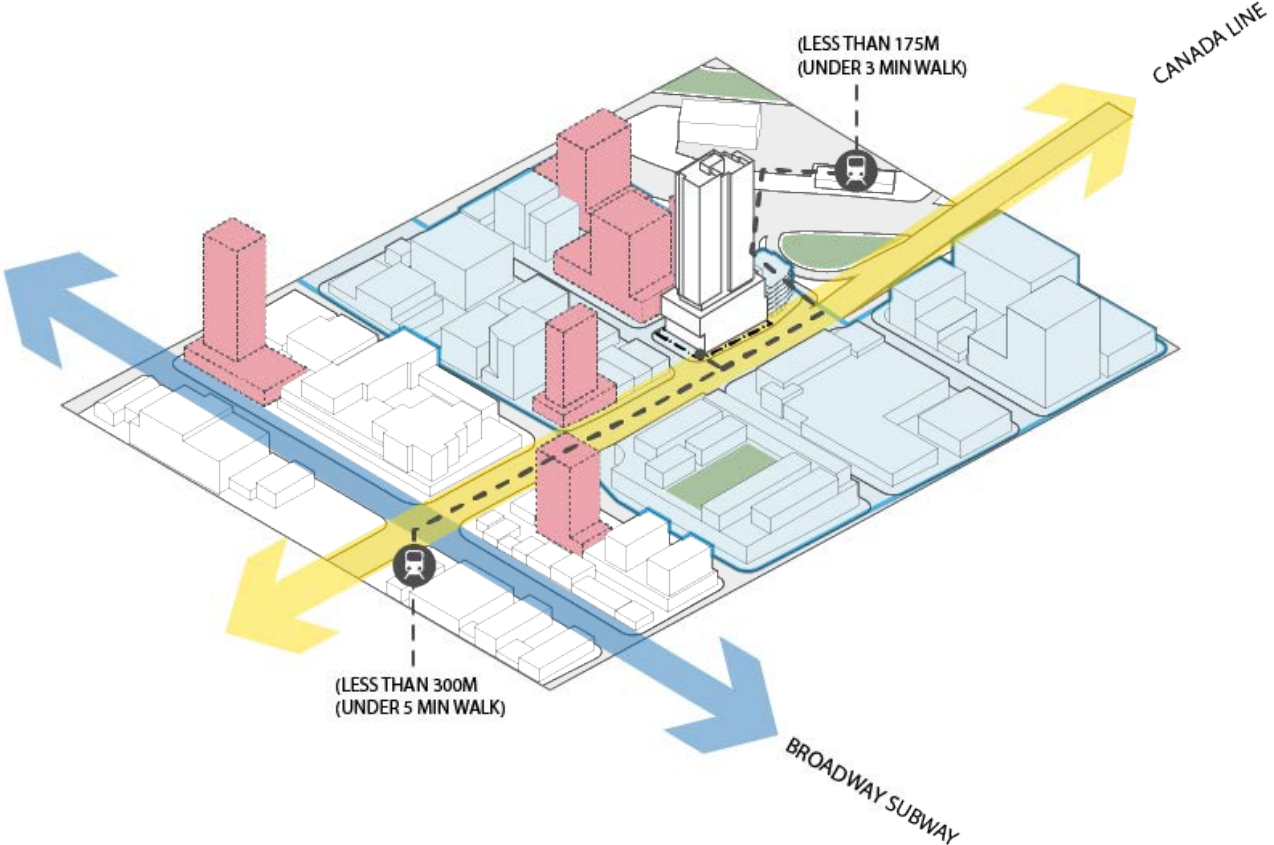
Potential future developments under Broadway Plan land use and built form policy and current view protection (View Cone) policy in the neighbourhood. This potential future development of the area takes into consideration recently developed sites and tower separation guidelines.

EXISTING AND EMERGING URBAN MOBILITY



Existing Mobility

The site is located at the southern foot of the Cambie Street Bridge, presenting a significant gateway opportunity for built form in these neighbourhood. W. 7th Avenue provides a strong connection between Mt. Pleasant and Fairview neighbourhoods for both pedestrians and cyclists.



Emerging Mobility Broadway Line

The completion of the Broadway Subway extension connects Vancouver with the rest of the Translink Skytrain network throughout the lower mainland. The site is located at the intersection of the Broadway Line and Canada Line networks which generates a compounding affect for transit accessibility.

DESIGN RATIONALE

Embracing Transit Oriented Development

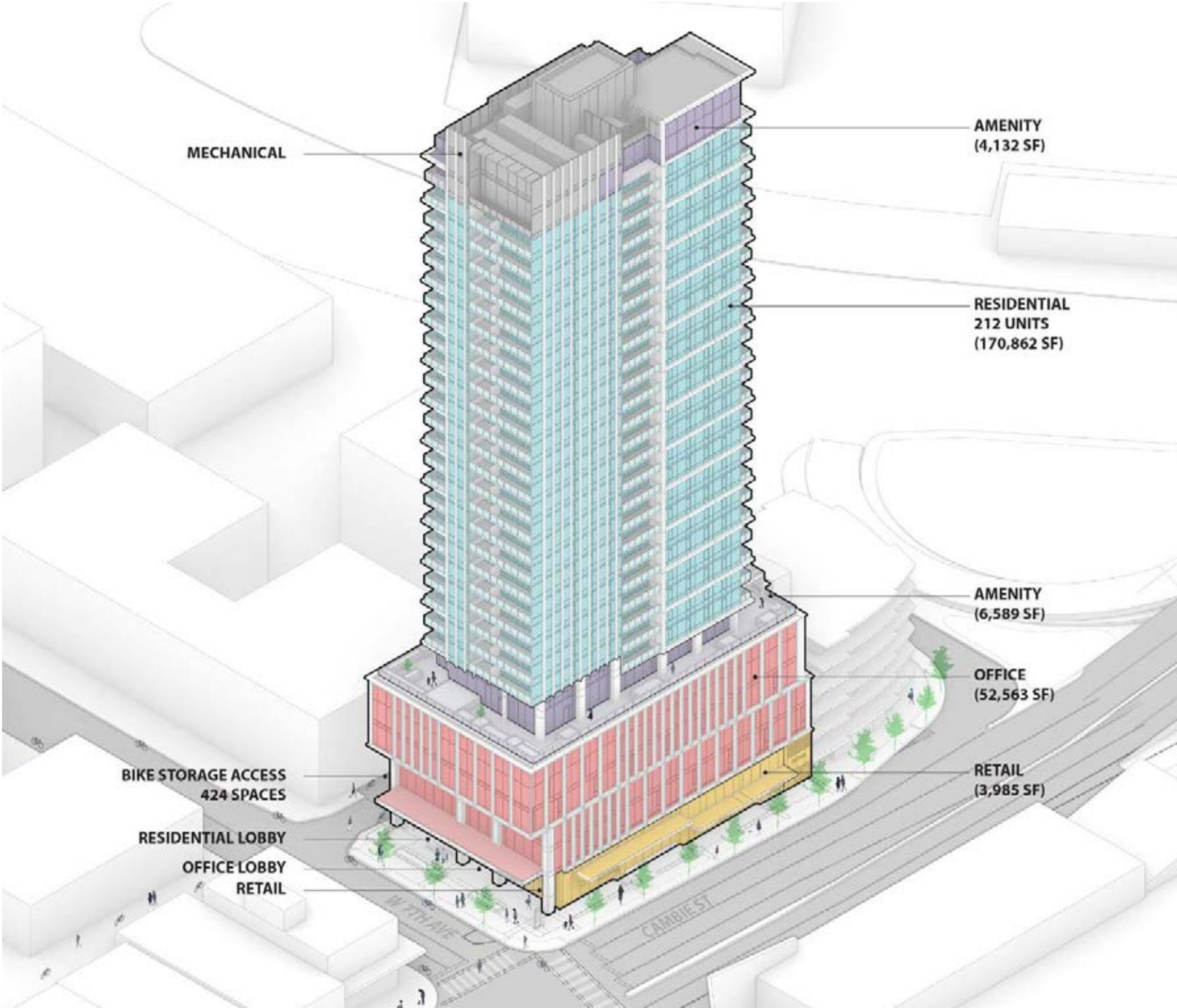
2285 Cambie occupies an unique location with high pedestrian traffic due to its proximity to the two SkyTrain stations. The design responds to this vibrancy by creating an active pedestrian and cyclist friendly streetscape. The retail uses at the podium base aim to stimulate more urban activity and connect the building with the surrounding pedestrian movements.

The building takes advantage of the open views toward Downtown Vancouver and the North Shore mountains while aligning with the Broadway Plan’s focus on increasing density along this transit corridor. By incorporating more rental housing in a taller development scheme, this aims to support the city’s goals of addressing housing affordability and availability. The additional office space in the lower levels also aim to contribute to the economic vitality of the area.

The design also demonstrates the project’s commitment to acknowledge the community’s vision for the area and aligning with the preferences expressed during the previous rezoning process. This also strives to address the pressing need for much-needed rental housing in the area in respect to the Broadway Plan of establishing Vancouver’s “Second Downtown.”

Legend

- Retail
- Residential
- Office
- Amenity
- Mechanical



DESIGN PRINCIPLES

Embracing Transit Oriented Development

The architectural concept for 2285 Cambie Street is the outcome of a comprehensive process, taking into account numerous factors and offering deliberate solutions. The building's design is intricately linked to the challenges posed by a compact site and adjacent existing structures. Its strategic location signifies the entry point to the Uptown area for those traveling south from downtown via the Cambie Bridge.

This building aims to serve as a flagship embodiment of the Broadway Plan, representing a dynamic and all-encompassing evolving economy. It encompasses opportunities for more sustainable, accessible, and complete neighbourhoods through the intersection of rapid transit stations.

The established design principles are a response to the historical significance of the location, both its present state and future prospects, as well as the overarching vision of the Broadway Plan. These principles underpin the proposed concept, guiding every major facet of the design process from the initial schematic design phase and extending into the future.

BROADWAY PLAN



Provide a building that aligns with the vision for the neighbourhood set out in the Broadway Plan.

TRANSIT ORIENTED DEVELOPMENT



Embrace transit-oriented developments in support of creating vibrant, walkable communities centered around accessible public transportation hubs, encouraging sustainable and convenient modes of travel.

PLACEMAKING



Create a defined, legible entry into the Uptown neighbourhood from the Cambie Street bridge.

LOCAL ECONOMY



Creation of new transit oriented employment space suitable for local companies that aligns with the Broadway Plan goals.

PUBLIC REALM



Augment the existing public realm with new open space and human scaled retail storefronts on all streets.

ENERGY EFFICIENCY



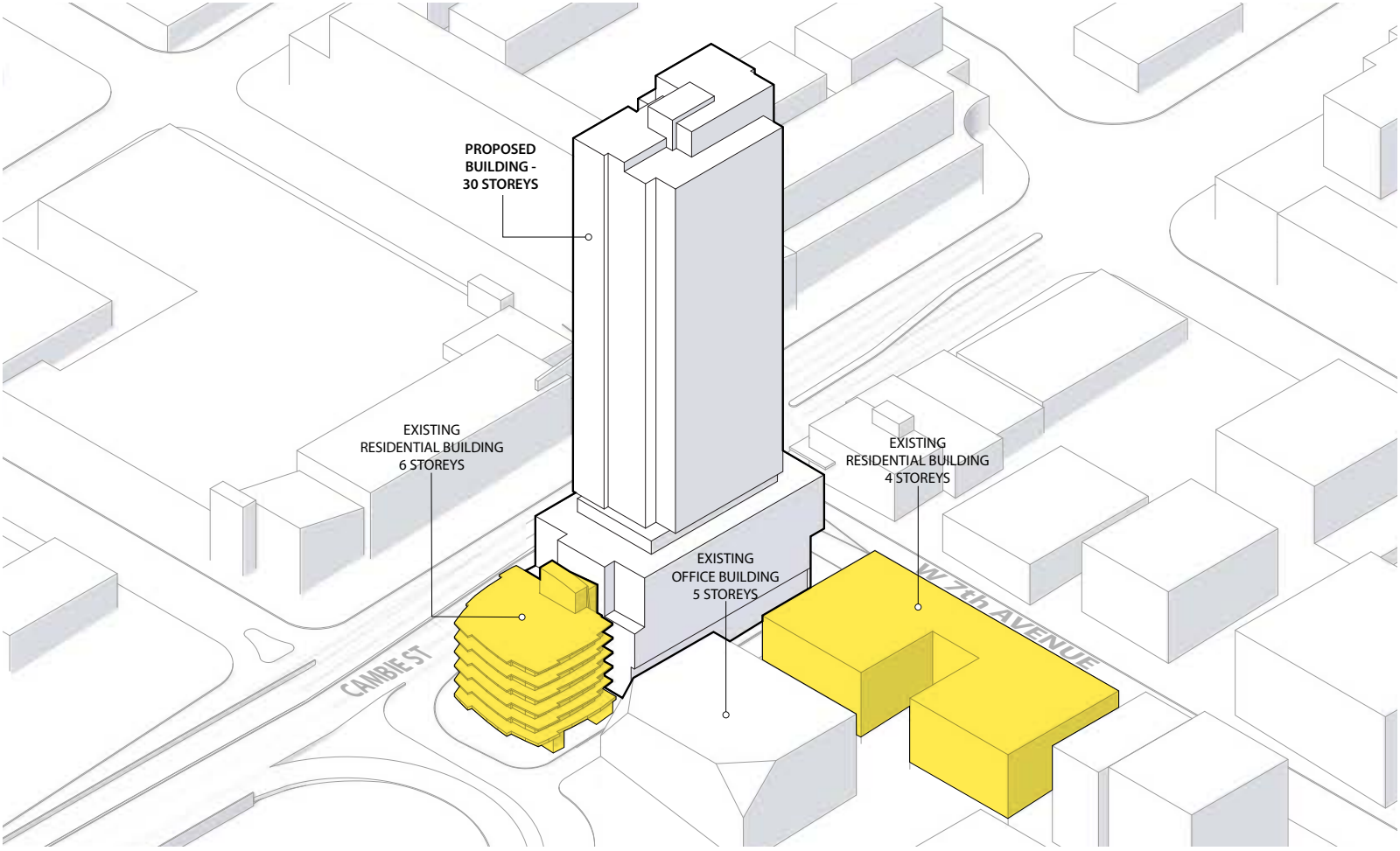
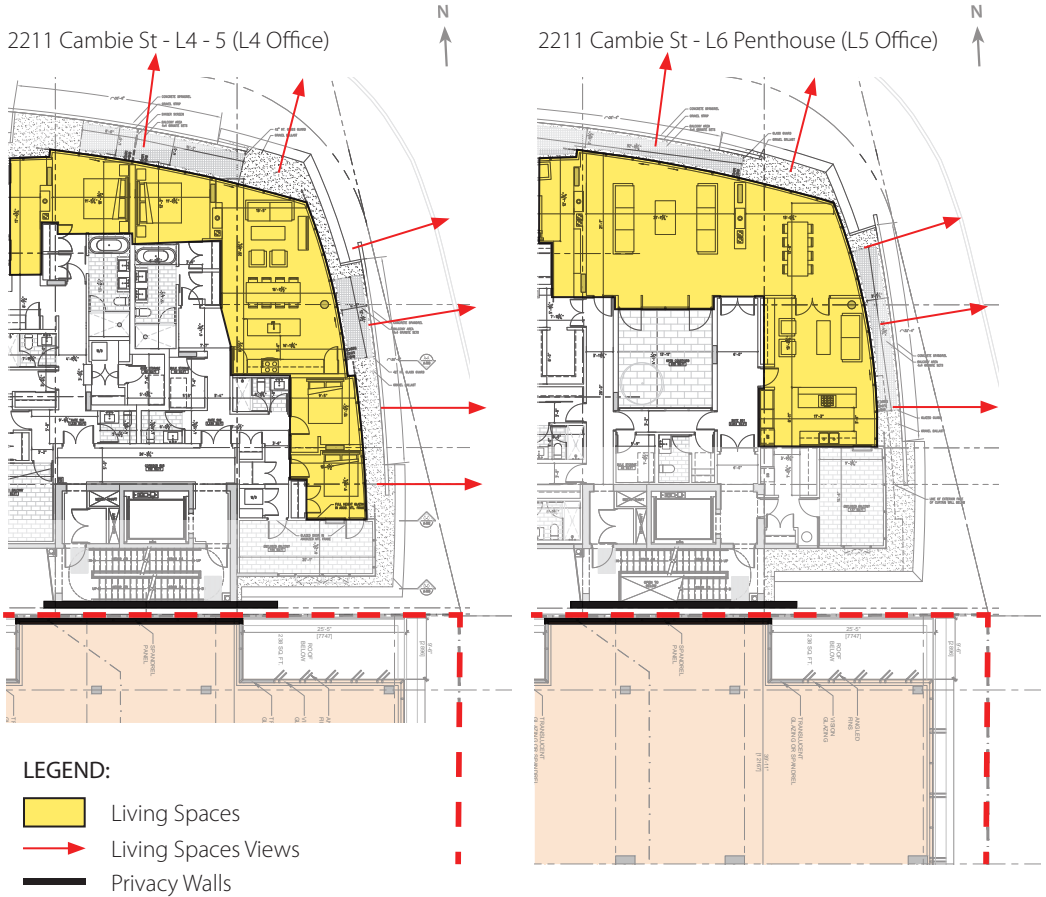
Aims to achieve the ideal living environment through optimised window-to-wall ratio for building facades while balancing the building's natural light reception and thermal performance.

EXISTING ADJACENCIES

2285 Cambie shares its north property line with 2211 Cambie, a mixed-use building comprising retail at grade and 15 strata units at levels two to six. Nine suites partially border the shared property line; of these, all living areas are oriented towards False Creek, the North Shore mountains, and the downtown peninsula.

While all units favour views of Vancouver’s iconic landscape, the proposed office podium design provides a 9’-6” setback, clad with angled metal fins to maximize daylight for its neighbours and prevent the possibility of overlook between buildings.

Across the lane, 511 W 7th Ave is a four-storey, 63-unit condominium. The development is oriented predominantly towards W 7th and an interior courtyard.



Existing residential building to the north



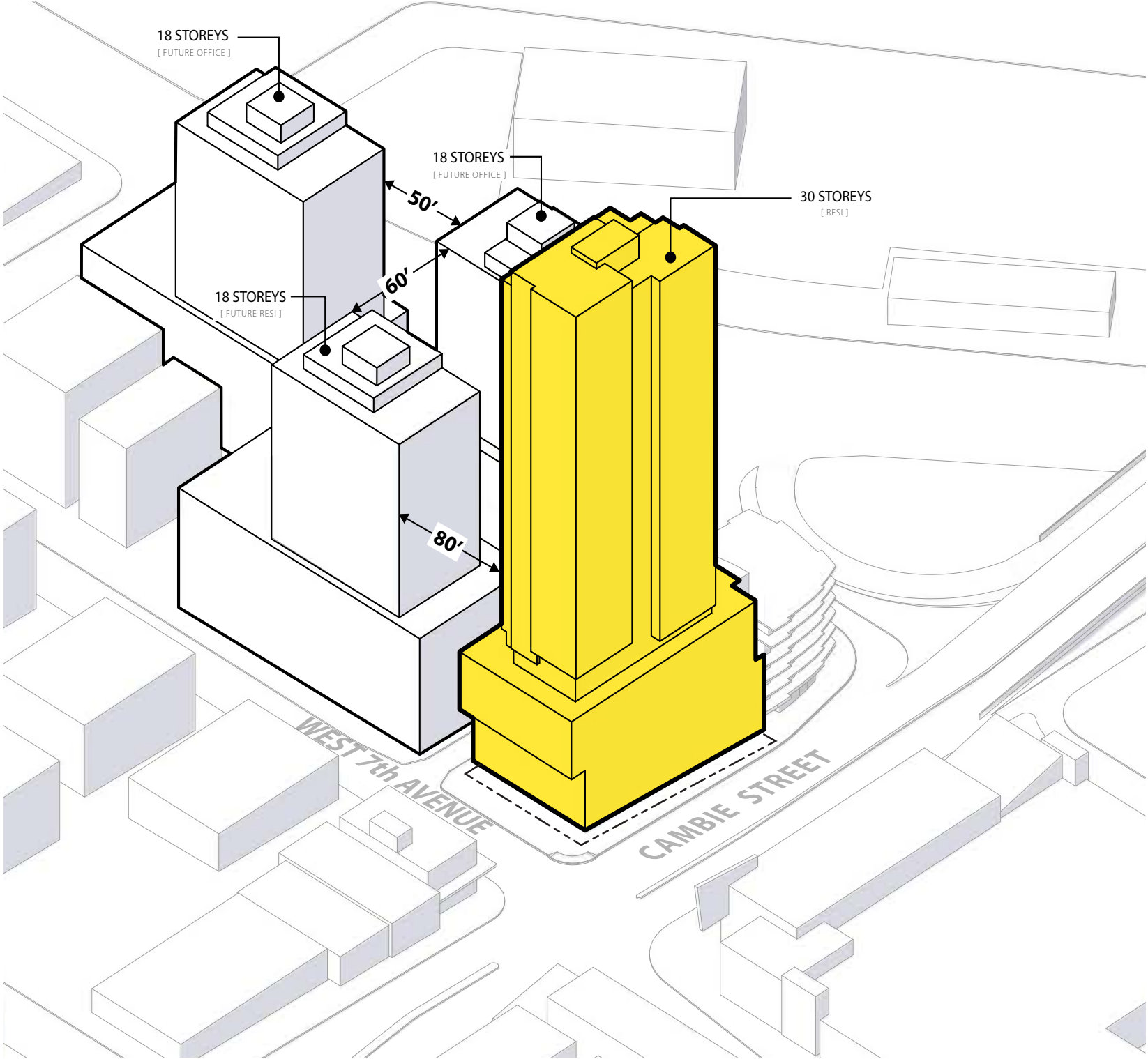
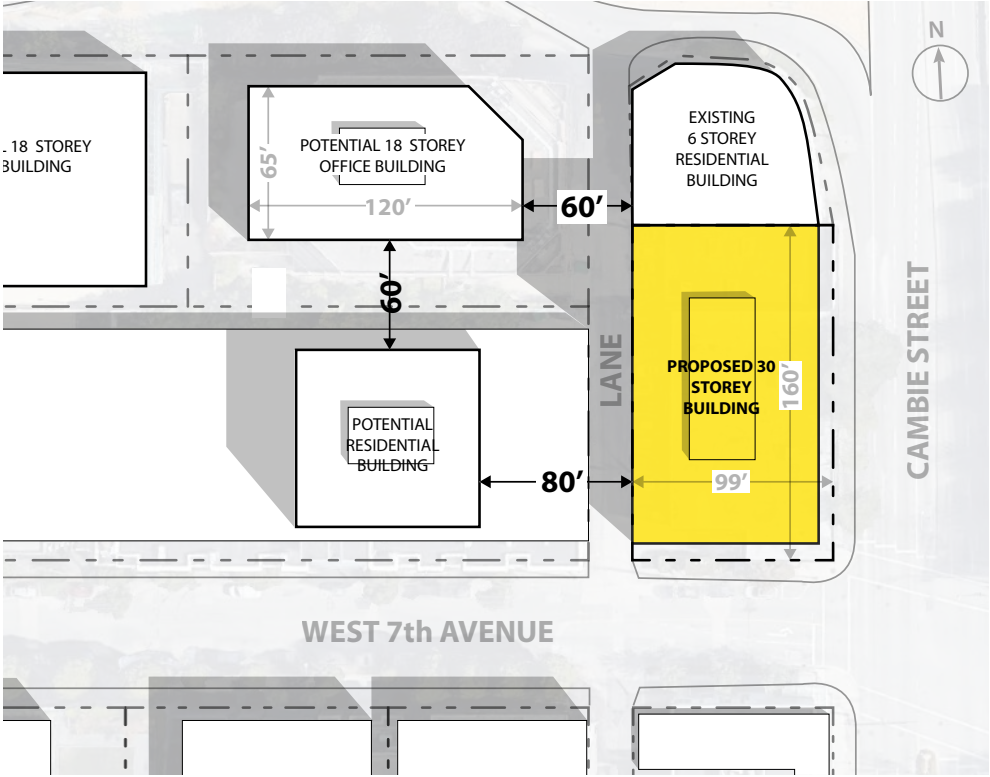
Existing residential building to the west

BLOCK TOWER SEPARATION DEVELOPMENT POTENTIAL

The massing strategy for 2285 Cambie follows a methodical approach to considering site limitations, existing surroundings, and the potential for future developments in line with the Broadway Plan.

The neighboring block holds two potential sites earmarked for tower-style development as per the Broadway Plan. Exploring the massing potential on these sites, in accordance with Broadway Plan policies, informs the potential tower design for the subject site. The Broadway Plan mandates a specified separation distance between building forms exceeding 6 storeys. A 60 ft. gap is required between Office and Residential structures, while a 80 ft. separation is mandated between Residential buildings.

By factoring in the maximum tower floorplate parameters and the necessary tower separations, the proposed massing is shown to be viable without constraining potential future constructions on adjacent sites.



PROPOSED DEVELOPMENT

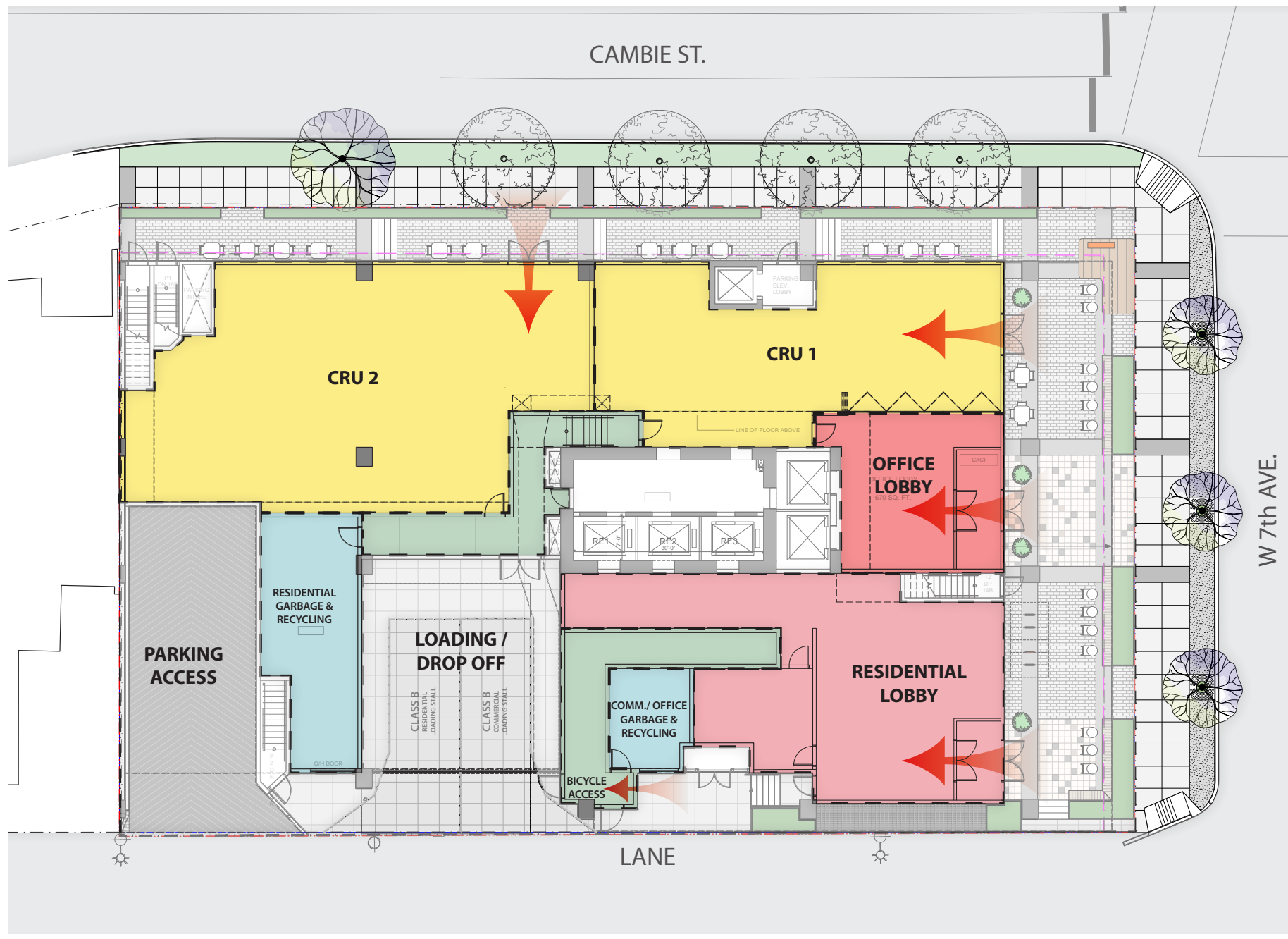


SITE DESIGN

The site layout is characterized by a diverse mixed-use program on the ground level. There are compact retail spaces along Cambie Street fronts and distinctive entries to office and residential lobbies along West 7th Avenue. Towards the rear of the site, service-oriented functions face the lane, encompassing loading areas, parking access, an elevated vista switch, as well as garbage and recycling facilities. A spacious setback plaza links the lobbies to the public space, providing a weather-protected, double-height environment.

Legend

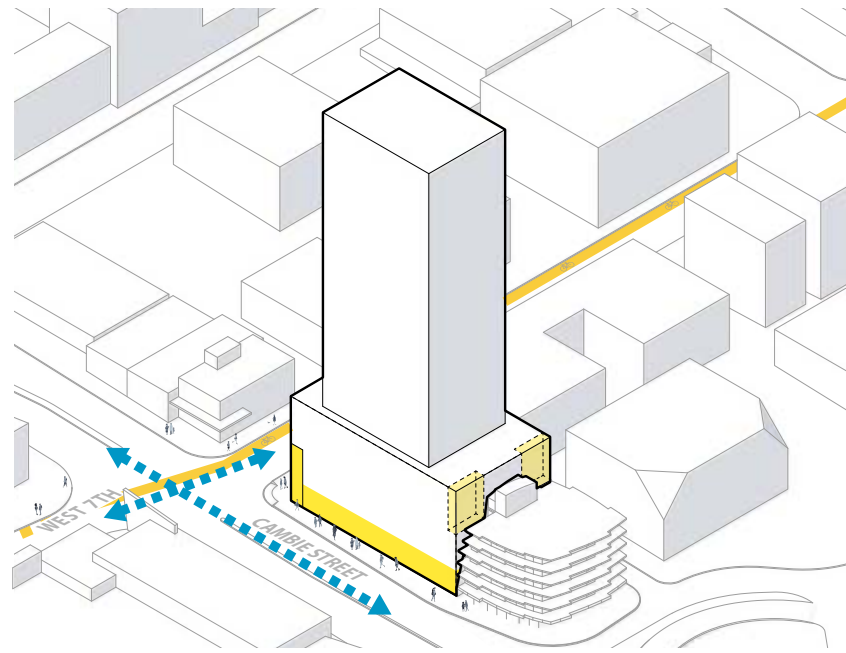
- Office Lobby
- Residential Lobby
- Commercial Units
- Loading Corridor
- Garbage and Recycling room
- Pedestrian Access



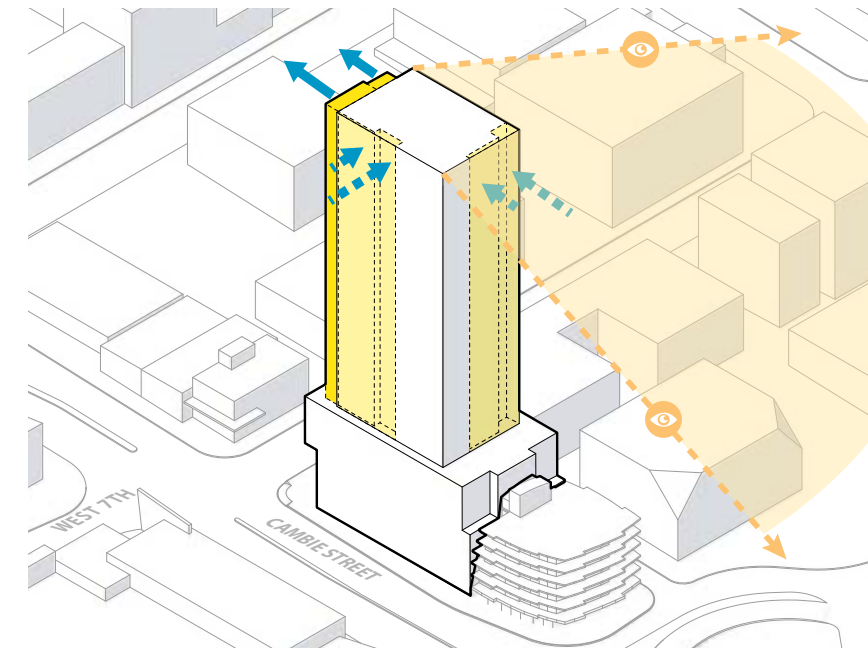
MASSING AND FORM

The massing strategy for 2285 Cambie St. is shaped by balancing numerous inputs including: Built form regulations, functional programming, urban design, and sustainability.

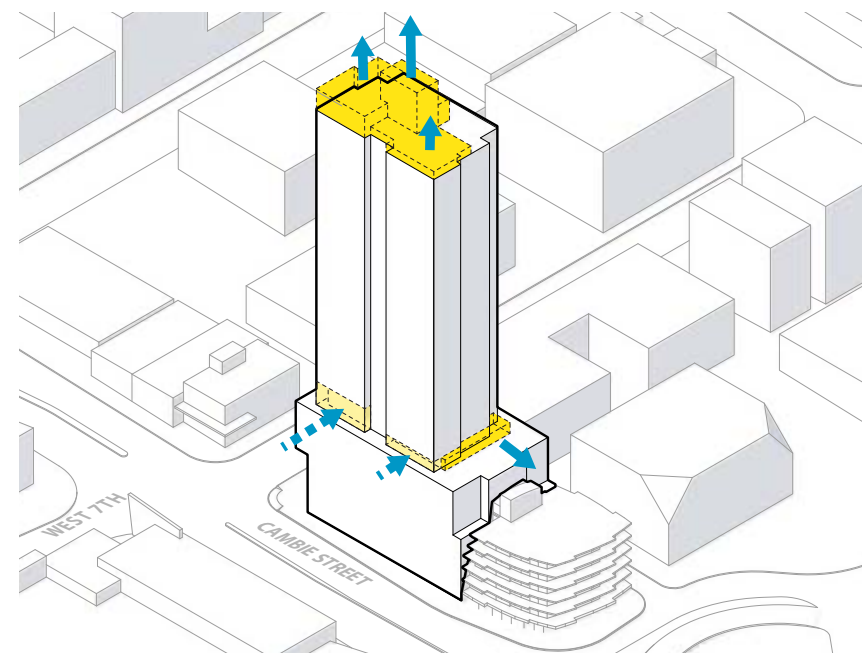
The primary massing takes on two stacked rectangular form, efficiently utilizing the compact site for functional office and residential space and regular structural bays. At ground level, a generous two-story cut-out volume creates a welcoming feature along the West 7th Avenue establishing a clear entry to the office and residential lobby through a privately owned public space. On the rooftop, secondary massings are raised up in steps, establishing a respectful relationship with the building's primary massing expression.



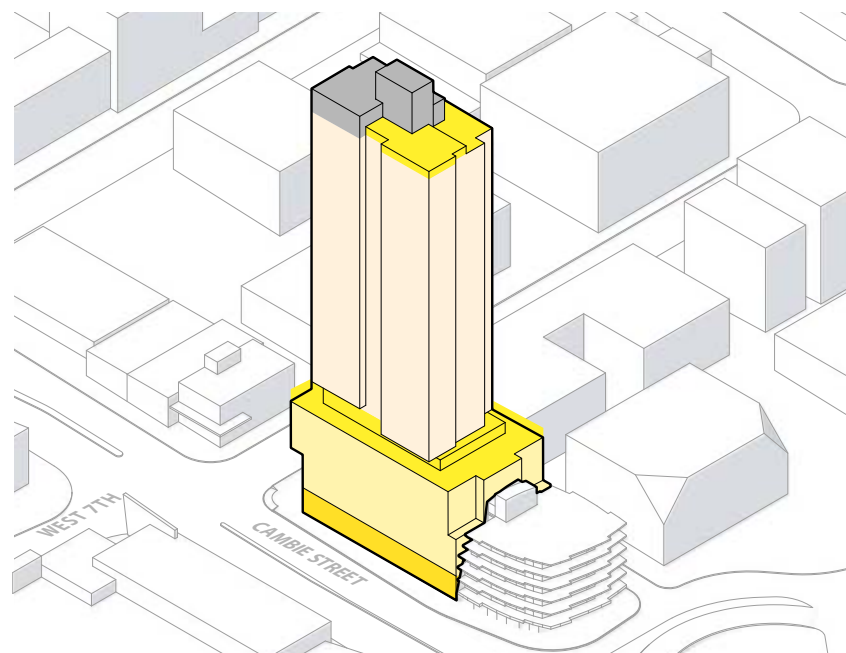
1. Signify public realm with a setback along 7th to welcome pedestrians and cyclists and establish continuous retail along Cambie Street. Provide another setback at the north office levels to maximize daylight to the neighbouring building.



2. Sculpt a slender residential tower to protect neighbouring views while orienting residents towards the iconic panoramas of downtown and North Shore mountains.



3. Terrace tower massing to distinguish program and encourage outdoor rooftop amenities

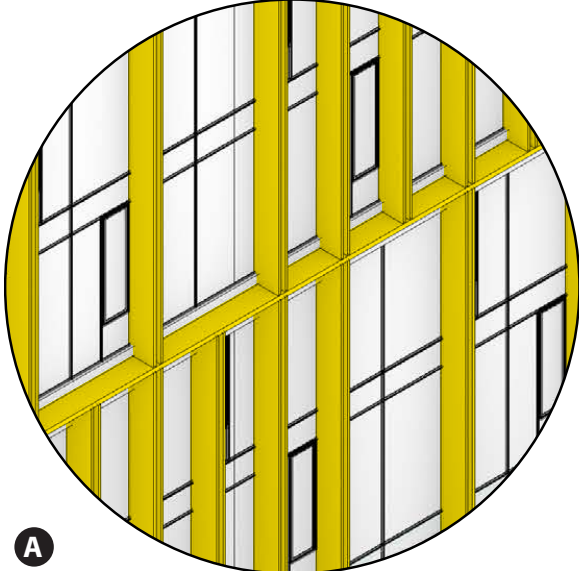


4. Vertically stack programming to activate the public realm while catering to community needs for job space, retail and housing.

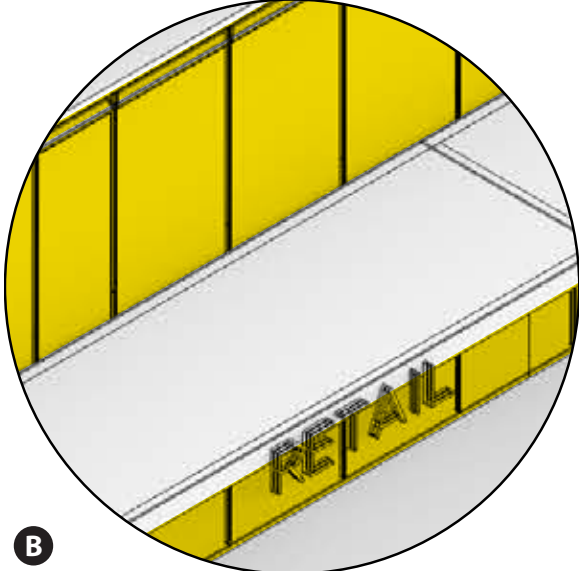


5. Employ a clear and unified architectural language to establish 2285 Cambie as an identifiable marker, creating a sense of arrival at Uptown.

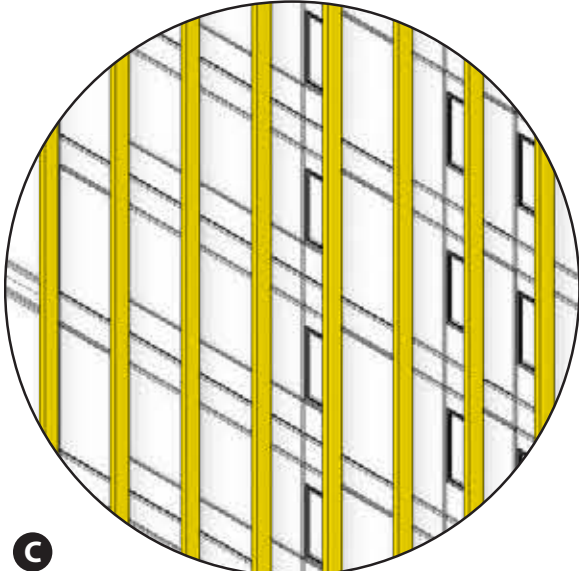
FACADE ARTICULATION



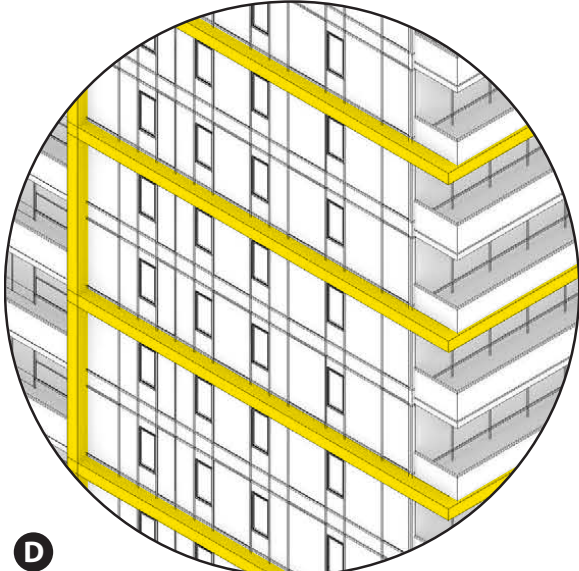
A
 Patternized aluminum framing around the office exterior distinguishes the program while referencing the industrial history of the neighbourhood.



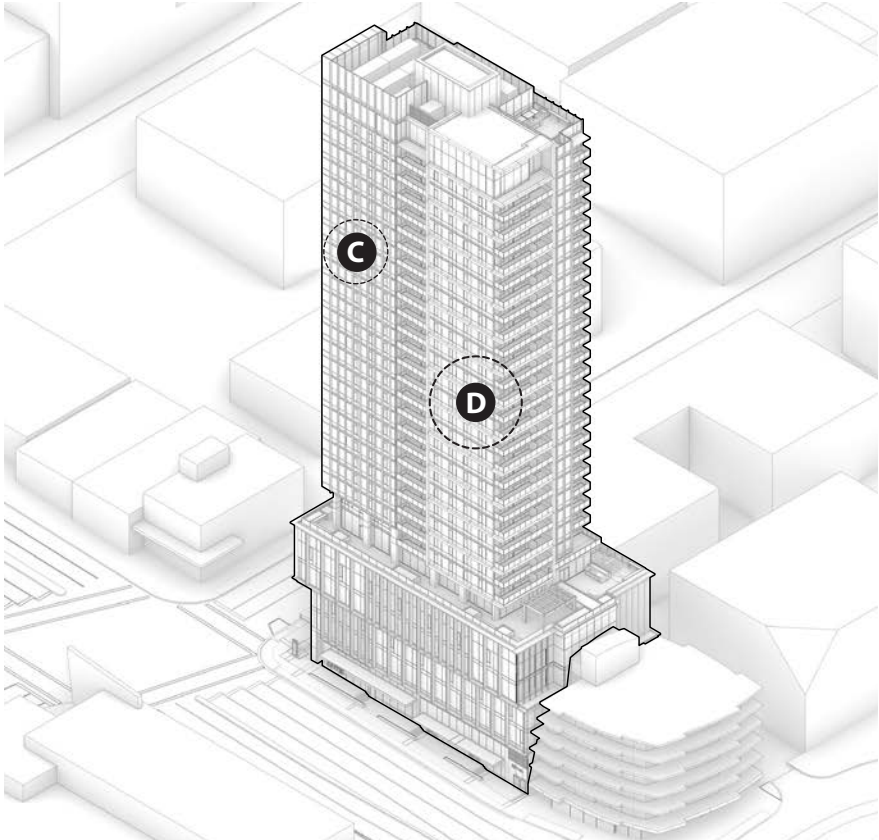
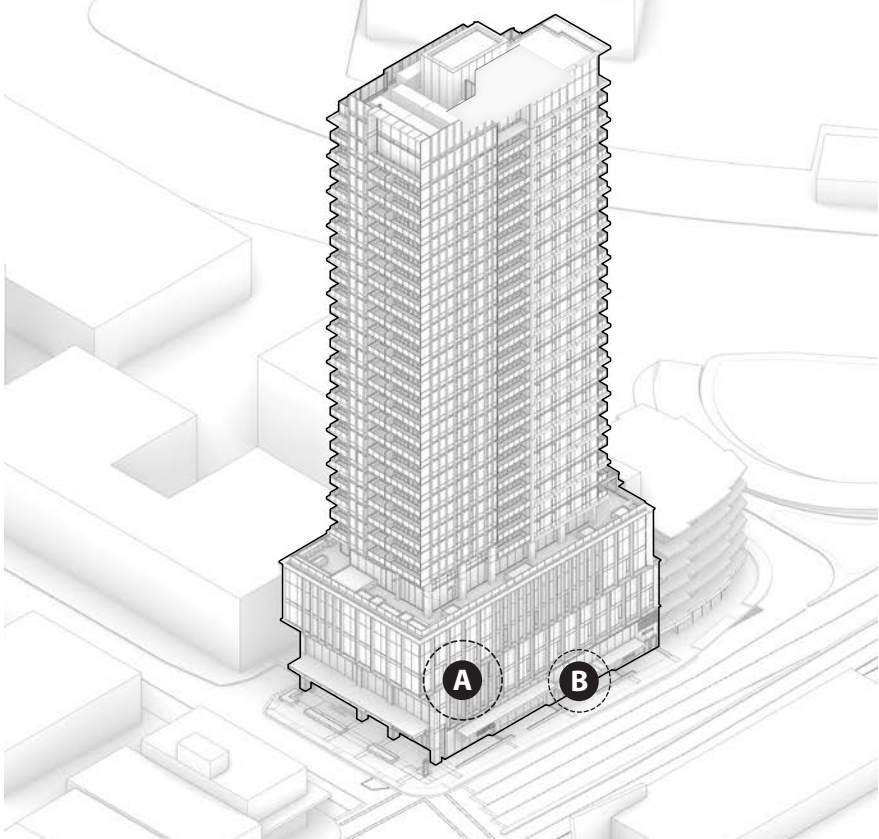
B
 Articulation of the retail street level experience with storefront porosity and welcoming places to sit.



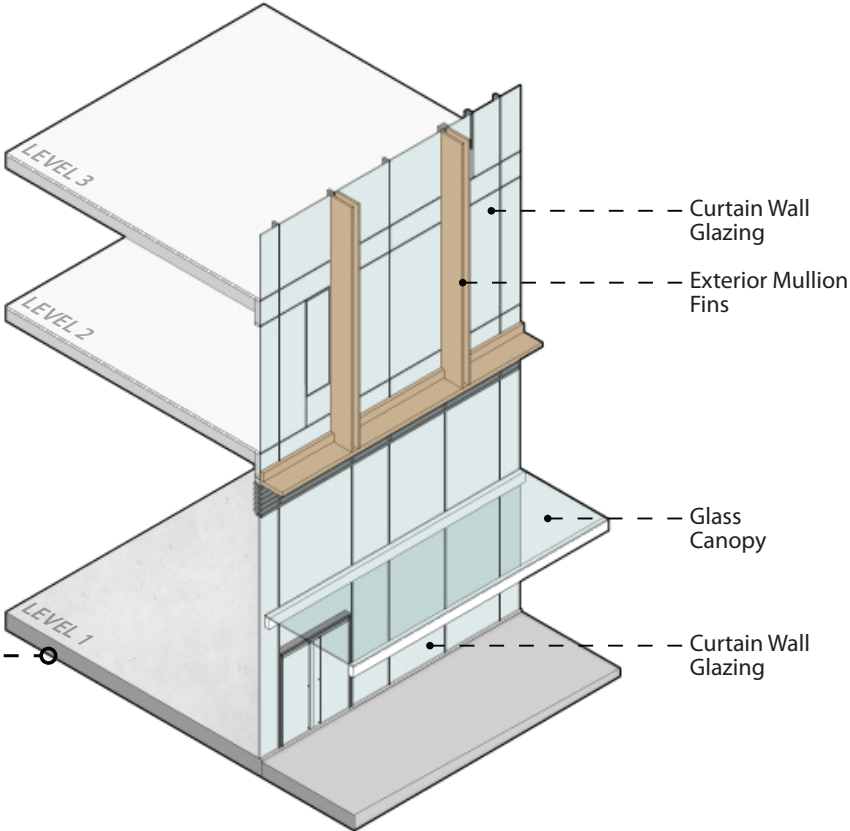
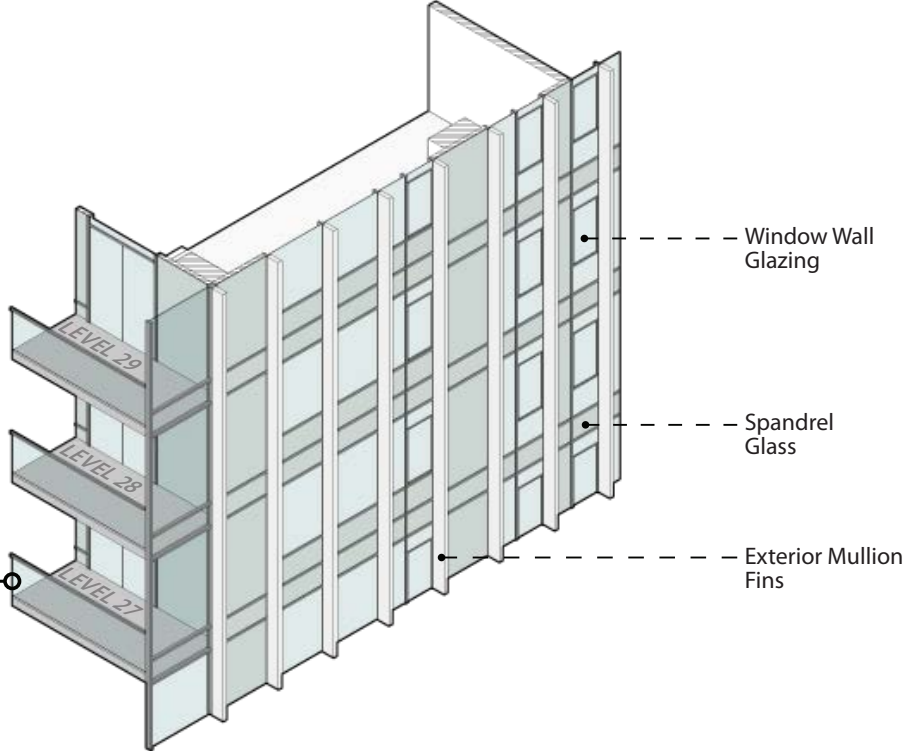
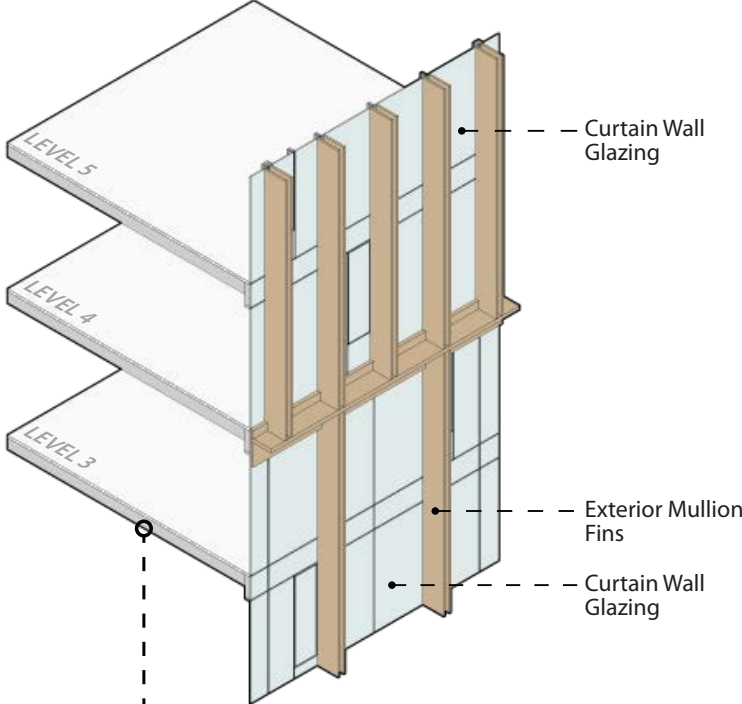
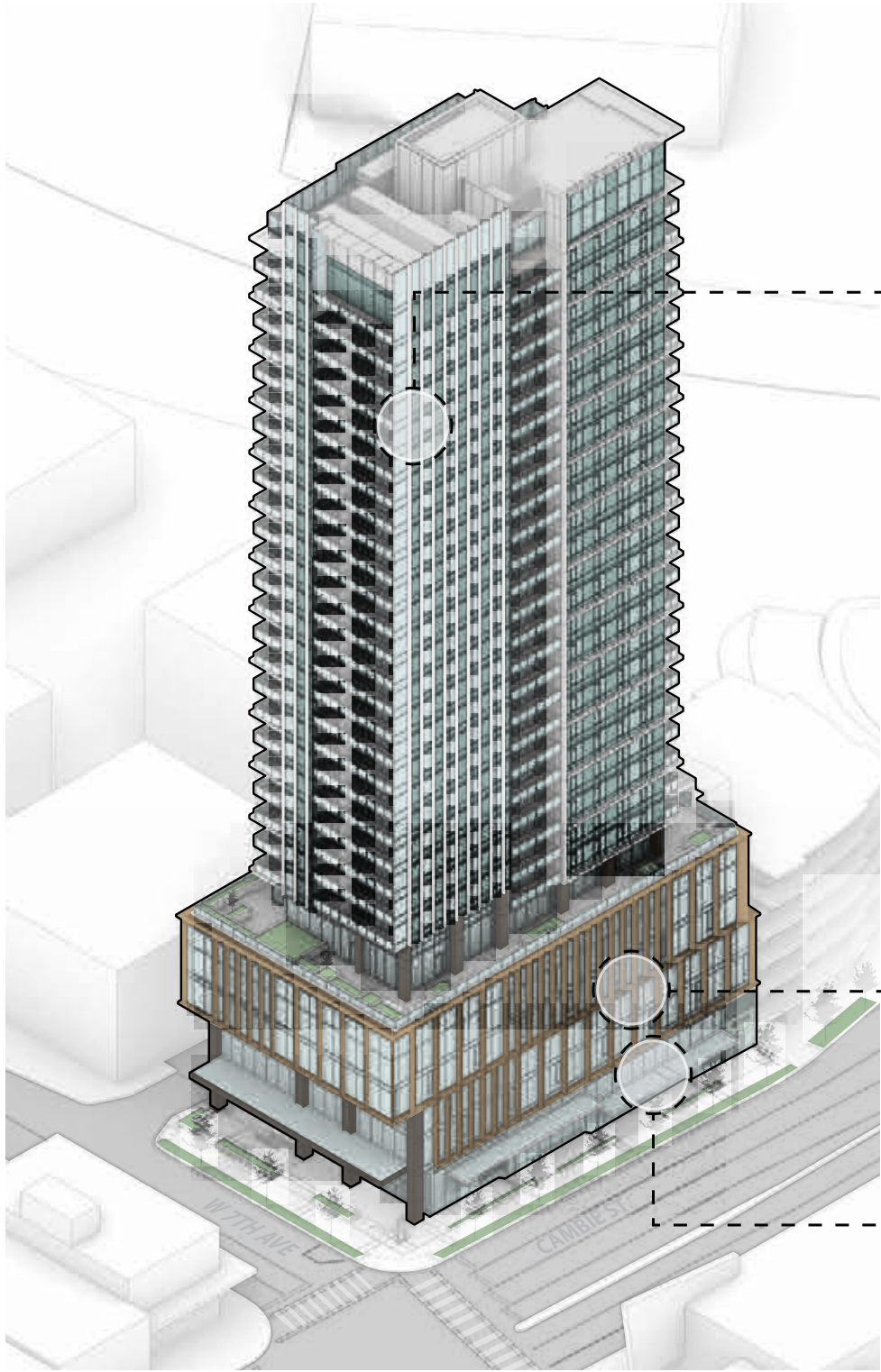
C
 Vertical expression of the tower echoes the aluminum framing used for office facades.



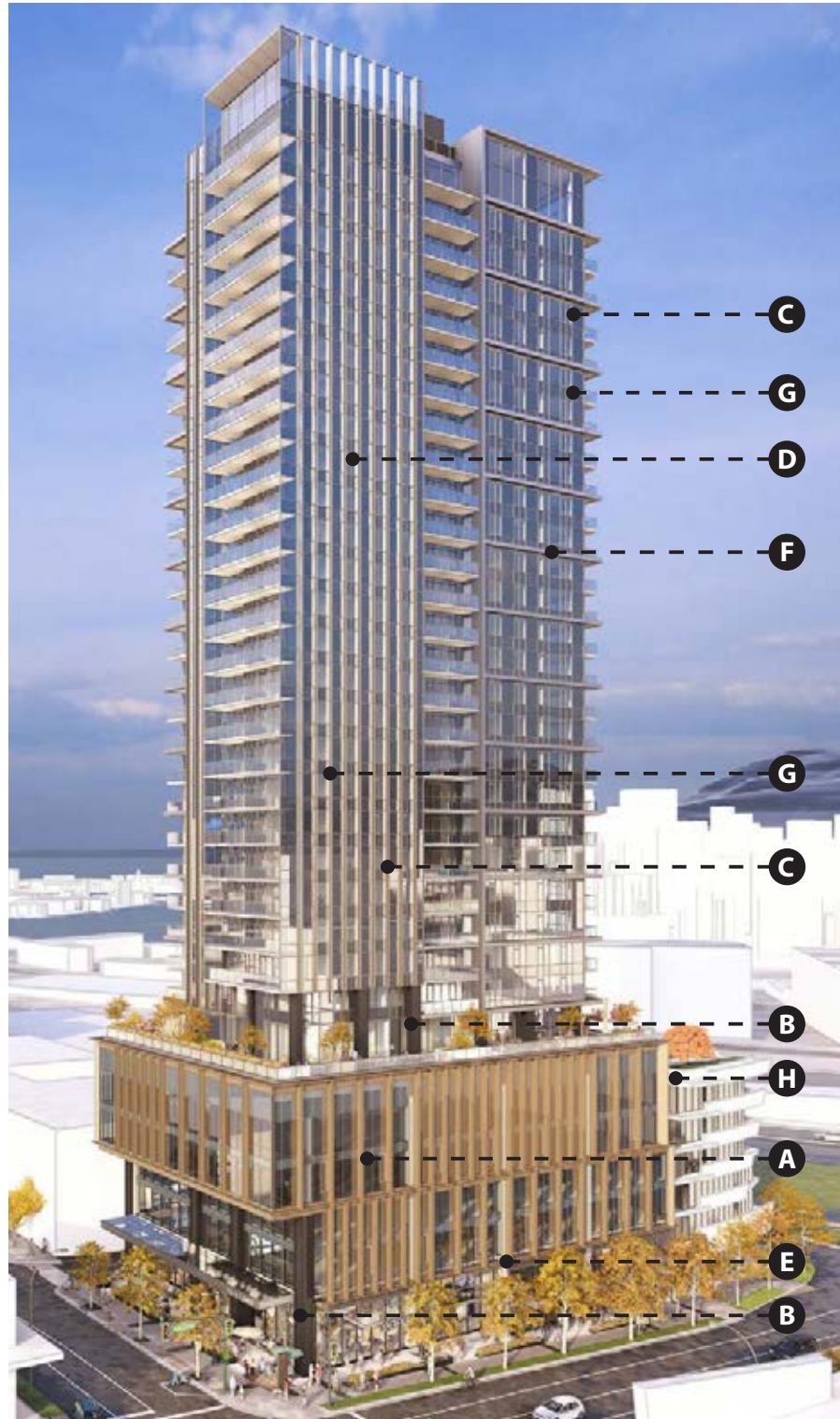
D
 Framing used along the northeast corner of the residential tower to callout views facing the North Shore mountains and defines the corner.



FACADE ARTICULATION



MATERIALITY



MATERIAL LEGEND:



A
Exterior Office Mullion Fins
 The building exterior is broken down into two floor modules by mullion fins in an offset pattern. Fins are omitted in certain locations to reveal interior program, and further break down the scale of the building.



B
Exterior Clad Columns
 Dark metal cladding blends a sophisticated aesthetic with the neighbourhood's industrial past to establish an identifiable and intriguing sense of place.



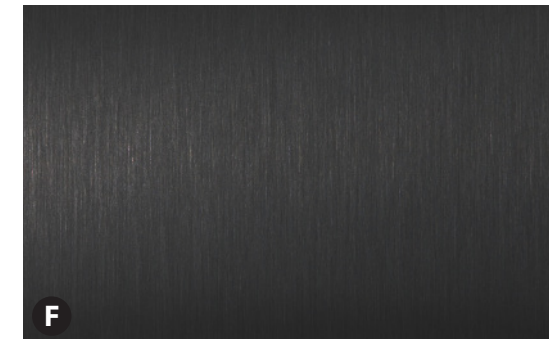
C
Window Wall Assembly
 40% window to opaque wall ratio to reduce energy use while maintaining views and enhancing well-being



D
Exterior Metal Panel
Colour: Grey/Silver
 To accentuate the tower's slender proportions and provide solar shading.



E
Metallic Louvres
Colour: Grey/Silver



F
Metallic Louvres
Colour: Black
 Massing is broken down by horizontal framing to respond to the North Shore's iconic mountain views and provide solar shading.

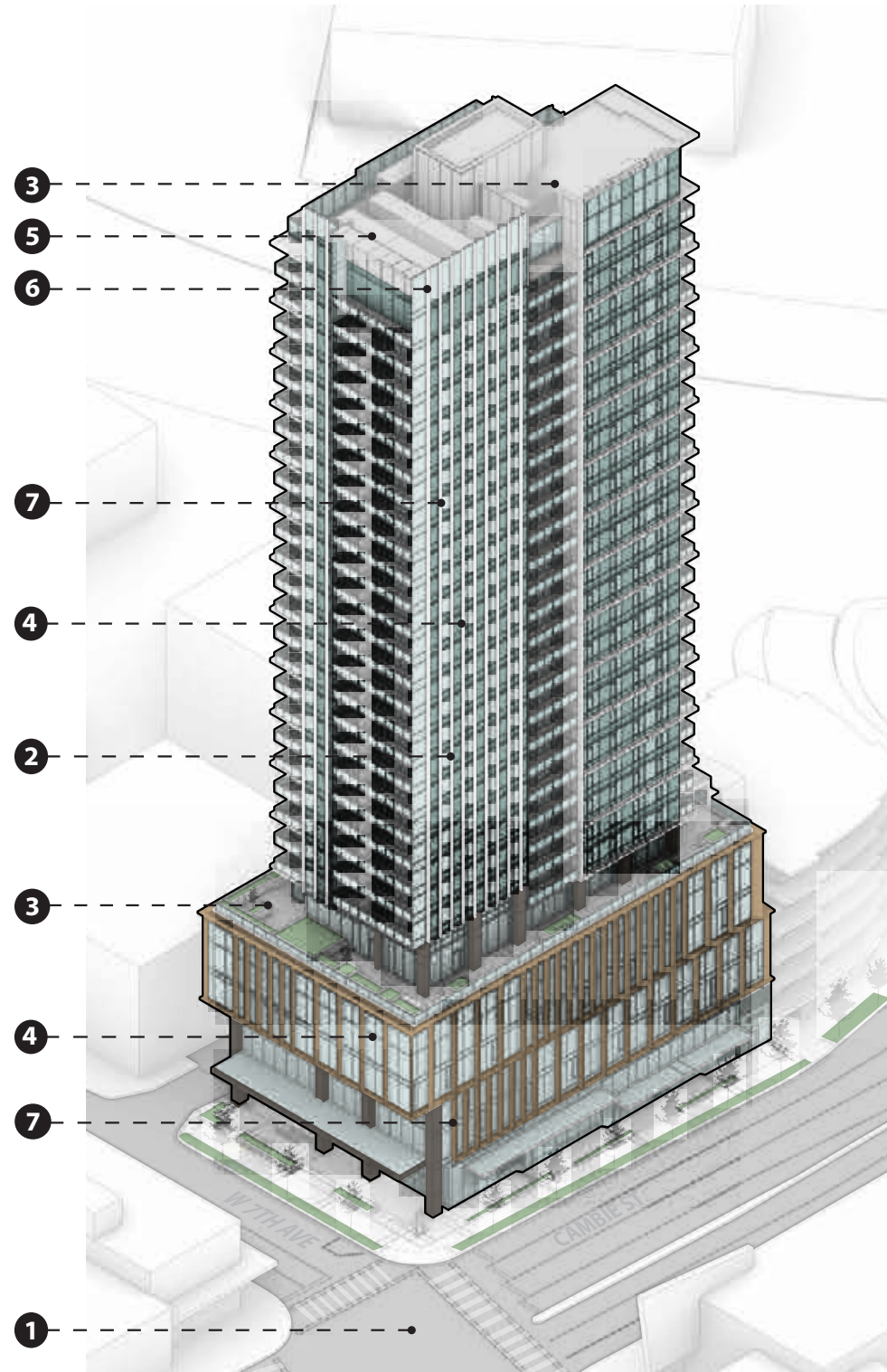


G
Spandrel Glass
Colour: Grey
 Layered behind the curtain wall to ensure privacy for the occupants.



H
Concrete
 Wall against the lot line which defines the property boundary.

SUSTAINABILITY



The project will focus on delivering applicable concepts from the *Green Building Policy for Rezoning* using strategic methodologies to achieve a low embodied carbon footprint, proper climate resilience and energy performance systems, and a rainwater management system that will fully utilize the design of the roofscape. Additionally, the site is situated in a transit oriented location that.



1 Transit Focused Development

The site's location is at the nexus of the Canada Line and the Broadway Extension which should be a driver of high density transit and bikeways.



2 High Performance Glazing Systems

Glazing assemblies will meet VBBL energy and envelope compliance performance requirements when combined with other facade elements.



3 Active Roof Top Landscape

A common roof deck and outdoor amenity area will provide access to nature for the occupants and help control rainwater runoff.



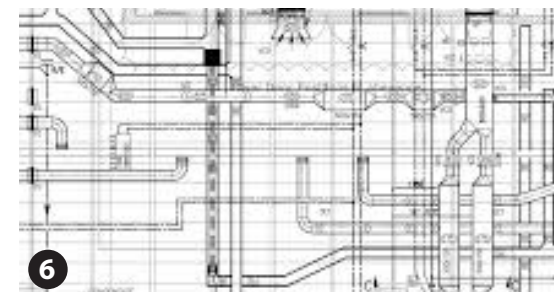
4 Passive Shading

The architectural expression of the facade offers different elements to provide passive shading including spandrel panels and vertical fins.



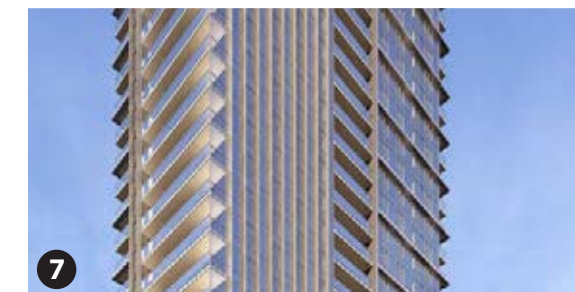
5 Rainwater Management

Green roof and planters in combination with retention tanks control the release of rainwater into the storm sewer system.



6 Efficient HRV Mechanical

Heat Recovery Ventilation with an apparent sensible effectiveness in residential spaces



7 Whole Building Performance

The project to be designed to meet stated Whole Building Performance Limits including window-to-wall ratio and high performance glazing.

SUSTAINABILITY

ENERGY & EMISSIONS PERFORMANCE LIMIT

Following the City of Vancouver’s Low-Carbon Energy Systems Policy, the project intends to pursue the LCES pathway through Type 3: user-owned on-site LCES. The project’s systems design and modeling to date includes equipment suitable for this pathway and the operations component will be further investigated with project ownership as the design progresses.

A preliminary energy model has been conducted to identify building design parameters required to be in compliance with the performance limits for Residential High-Rise buildings with Office and Commercial Retail (connected to a City-recognized low carbon energy system).

Aggregated Performance Limits:

TEUI 131.0 kWh/m²;
 TEDI 37.7 kWh/m²;
 GHGI 3.0kgCO₂/m²

Modeled Performance Results:

TEUI 96.9 kWh/m²;
 TEDI 35.3 kWh/m²;
 GHGI 1.4 kgCO₂/m².

EMBODIED CARBON LIMITS

Preliminary embodied emissions calculations for all major building materials have been conducted based on the building’s rezoning concept design. The results of this model have been compared to an embodied emissions calculation developed to represent a “functionally equivalent” building. The “functional equivalent” embodied emissions analysis has been developed following the City of Vancouver’s embodied carbon modelling guidelines. The goal of this comparison is to affirm the proposed development does not exceed an embodied emissions intensity of two times its functional equivalent as per the VBBL 2025 requirement.

From the proposed buildings, applicable details related to column quantity, span, load and typical wall assemblies have been applied to the various floor, wall, and roof lengths and areas for this building. Various floor, wall and roof areas have been confirmed through the

preliminary energy model. At this stage, the project is still in concept design where the building shape/massing and suite layouts are subject to City approval and other changes. As the project design evolves subsequent embodied emissions models will be updated to assure compliance up to the Building Permit Application stage.

It has been determined based on the concept design of 2285 Cambie Street, the total lifecycle embodied emissions Global Warming Potential intensity is 10% less than its’ functional equivalent. To achieve this performance the project team will need to evaluate proven carbon saving technologies such as low carbon concrete.

| Embodied Emissions of both the Proposed and Functional Equivalent Design | | | | | |
|--|---|----------------------------------|--|-------------------|------------------------|
| | Unit | Functionally Equivalent Building | Allowable Limit (10% reduction from baseline (assuming responsible material sourcing)) | Proposed building | Percent Difference (%) |
| Global Warming Potential | kg CO ₂ eq | 8.40E+06 | 7.56E+06 | 7.53E+06 | -10% |
| Global Warming Potential Intensity | kgCO ₂ eq/m ² | 370.37 | 333.33 | 332.07 | |
| Global Warming Potential Annualized Intensity (60-year building life expectancy) | kgCO ₂ eq/m ² /year | 6.17 | 5.55 | 5.38 | |

*Functional equivalent building developed based on City of Vancouver Embodied Carbon Modelling Guidelines

RENTAL RESIDENTIAL

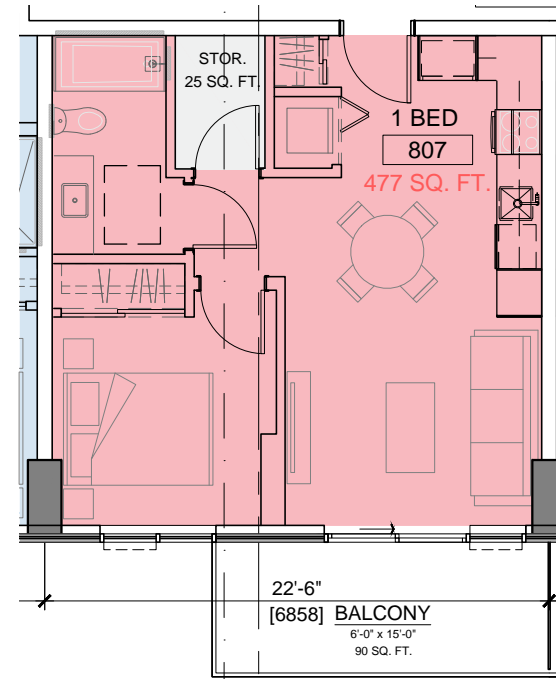
Unit Mix

The design proposes 212 market rental residential units within levels 7 through 30. Rental housing in this location supports active and public transportation and generates community to support local economies and amenities.

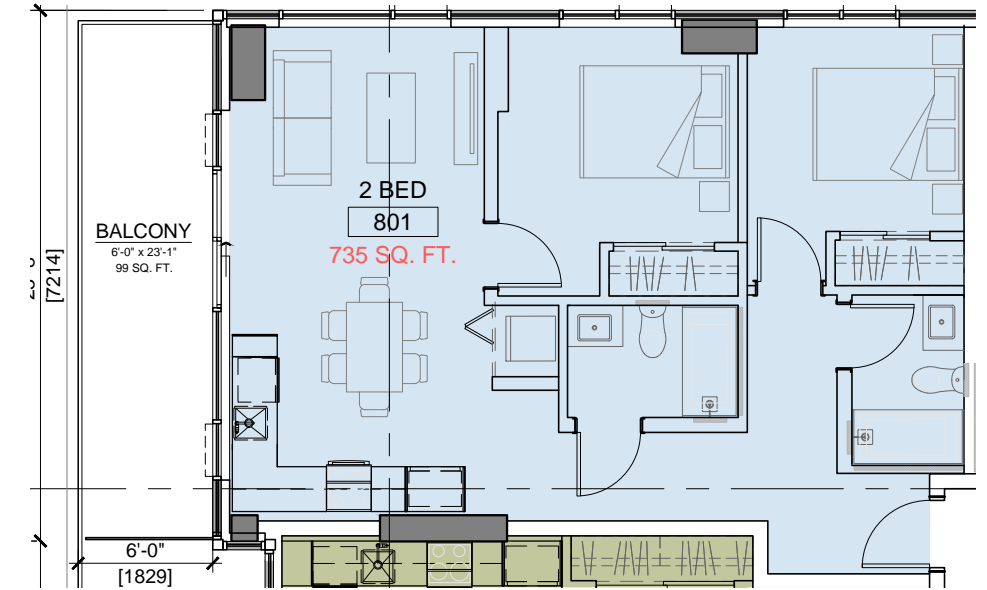
Unit mix and sizes are in accordance with rental policy and High Density Housing for Families with Children Guidelines; 54.7% one bedroom, 25.5% two bedroom, and 9.9% three bedroom. A typical floor plate of 7,150 sq.ft. on Levels 8-27 contain 9 units made up of Studio, One, Two, and Three bedroom suites. Levels 28-30 offers larger units with families in mind.

All units have access to private balconies that exceed the minimum 50 sq.ft. required by the Broadway Plan, with at least 6 ft. of depth to accommodate comfortable outdoor living.

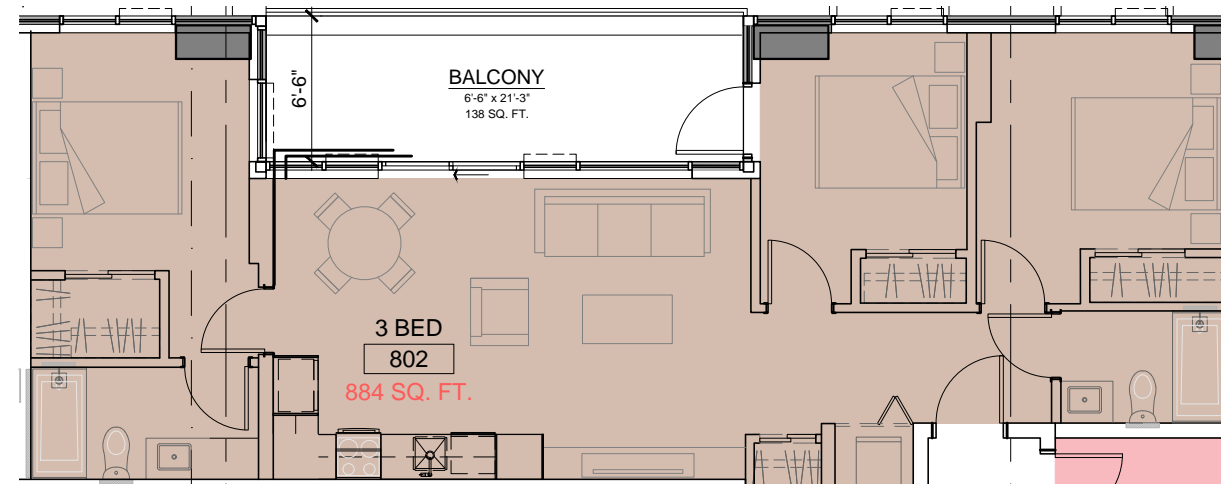
Most units are equipped with in-suite storage with the remainder having dedicated secured lockers within parking levels.



Typical 1 bedroom unit layout



Typical 2 bedroom unit layout



Typical 3 bedroom unit layout

OFFICE SPACE

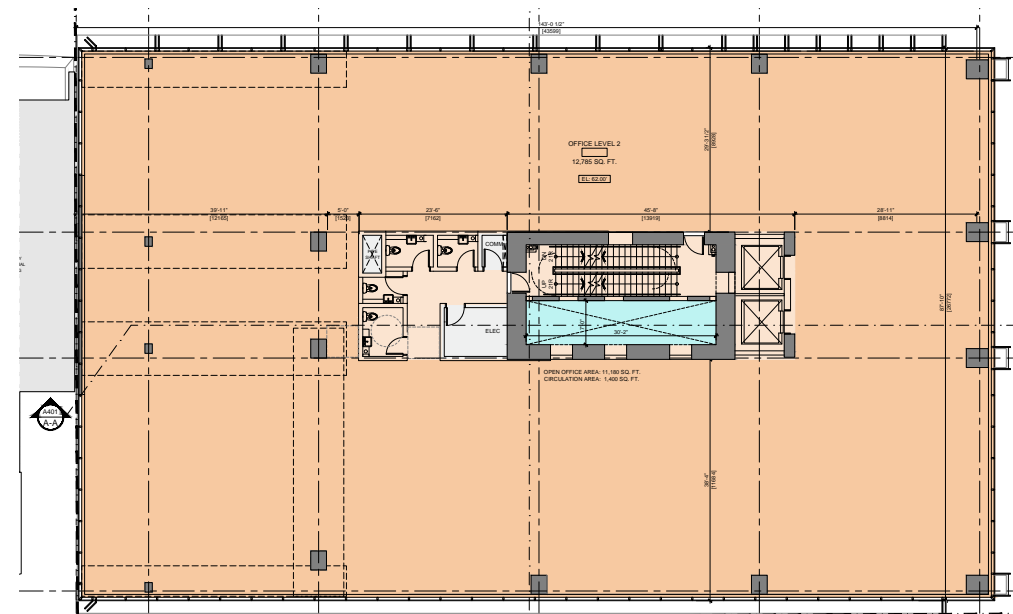
Four office levels range in area from 12,500 sq.ft. to 13,500 sq.ft., with floor plates designed such that they be suitable for larger single tenants or multi-tenant configurations.

Generating new office space within the FUCC area complies with the region's primary policy intent. With the proposed building's proximity to Olympic Village Station and Broadway City Hall Station, the location becomes paramount to reducing reliance on private vehicles.

The office podium will be clad with a high performance curtain wall system that includes integrated external shading fins.



View looking north-west from the corner of Cambie and W. 7th Ave.



Typical Office Floorplate

AMENITIES

The proposed building includes multiple indoor and outdoor amenity spaces for both office and residential occupants that support enhanced livability, wellness, and community within the building.

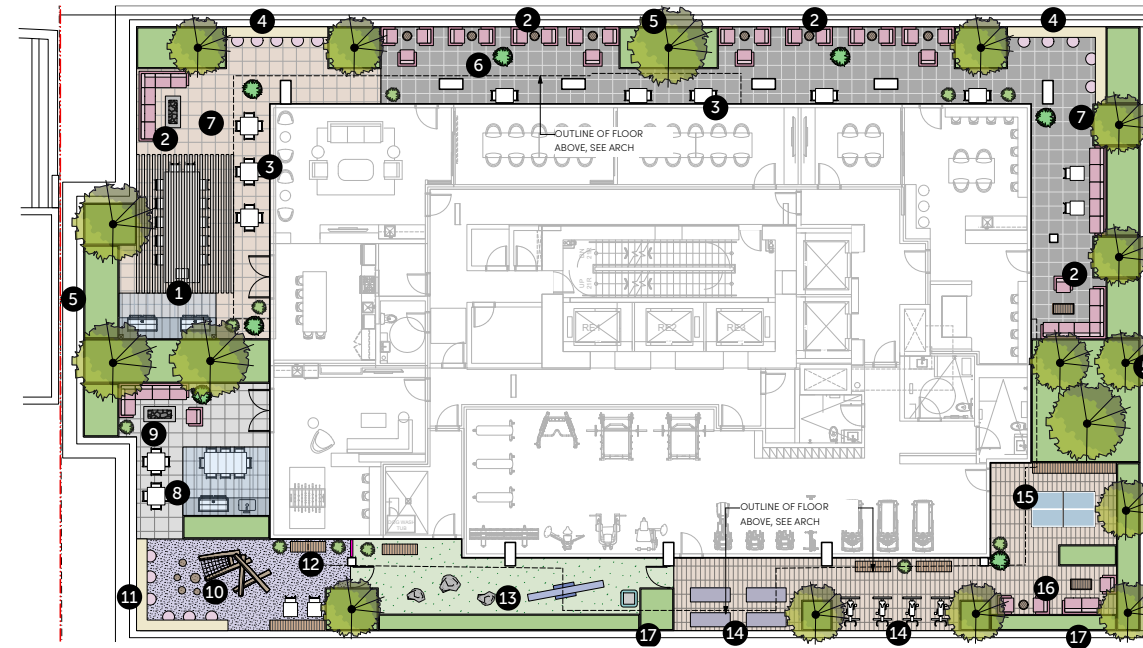
Level 6

The communal amenity space at level 6 blends the office tenants with the tower's residents. A shared fitness centre of 1,800 sq.ft. overlooks English Bay, while outdoor dining and lounge areas are complimented by a backdrop of the North Shore mountains.

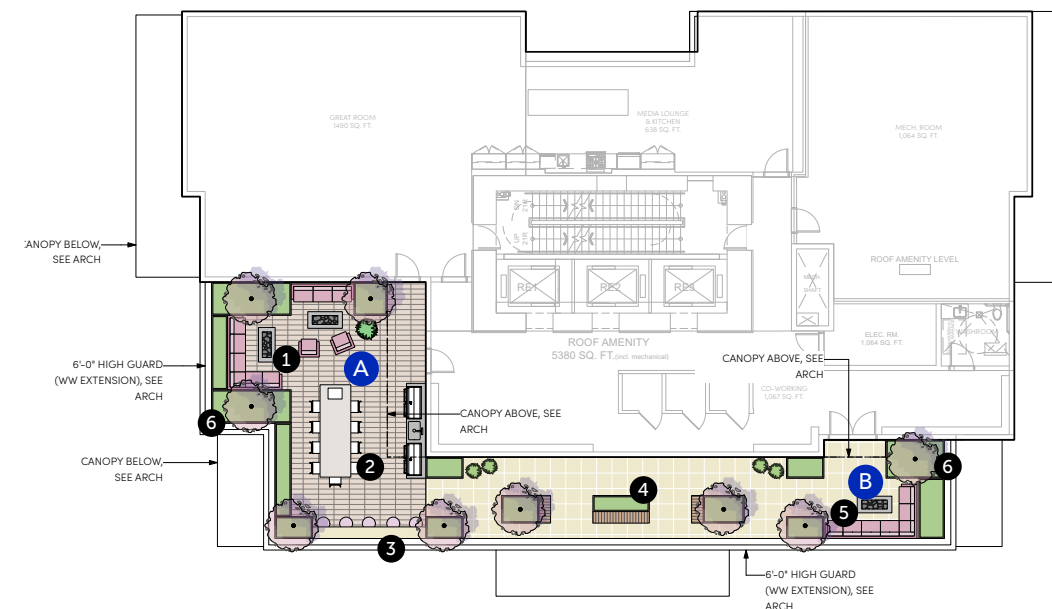
The exterior amenity deck is accessed from multiple interior points. A program feature list includes kids play area, dog run, lounge areas, outdoor fitness terrace, and barbeque space.

Rooftop Amenity

The rooftop amenity space provides over 270 degree view of Vancouver's iconic landscapes to the west, north, and east, highlighting the spectacular view towards Ch'ích'yúy Elxxwíkn (the 'Two Sisters' or the 'Lions') and the North Shore Mountains.



Level 6 Amenity



Rooftop Amenity



Level 6 outdoor amenity space.



Rooftop outdoor amenity space.



View looking west along Cambie Street.



View looking northeast from the corner of laneway and West 7th Avenue.

PUBLIC REALM

The design of the office building's public realm prioritizes user experience, community engagement, and commercial vitality.

Pedestrian-Centric Design

A pedestrian-first approach informs the setback along W. 7th Ave., ensuring safe and seamless circulation. Wide walkways, ample seating, and lush landscaping create an inclusive environment, encouraging leisurely strolls and impromptu gatherings.

Retail Integration

Integrated retail units activate the ground level, featuring 18' to 25' ceilings. The intent is to lease retail spaces to thoughtfully curated tenants, including cafes, boutiques, and services, catering to diverse needs and adding vibrancy to the public realm.

Landscaping and Greenery

Landscape softens the urban environment, providing a buffer between the streets. Native planting and low-maintenance landscaping ensure a sustainable, inviting atmosphere year-round.

Universal Accessibility

Thoughtful design elements, including ramps, tactile paving, and ample seating options, prioritize accessibility for all users, ensuring an inclusive and welcoming experience.



View looking northwest from the corner of Cambie and W. 7th Ave.



View looking north along W. 7th ave.



View looking northwest from the corner of Cambie and W. 7th Ave.



Street view from West 7th Ave.



View looking north from W. 7th Ave.



View looking south from W. 2nd Ave.

LANDSCAPE ARCHITECTURE

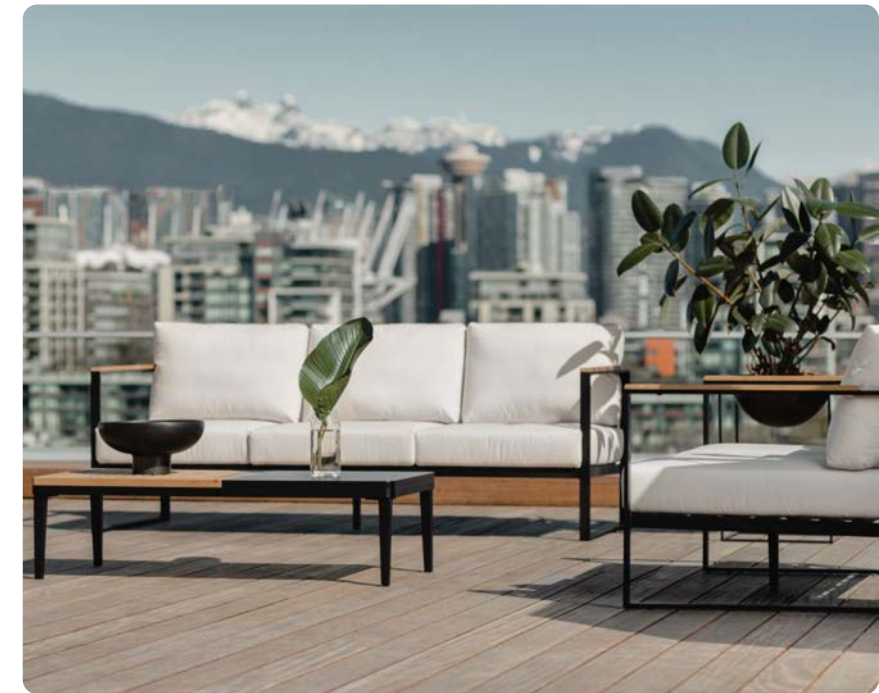
LANDSCAPE DESIGN INSPIRATION + THEMATICS



**ARCHITECTURAL FORM
AND MATERIALITY**



**PUBLIC REALM ENGAGEMENT
+ PUBLIC ART**



**FLEXIBLE USE
ROOFTOP + VIEWS**

DESIGN CONSIDERATION: GROUND LEVEL

1 CAMBIE STREET FRONTAGE

- PRESERVE EXISTING TREES, ADD CONTINUOUS PLANTING BUFFER TO MITIGATE NOISE + TRAFFIC
- ACTIVATE CRU FRONTAGE BY INTRODUCING TERRACES, STEPS + PLANTERS + SEATING
- INTRODUCE FEATURE PAVING + FURNISHING

2 "GATHERING NODE"

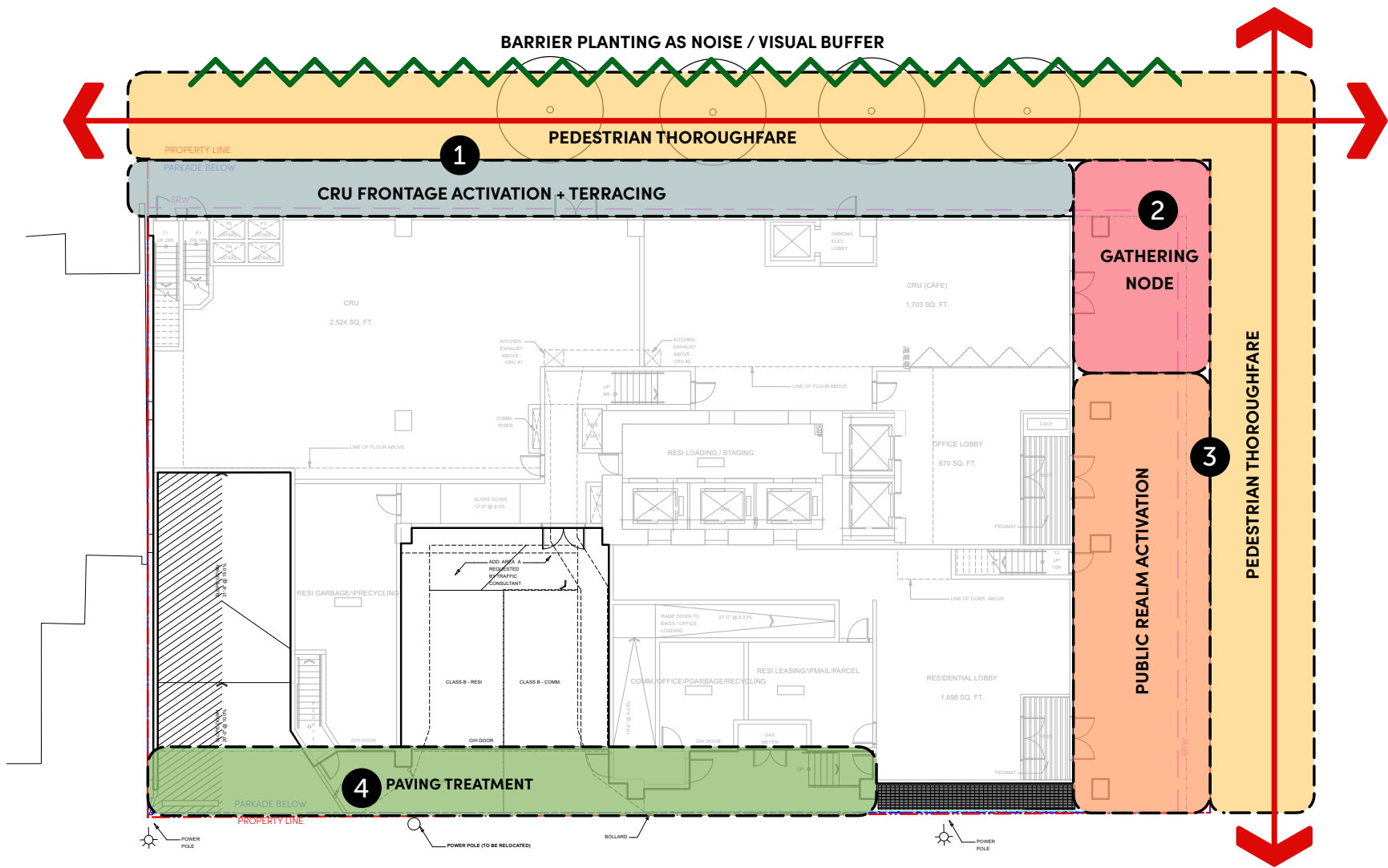
- FEATURE SEATING OPPORTUNITIES + WAYFINDING OR DIGITAL MEDIA SIGN TO PROMOTE AND ENCOURAGE THE USE OF THE PUBLIC REALM
- ACTIVATE CRU

3 WEST 7TH AVENUE FRONTAGE

- ADD STREET TREES FOR SHADE
- ALLOW FOR ROADSIDE PARKING
- PAVING / GEOMETRY INSPIRED BY ARCHITECTURAL FACADE
- ACTIVATE PUBLIC REALM VIA FURNISHING + PAVING + LIGHTING

4 REJUVENATED 'BACK-OF-HOUSE'

- INTRODUCE FEATURE PAVING + LIGHTING TO ANIMATE LANE FRONTAGE
- EXPLORE VERTICAL GREEN WALL TO BUFFER EXPANSIVE WALLS



1 GROUND LEVEL LANDSCAPE DESIGN CONSIDERATIONS
Scale: 3/32" = 1'-0"

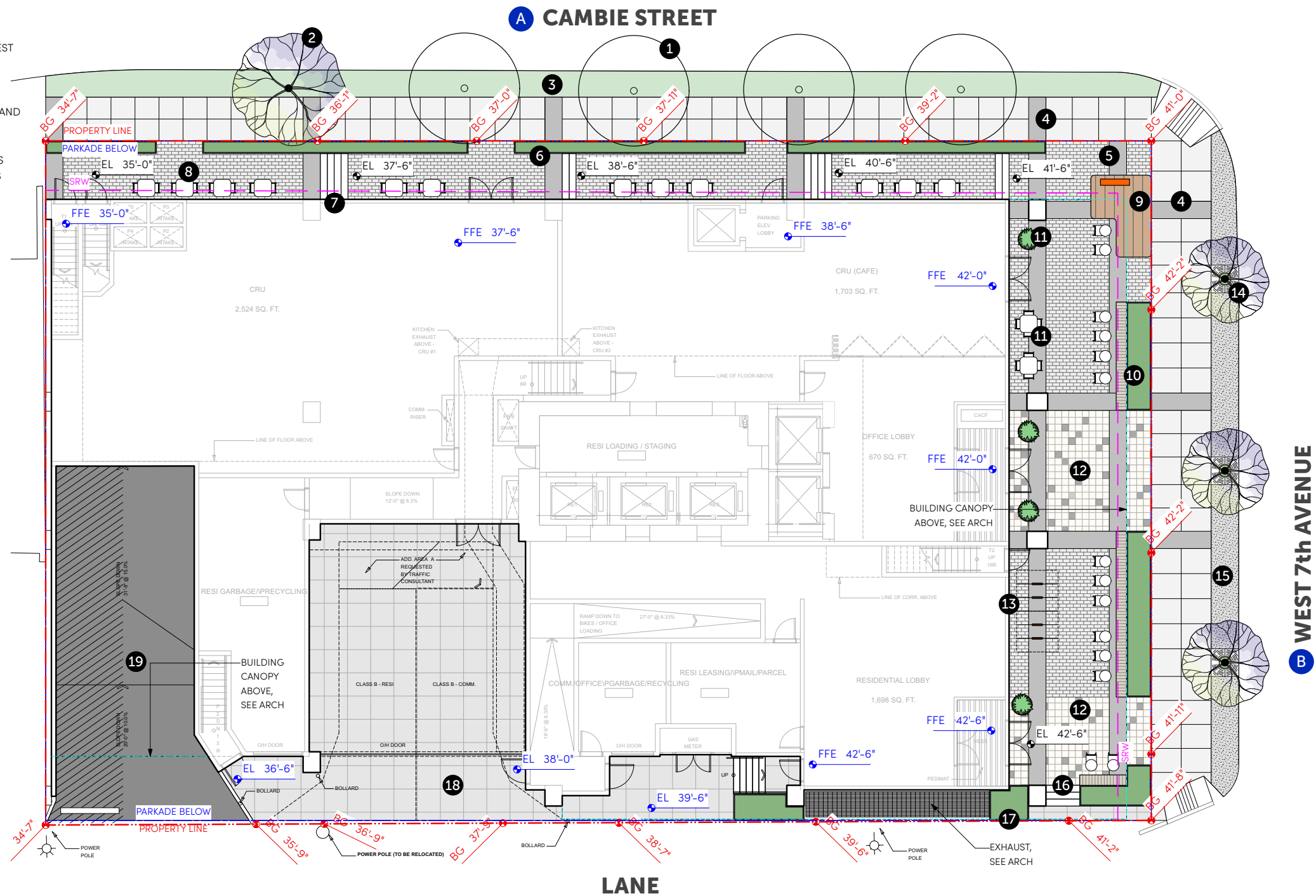
ACTIVATED AND WELCOMING PUBLIC REALM, WITH PROGRAMMING AND MATERIALITY TO RESPOND TO THE BUILDING'S ARCHITECTURE AND INTERIOR USES. ALONG CAMBIE STREET'S RETAIL FRONTAGE, FEATURE PAVING AND BANDING ALIGN WITH THE BUILDING COLUMNS, WHILE METAL PLANTERS WITH FEATURE PLANTING AND LIGHTING ARE PROPOSED TO CREATE RETAIL TERRACES. ALONG WITH MOVEABLE FURNISHINGS PROVIDING INTEREST AND PLACES TO SIT YEAR ROUND.

AT THE SOUTHEAST CORNER, A PUBLIC "GATHERING NODE" WITH DECK SEATING AND WAYFINDING SIGNAGE ENHANCE ANCHOR THE PUBLIC REALM. SIMILARLY, ALONG WEST 7TH AVENUE, LINEAR PLANTING STRIPS WITH INTEGRATED BENCH SEATING NOT ONLY HELP DEFINE THE SPACE BUT ALSO CREATE SPACES FOR SOCIAL INTERACTION. THE PAVING GEOMETRY TAKES A CUE FROM THE ARCHITECTURAL EXPRESSION OF THE BUILDING, AND A DIFFERENT PAVER PATTERN AND COLOUR IS USED FOR THE OFFICE AND RESIDENTIAL LOBBY ENTRANCES.

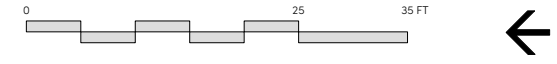
AT THE LANE FRONTAGE, SIMPLE PAVING TREATMENT WITH SCORED CIP CONCRETE IS PROPOSED FOR THE LOADING AREAS. RAISED METAL PLANTERS WITH HARDY PLANTS WILL ADD VEGETATION TO SOFTEN THE BACK OF HOUSE.

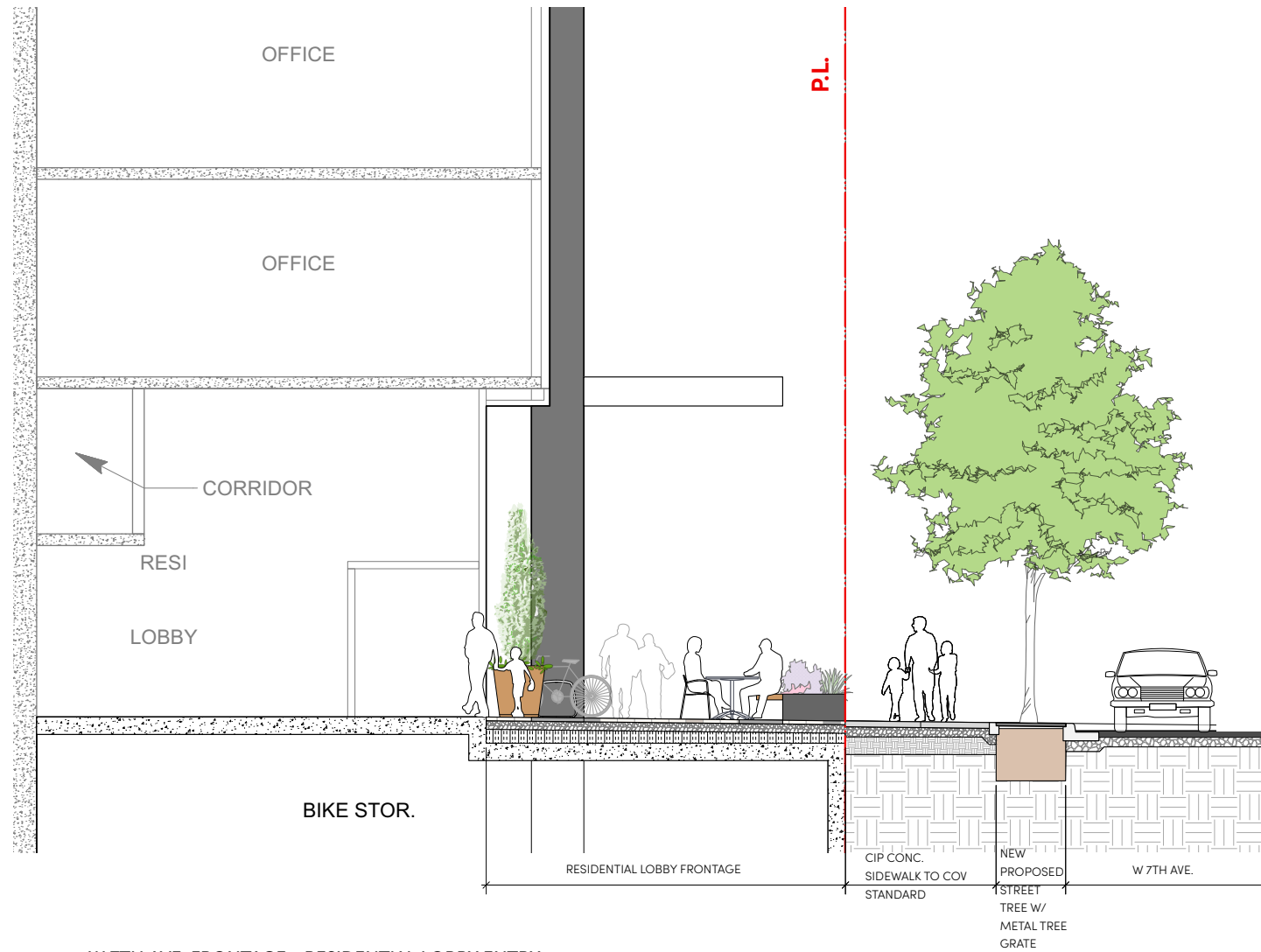
KEY LEGEND

- A CAMBIE STREET FRONTAGE**
- 1 EXISTING TREES TO BE RETAINED
- 2 NEW PROPOSED TREE
- 3 GROUNDCOVER + BARRIER PLANTING AT BASE OF TREES ALONG CAMBIE STREET
- 4 CIP CONCRETE SIDEWALK W/ CONCRETE BANDS
- 5 FEATURE UNIT PAVING W/ BANDS
- 6 RAISED PLANTERS W/ FEATURE PLANTING + LIGHTS - TO CREATE RETAIL TERRACES ALONG BUILDING FRONTAGE
- 7 CIP CONCRETE STEPS
- 8 MOVABLE TABLE + CHAIRS
- B WEST 7TH AVENUE FRONTAGE**
- 9 SESAT DECKING W/ TABLES & CHAIRS + SIGNAGE
- 10 METAL PLANTER INTEGRATED WITH BENCH + TABLES & CHAIRS
- 11 MOVABLE TABLES + PLANTER POTS
- 12 OFFICE + RESIDENTIAL LOBBY FEATURE PAVING
- 13 BIKE RACKS (6 PARKING SPACES)
- 14 NEW PROPOSED STREET TREES IN GRATES W/ OUTLETS FOR LED STRING LIGHTS
- 15 4' WIDE EXPOSED AGGREGATE
- 16 CIP CONCRETE STEPS
- C LANE FRONTAGE**
- 17 RAISED METAL PLANTER
- 18 CIP CONCRETE PAVING WITH SAW-CUTS
- 19 RAMP TO PARKADE (SEE ARCH)

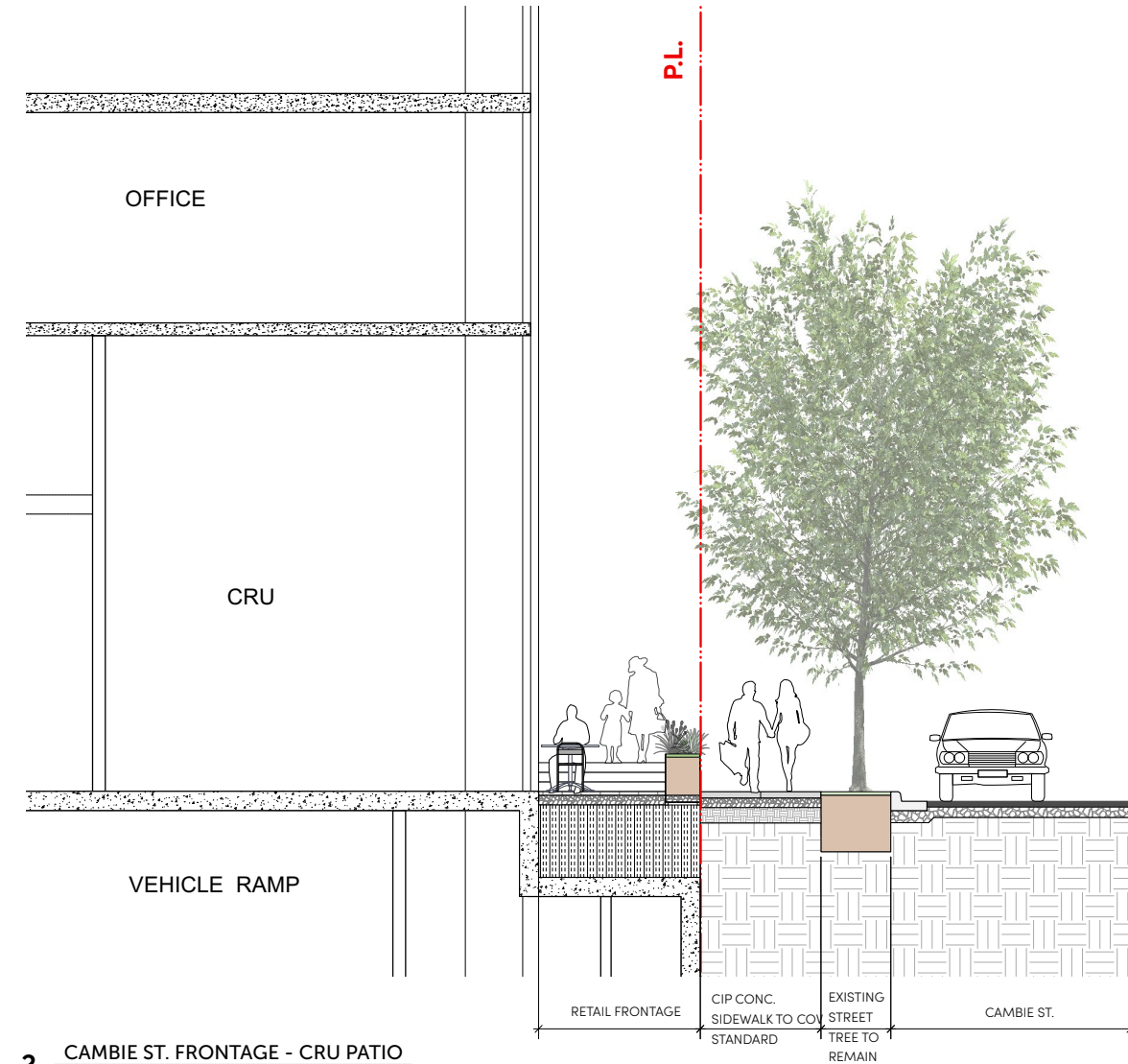


1 GROUND LEVEL LANDSCAPE PLAN
Scale: 1/8" = 1'-0"





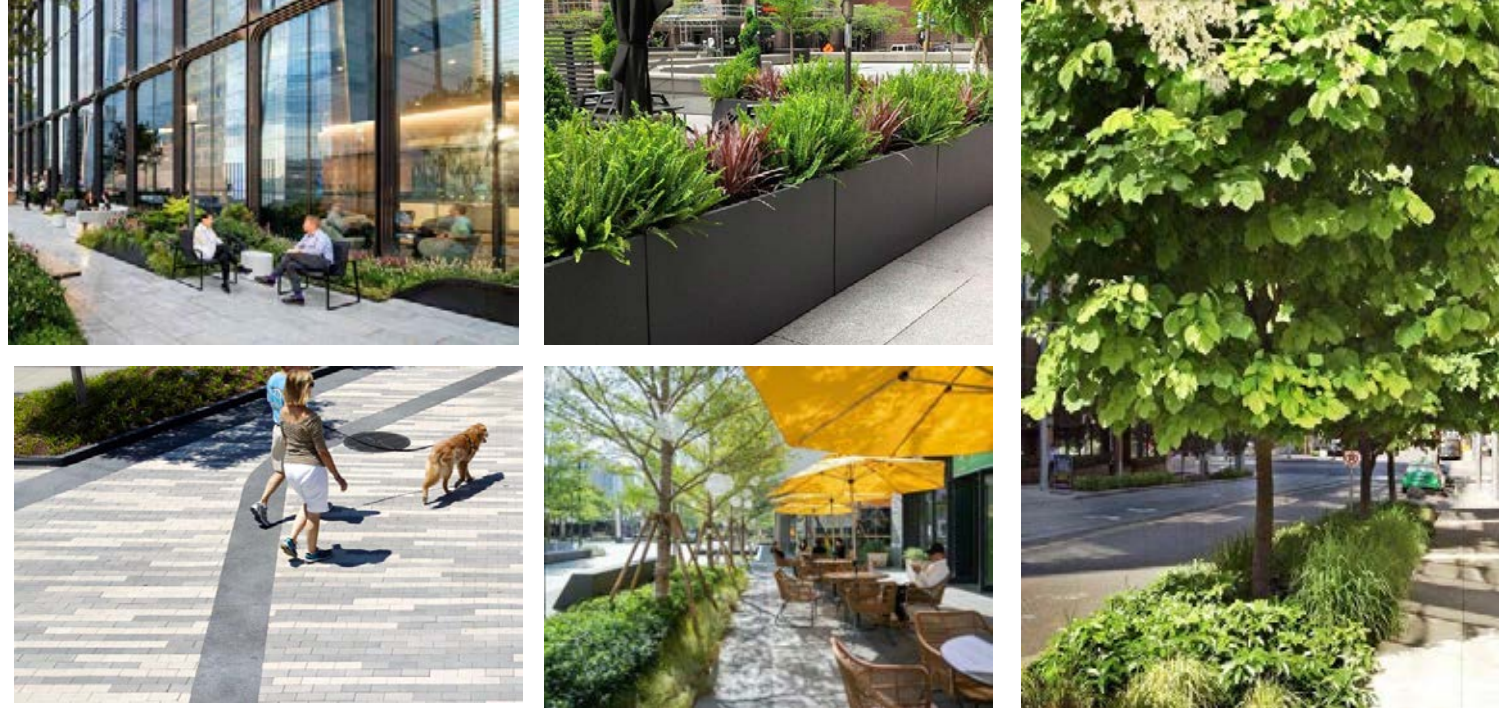
1 W 7TH AVE. FRONTAGE - RESIDENTIAL LOBBY ENTRY
Scale: 1:50



2 CAMBIE ST. FRONTAGE - CRU PATIO
Scale: 1:50

GROUND LEVEL PRECEDENT IMAGES

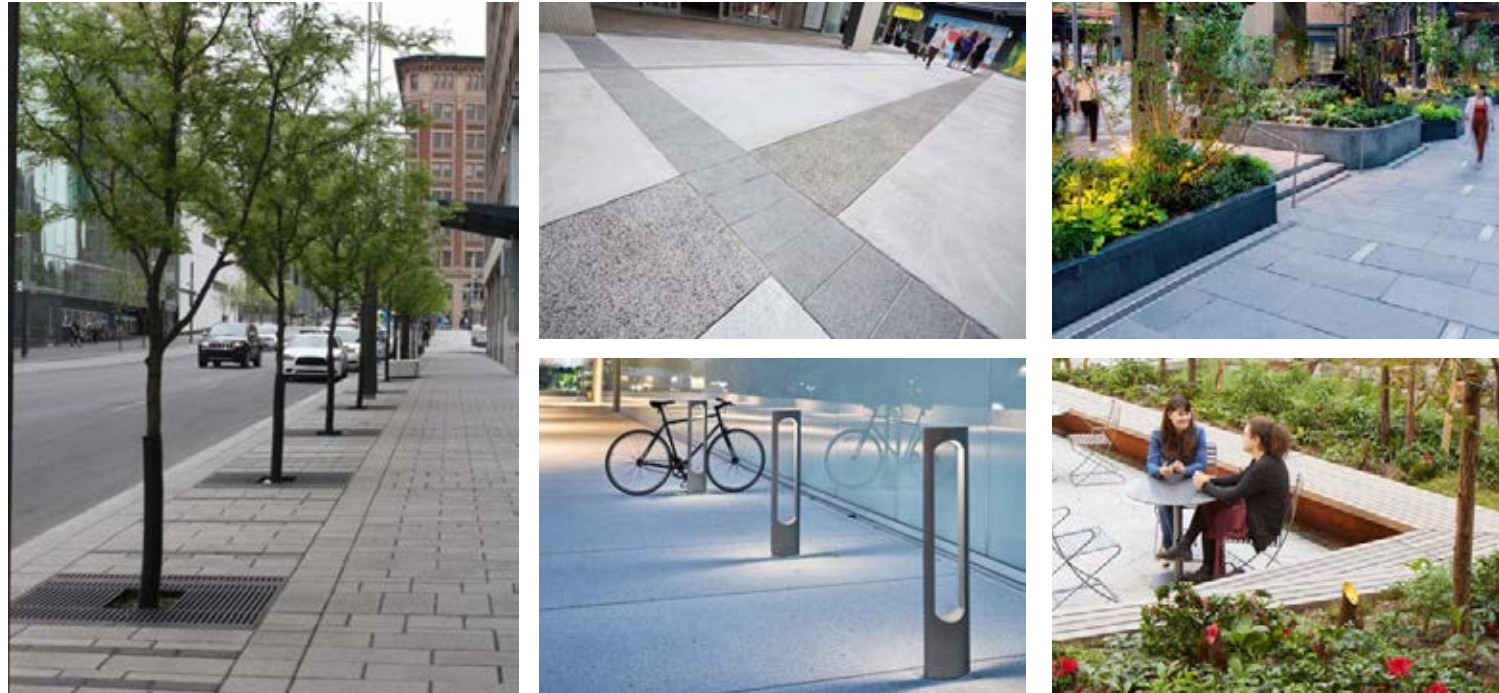
CAMBIE STREET FRONTAGE



WEST 7TH AVENUE FRONTAGE



WEST 7TH AVENUE FRONTAGE

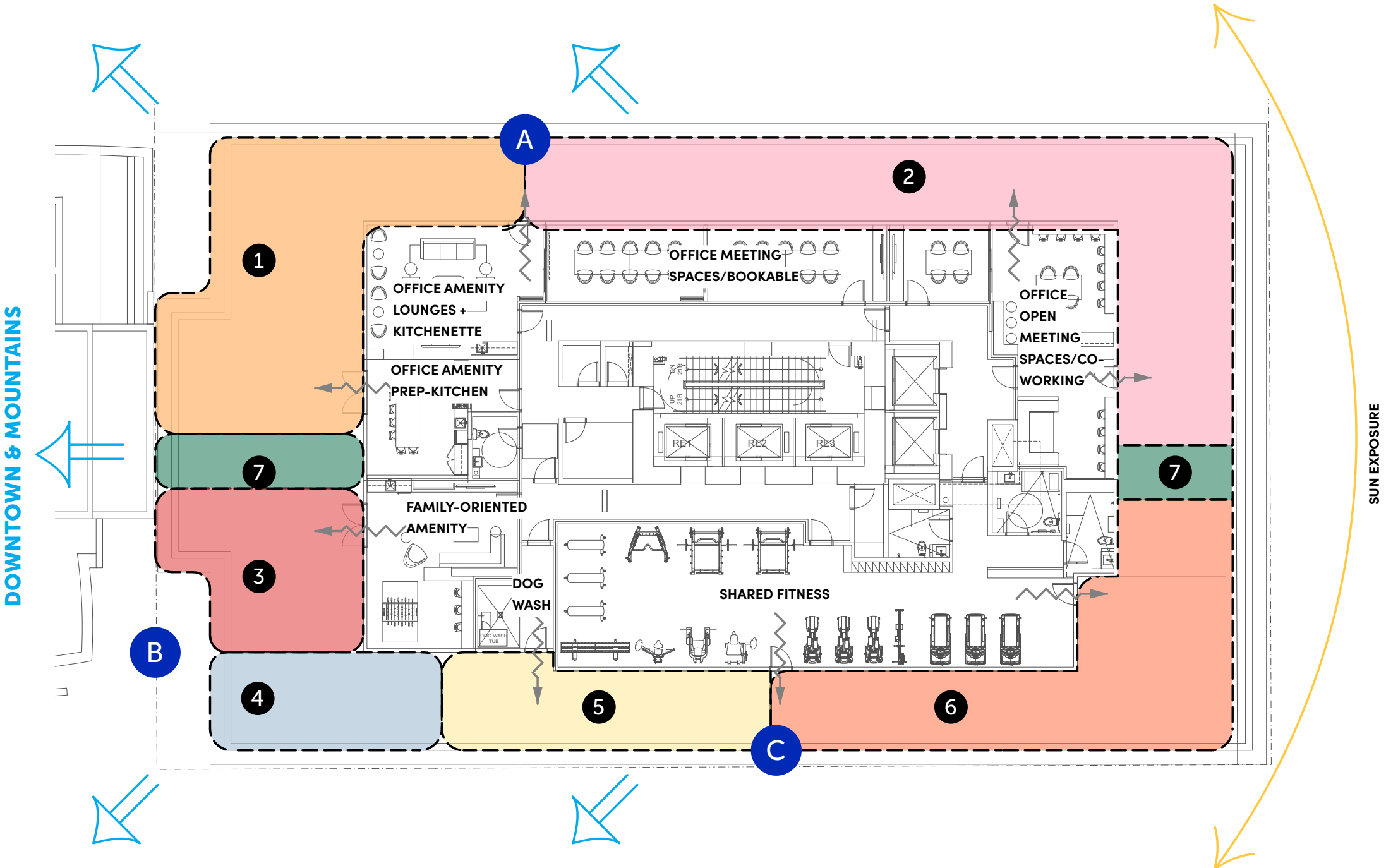


REJUVENATED " BACK-OF-HOUSE"



DESIGN CONSIDERATION: LEVEL 6 PODIUM AMENITY

- A OFFICE AMENITY DECK**
- 1 LOUNGE AREA**
 - SOCIAL + GATHERING
 - DINING/BBQ
 - CORPORATE EVENTS
- 2 OUTDOOR OFFICE**
 - SMALL MEETING AREAS
 - COFFEE CHAT
 - PHONE CALLS/SOCIAL MEDIA
- B FAMILY AMENITY DECK**
- 3 OUTDOOR KITCHEN**
 - DINING/BBQ
 - SEATING
- 4 KIDS PLAY AREA**
 - NATURALIZED PLAY EQUIPMENT
 - SEATING
- C SHARED AMENITY DECK**
- 5 SHARED DOG-RUN AREA**
 - SEATING
 - DOG PLAY ELEMENTS
- 6 OUTDOOR FITNESS + COOL-DOWN AREA**
 - YOGA/EXERCISE BIKES
 - SEATING
- 7 BUFFER PLANTING B/W OFFICE & FAMILY/SHARED AMENITIES**



DESIGN RATIONALE

THE LEVEL 6 AMENITY DECK HAS BEEN DIVIDED INTO THREE DIFFERENT ZONES OF USE: AN OFFICE AMENITY DECK, A FAMILY AMENITY DECK AND A SHARED AMENITY DECK FOR THE OFFICE AND RESIDENTIAL USERS, ALL WHICH FUNCTION TO EXTEND THE INDOOR AMENITY AREAS TO THE OUTSIDE.

ON THE OFFICE AMENITY DECK, OUTDOOR DINING, SOCIAL GATHERING, AND WORKING SPACES ARE PROPOSED FOR THE EAST PORTION OF THE PODIUM DECK. THE NORTHWEST CORNER WITH OUTDOOR KITCHEN AND KIDS PLAY AREA IS PROGRAMMED FOR THE RESIDENTIAL AMENITY AREA. FOR THE SHARED AMENITY AREA, A DOG RUN WITH CONTROLLED ACCESS AND DOG PLAY EQUIPMENT, AND AN ADJACENT OUTDOOR GYM + COOL DOWN AREA, PROVIDE ACTIVITIES SHARED BETWEEN ALL USERS. LARGE RAISED METAL PLANTERS WITH TREES ARE PLACED IN BETWEEN THE DIFFERENT ZONES FOR SCREENING AND TO HELP DELINEATE SPACES.

KEY LEGEND

A LEVEL 6 OFFICE AMENITY

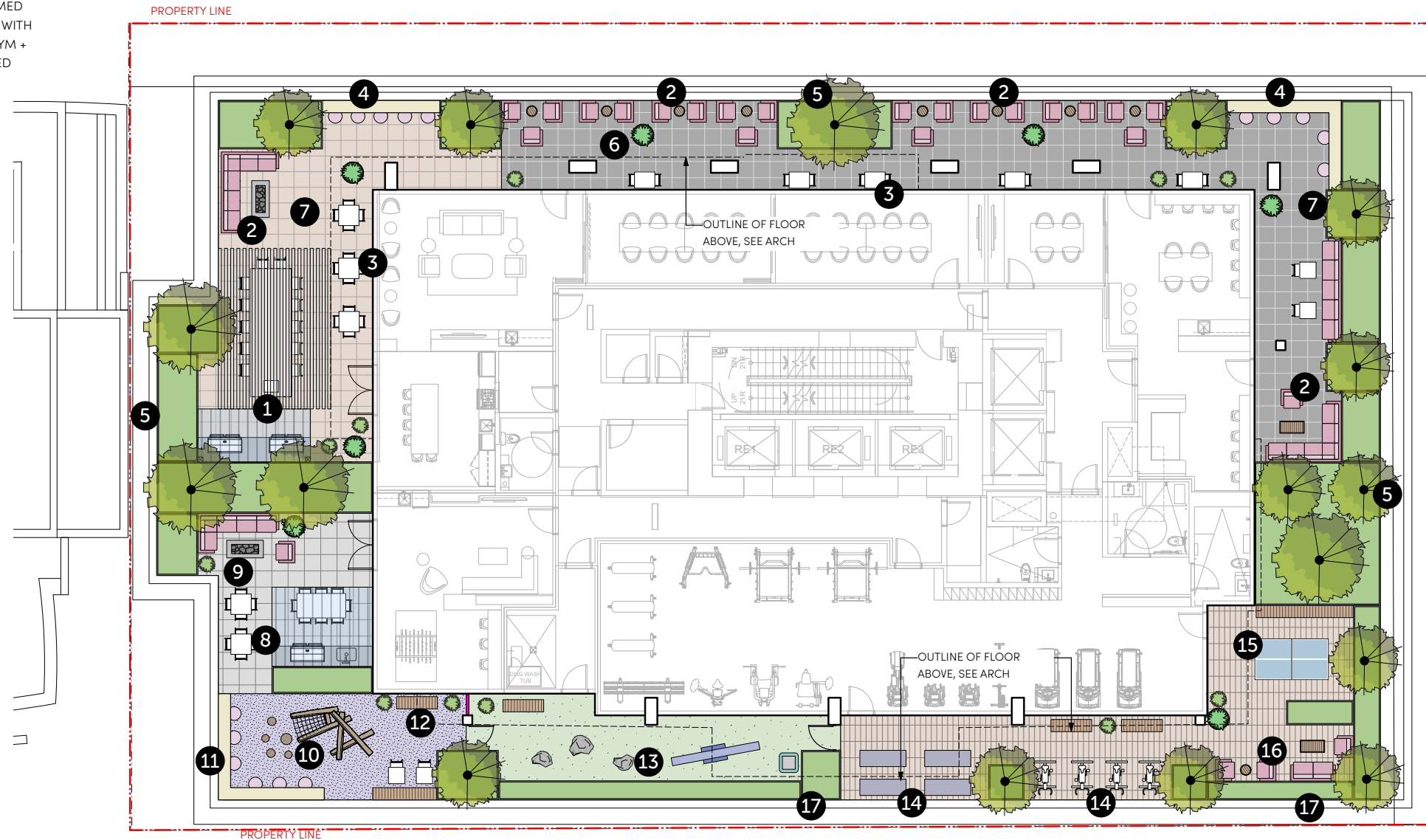
- 1 OUTDOOR BAR + BBQ WITH TRELLIS OVER
- 2 COUCHES + FIRE PIT/TABLE
- 3 MOVABLE TABLE & CHAIRS
- 4 42" BAR TABLE + CHAIRS
- 5 PERIMETER 42" HT RAISED METAL PLANTER W/ TREE PLANTING
- 6 MOVABLE PLANTER POTS
- 7 PRE-CAST PORCELAIN PAVERS

B LEVEL 6 RESIDENTIAL AMENITY

- 8 OUTDOOR KITCHEN WITH BBQ + DINING TABLES
- 9 COUCHES + FIRE PIT
- 10 LOG CLIMBER + STEPPING LOGS ON PIP RUBBER SURFACING
- 11 42" BAR TABLE + CHAIRS
- 12 MOVABLE SEATING + PLANTER POTS

C LEVEL 6 SHARED AMENITY

- 13 DOG PLAY AREA WITH SEE-SAW + BOULDERS + DOG WASTE STATION ON ARTIFICIAL TURF
- 14 EXERCISE BIKES + YOGA MATS
- 15 PING PANG TABLE
- 16 COOL-DOWN AREA WITH COUCH SEATING; PLANTER INTEGRATED BENCH + MOVABLE TABLE & CHAIRS



1 LEVEL 6 LANDSCAPE CONCEPT PLAN
Scale: 1/8" = 1'-0"

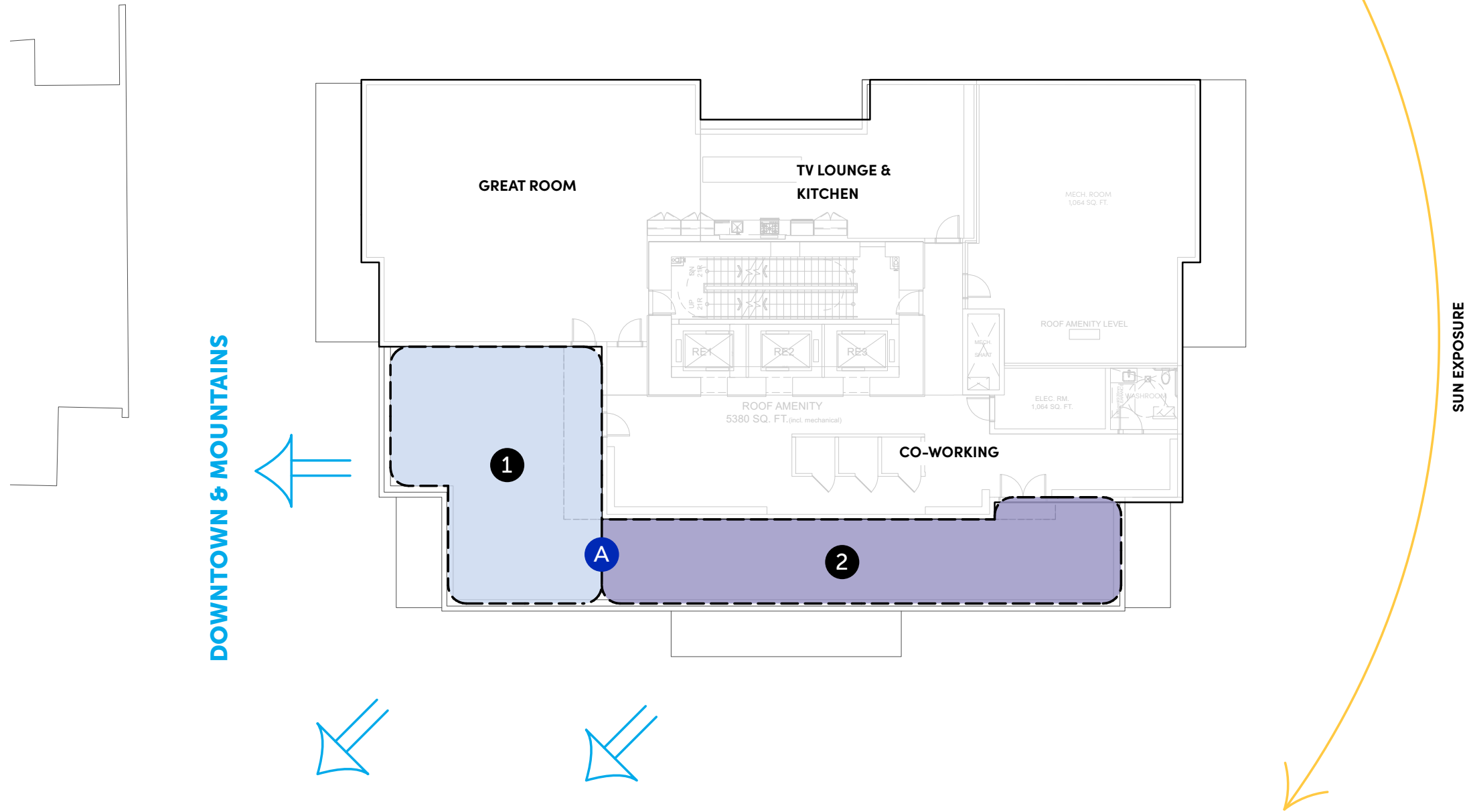


LEVEL 6 PODIUM AMENITY PRECEDENT IMAGES



DESIGN CONSIDERATION: ROOFTOP AMENITY

- A RESIDENTIAL AMENITY DECK**
- 1 OUTDOOR DINING AREA**
 - OUTDOOR KITCHEN/BBQ + DINING TABLE
 - COUCH SEATING W/ FIRE PIT
 - VIEWING BARS/SUNSET
- 2 OUTDOOR LOUNGE AREA**
 - INTIMATE SEATING AREAS FOR PEOPLE WFH
 - SOCIAL AREA

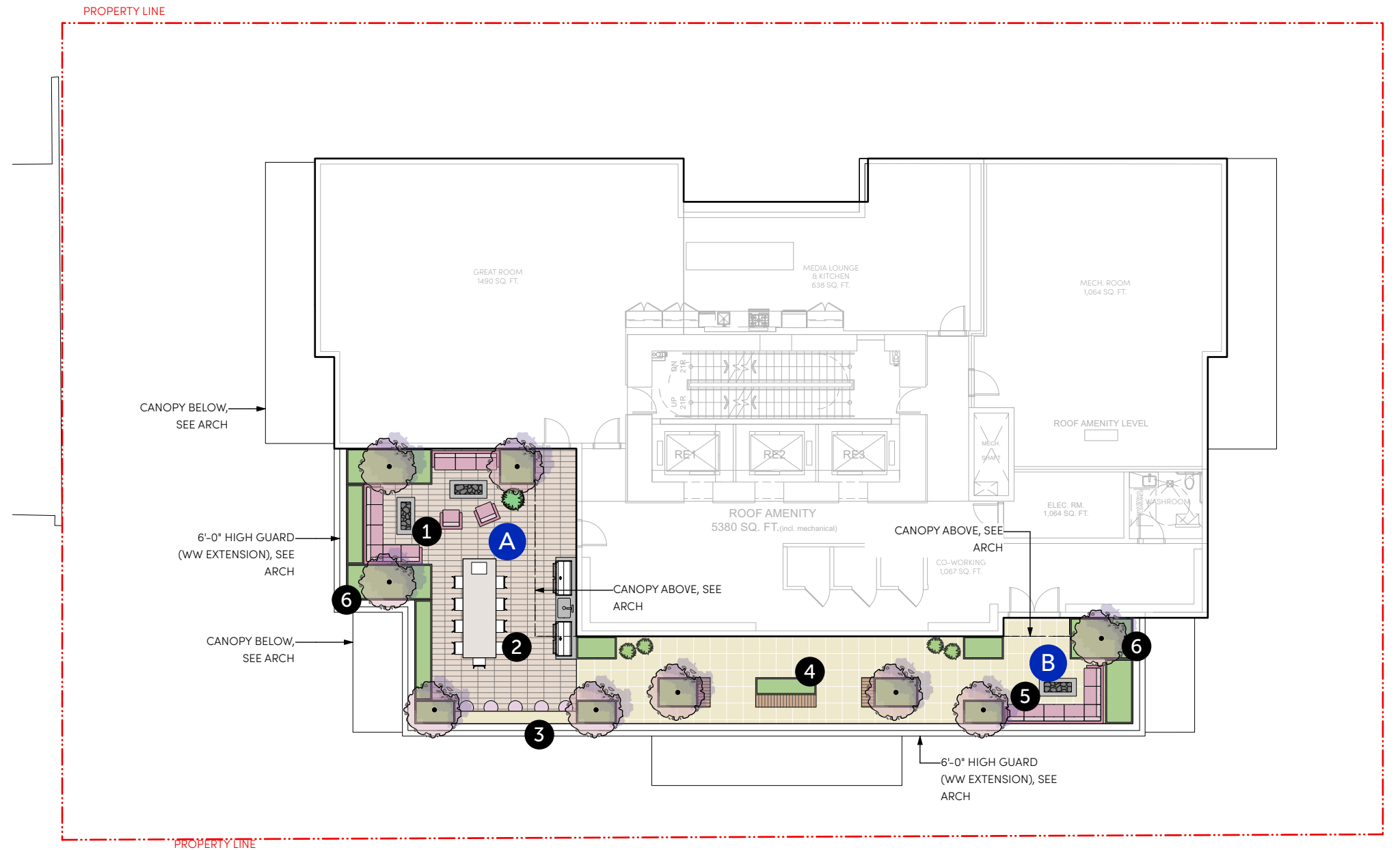


DESIGN RATIONALE

THE ROOFTOP DESIGN OFFERS PROGRAMME ELEMENTS CATERED TOWARDS THE RESIDENTIAL USERS. OUTDOOR DINING AREA WITH VARIOUS SEATING TYPES ENCOURAGES SOCIAL GATHERING, TAKING ADVANTAGE OF THE SUNSET VIEWS. IN THE LOUNGE AREA, BENCHES INTEGRATED WITH PLANTERS AND TREES, ALONG WITH COUCH SEATING OUTSIDE OF THE CO-WORKING ROOMS, CREATES POTENTIAL WORKSPACES FOR PEOPLE WORKING FROM HOME OR FOR ONE-ON-ONE MEETINGS.

KEY LEGEND

- A** OUTDOOR DINING AREA
- 1** COUCH + FIRE PIT
- 2** DINING AREA WITH BANQUET TABLES AND BBQs
- 3** LONG BAR TABLES + STOOLS INTEGRATED WITH 42" HT RAISED METAL PLANTER
- B** OUTDOOR LOUNGE AREA
- 4** METAL PLANTER + INTEGRATED BENCH SEATING
- 5** COUCH + FIRE PIT
- 6** PERIMETER PLANTER WITH TREE



1 ROOFTOP LANDSCAPE PLAN
Scale: 1/8" = 1'-0"



ROOFTOP AMENITY PRECEDENT IMAGES



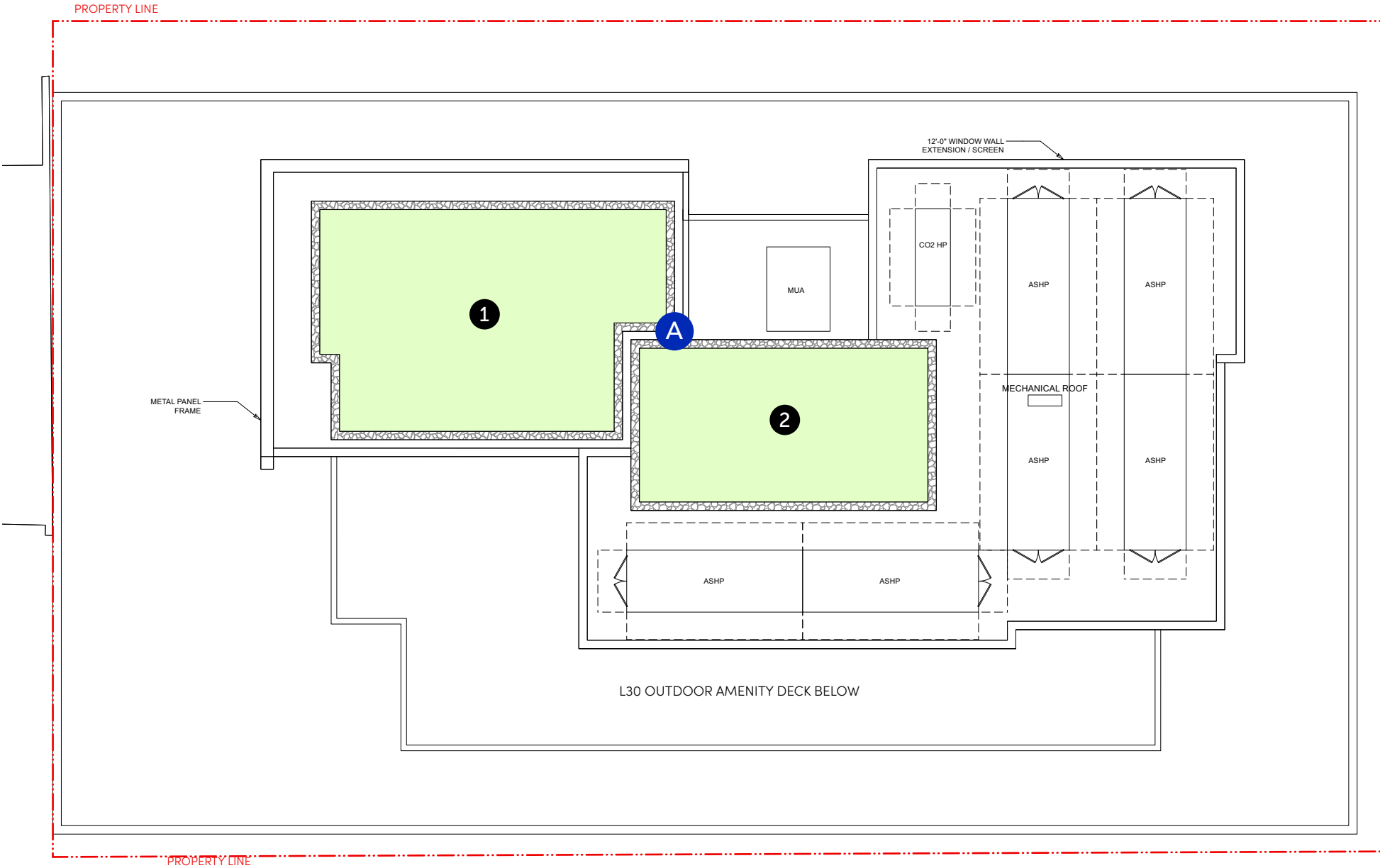
DESIGN CONSIDERATION: GREEN ROOF

GREEN ROOFS WERE PROPOSED ON TOP OF THE GREAT ROOM AS WELL AS THE UPPER ROOF TO NOT ONLY HELP WITH THE RAINWATER MANAGEMENT BUT ALSO MITIGATE THE URBAN HEAT ISLAND EFFECT.

KEY LEGEND

- A GREEN ROOFS**
- 1 GREEN ROOF AREA**
- with Sedum Mat / Grass Plugs, Min. 4" Soil Depth
- 2 UPPER ROOF GREEN ROOF AREA**
- with Sedum Mat / Grass Plugs, Min. 4" Soil Depth

PRECEDENT IMAGES



LANE

DESIGN CONSIDERATION: RAINWATER MANAGEMENT PLAN

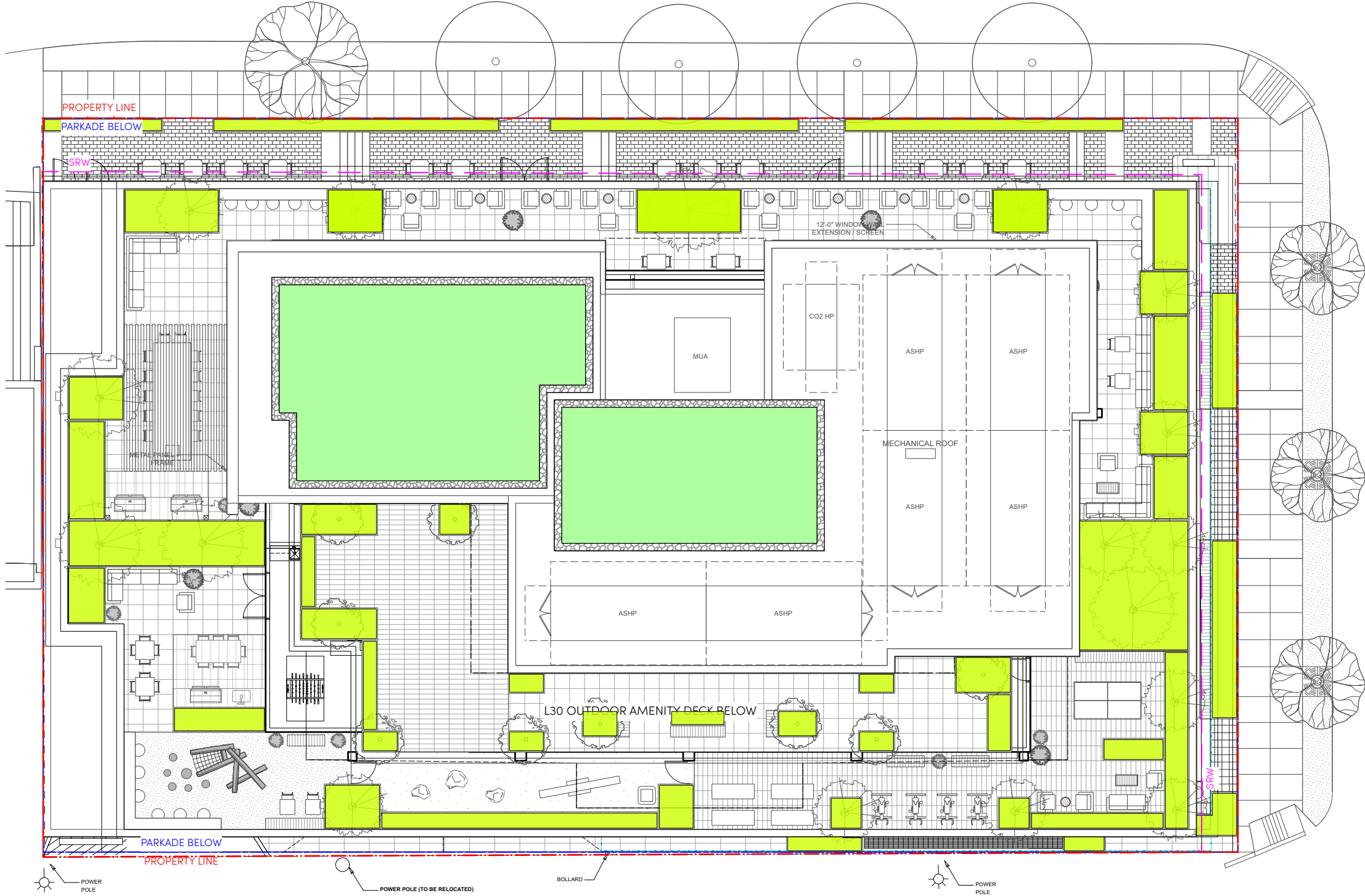
RAINWATER MANAGEMENT LEGEND

| SYMBOL | DESCRIPTION |
|---|--|
|  | ONSITE INTENSIVE PLANTING MIN. 24" (600mm) SOIL DEPTH |
|  | ONSITE EXTENSIVE PLANTING MIN. 6" (150mm) SOIL DEPTH |

TOTAL ONSITE INTENSIVE PLANTING AREA: 198 SQ.M.
 TOTAL ONSITE EXTENSIVE PLANTING AREA: 149 SQ.M.
 TOTAL ONSITE PLANTING AREA: 198+149=347 SQ.M.

TOTAL ONSITE AREA: 1467 SQ.M.

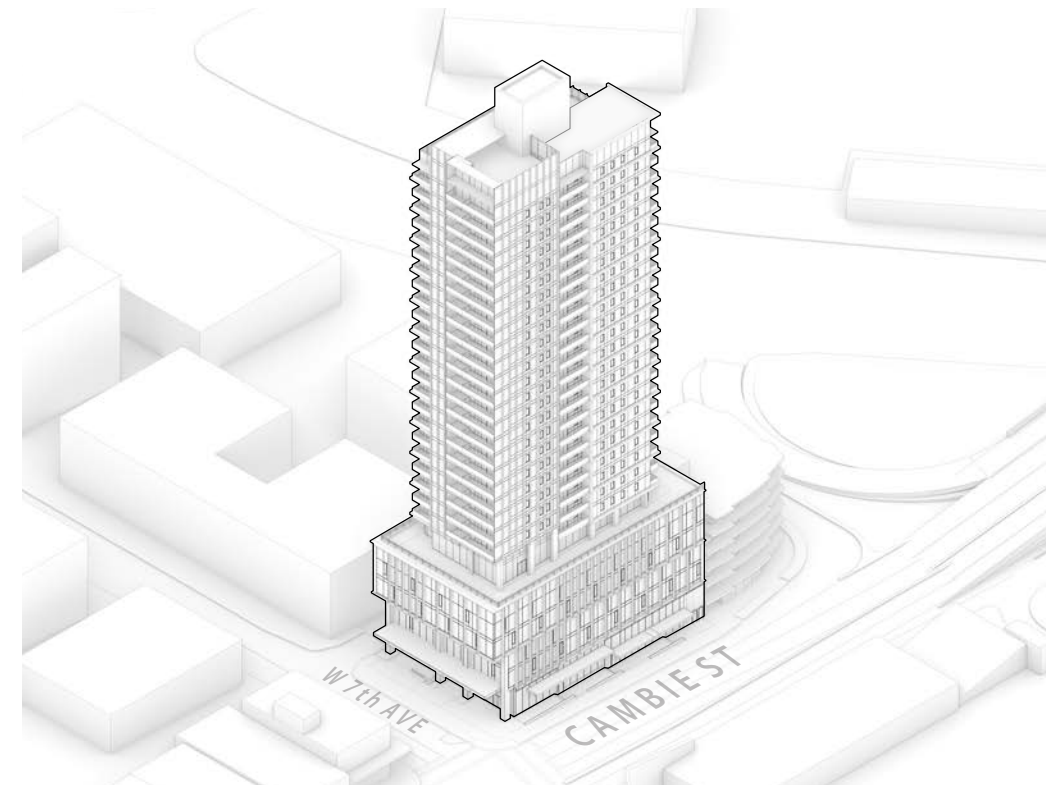
TOTAL ONSITE VEGETATIVE COVERAGE:
 TOTAL ONSITE PLANTING AREA / TOTAL ONSITE AREA = 347 / 1467 = 24%



APPENDIX I - PROJECT DRAWINGS

PROJECT STATISTICS / DATA

| PROJECT INFORMATION | |
|---|---------------------------------|
| CIVIC ADDRESS | |
| 2219 & 2285 CAMBIE ST Vancouver, BC V5Z 2T5 | |
| LEGAL ADDRESS | |
| LOT 12, EXCEPT THE EAST 14 FT AND PART IN EXPLANATORY PLAN 7051, NOW HIGHWAYS; LOT 13 TO 15, EXCEPT (A) PART IN PLAN 4386 AND (B) PART IN EXPLANATORY PLAN 7212; ALL OF BLOCK 300, DISTRICT LOT 526, N.W.D., PLAN 590 | |
| LOT DIMENSION | |
| 15,827.8 SQ.FT. 1470.45 SQ. M 48.70 M X 30.19 M (159.78 FT X 99.06 FT) | |
| PROPOSED USE: | |
| PARKADE & BIKE STORAGE | GROUP F-3 |
| RETAIL | GROUP E |
| OFFICE | GROUP D |
| RESIDENTIAL | GROUP C |
| ZONING | |
| CURRENT: | C-3A |
| PROPOSED: | CD-1 |
| SITE AREA | |
| SITE AREA | 15827.8 SQ.FT. 1470.45 SQ.M. |
| BLDG. HEIGHT | |
| STOREYS: | 30 |
| HEIGHT: | 331'-8" (101.09 M) |
| PROPOSED FSR | |
| PROPOSED FSR: | 14.37 |
| PROPOSED DENSITY: | |
| PROPOSED DENSITY: | 343,889 SQ.FT. 31,947 SQ. M. |
| SETBACKS | |
| EAST: | Cambie St. 8'-6" (2.59M) |
| SOUTH: | West 7th Ave. 20'-6" (6.25M) |
| WEST: | Lane 0'-0" (0.0M) |
| NORTH: | Neighbour 0'-0" (0.0M) |



| UNIT MIX | STUDIO | 1 BED | 2 BED | 3 BED | TOTAL |
|-------------------|--------|-------|-------|-------|-------|
| LEVEL 7 | 1 | 4 | 2 | 1 | 8 |
| LEVEL 8-27 | 20 | 100 | 40 | 20 | 180 |
| LEVEL 28-30 | 0 | 12 | 12 | 0 | 24 |
| UNIT COUNT | 21 | 116 | 54 | 21 | 212 |
| % | 9.9% | 54.7% | 25.5% | 9.9% | |
| AVERAGE UNIT SIZE | 425 | 497 | 732 | 806 | |

| PARKING STALLS - PROVIDED | | | | |
|---------------------------|----------------|--------------|-------------------|-------|
| | Regular Stalls | Small Stalls | Accessible Stalls | Total |
| Residential | 49 | 32 | 8 | 89 |
| Office | 26 | 12 | 3 | 41 |
| Retail | 2 | 1 | 1 | 4 |
| Total | 77 | 45 | 12 | 134 |

* Visitor stalls are included in total residential stall calculations

| | Residential | | | | | Office | | | Retail | | | Total |
|----------|-------------|-------|------|--------------|---------------|---------|-------|------|---------|-------|------|-------|
| | Regular | Small | Acc. | Visitor-Reg. | Visitor-Small | Regular | Small | Acc. | Regular | Small | Acc. | |
| Level P1 | | | | | | 6 | | 1 | 2 | 1 | 1 | 11 |
| Level P2 | | | | | | 20 | 12 | 2 | | | | 34 |
| Level P3 | 3 | 3 | 4 | 12 | 3 | | | | | | | 25 |
| Level P4 | 17 | 13 | 4 | | | | | | | | | 34 |
| Level P5 | 17 | 13 | | | | | | | | | | 30 |
| Total | 37 | 29 | 8 | 12 | 3 | 26 | 12 | 3 | 2 | 1 | 1 | 134 |

PROJECT STATISTICS / DATA

| PROPOSED FLOOR AREA BY USE | | | | | | | | | | | | | | | | | | | | |
|----------------------------|------------------|-------|--------|-------|--------|-------|-------------|-------|---------------------|----------------------|------------------|---------|------------------------|--------|-------|----|----------------|--------|-------|-----|
| LEVEL | GFA (AREA GROSS) | | RETAIL | | OFFICE | | RESIDENTIAL | | EXCLUSIONS (SQ.FT.) | | | | | | | | FSR (AREA NET) | | | |
| | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | AMENITY | SERVICE/BIKE/PARKING | IN SUITE STORAGE | BALCONY | ENVELOPE (RESIDENTIAL) | SQ.FT. | SQ.M. | | | | | |
| LEVEL P5 | 15 787 | 1 467 | | | | | | | | | | | | | | | | - | - | |
| LEVEL P4 | 15 787 | 1 467 | | | | | | | | | | | | | | | | - | - | |
| LEVEL P3 | 15 787 | 1 467 | | | | | | | | | | | | | | | | - | - | |
| LEVEL P2 | 15 787 | 1 467 | | | | | | | | | | | | | | | | - | - | |
| LEVEL P1 | 15 787 | 1 467 | | | | | | | | | | | | | | | | - | - | |
| BASEMENT | 14 660 | 1 362 | | | | | | | | | | | | | | | | - | - | |
| LEVEL 1 | 9 499 | 883 | 3 985 | 370 | 1 116 | 104 | 2 980 | 277 | | | | | | | | | | 8 081 | 751 | |
| MEZZ | 3 629 | 338 | | | 665 | 62 | 1 730 | 161 | | | | | | | | | | 2 395 | 223 | |
| LEVEL 2 | 12 785 | 1 188 | | | 12 444 | 1 156 | 211 | 20 | | | | | | | | | | 12 655 | 1 176 | |
| LEVEL 3 | 12 785 | 1 188 | | | 12 444 | 1 156 | 211 | 20 | | | | | | | | | | 12 655 | 1 176 | |
| LEVEL 4 | 13 287 | 1 235 | | | 12 947 | 1 203 | 211 | 20 | | | | | | | | | | 13 158 | 1 223 | |
| LEVEL 5 | 13 287 | 1 235 | | | 12 947 | 1 203 | 211 | 20 | | | | | | | | | | 13 158 | 1 223 | |
| LEVEL 6 | 6 829 | 634 | | | | | | | 6 589 | 612 | 240 | 22 | | | | | | - | - | |
| LEVEL 7 | 6 900 | 641 | | | | | 6 509 | 605 | | | 241 | 22 | 115 | 11 | 934 | 87 | 35 | 3 | 6 509 | 605 |
| LEVEL 8 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 9 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 10 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 11 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 12 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 13 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 14 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 15 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 16 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 17 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 18 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 19 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 20 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 21 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 22 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 23 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 24 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 25 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 26 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 27 | 7 150 | 664 | | | | | 6 909 | 642 | | | 86 | 8 | 118 | 11 | 952 | 88 | 37 | 3 | 6 909 | 642 |
| LEVEL 28 | 7 150 | 664 | | | | | 6 873 | 639 | | | 86 | 8 | 154 | 14 | 952 | 88 | 37 | 3 | 6 873 | 639 |
| LEVEL 29 | 7 150 | 664 | | | | | 6 873 | 639 | | | 86 | 8 | 154 | 14 | 952 | 88 | 37 | 3 | 6 873 | 639 |
| LEVEL 30 | 7 150 | 664 | | | | | 6 873 | 639 | | | 86 | 8 | 154 | 14 | 952 | 88 | 37 | 3 | 6 873 | 639 |
| ROOF AMENITY | 5 381 | 500 | | | | | | | 4 132 | 384 | 1 249 | 116 | | | | | | | - | - |
| MECH ROOF | 731 | 68 | | | | | | | | | 731 | 68 | | | | | | | - | - |
| EMR | 731 | 68 | | | | | | | | | 731 | 68 | | | | | | | - | - |

| TOTAL | GFA (AREA GROSS) | | RETAIL | | OFFICE | | RESI | | AMENITY | | SERVICE | | STORAGE | | BALCONY | | ENVELOPE | | FSR (AREA NET) | |
|-------|------------------|--------|--------|-------|--------|-------|---------|--------|----------------|-------|---------|-------|---------|-------|----------------|--------|----------|-------|----------------|--------|
| | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. | SQ.FT. | SQ.M. |
| | 343 889 | 31 947 | 3 985 | 370 | 52 563 | 4 884 | 170 862 | 15 880 | 10 721 | 996 | 101 935 | 9 472 | 2 937 | 273 | 22 830 | 2 111 | 886 | 72 | 227 410 | 21 134 |
| | | | | | | | | | Amenity Area % | 6.27% | | | | | Balcony Area % | 13.36% | | | FSR Proposed | 14.37 |

PROJECT STATISTICS / DATA

| BICYCLE STALLS - CLASS A - REQUIRED | | | |
|---|---|--|-------|
| 6.2.1.2 Multiple Dwellings | | | |
| Minimum 1.5 spaces for every dwelling unit under 65m ² (700sf) | | Minimum 2.5 spaces for every dwelling unit over 65m ² (700sf) and under 105m ² (1,130sf) | |
| Suites | | Suites | |
| 137 x 1.5 | = | 75 x 2.5 | = |
| | | 205.50 | 187.5 |
| SUB TOTAL | | 393.00 | |
| 6.2.5.1 Retail | | | |
| Minimum 1 space for each 340m ² (3,658.73sf) gross floor area | | | |
| GFA | | | |
| 3,985 / 3,658.73 | = | 1.09 | |
| 6.2.4 Office | | | |
| Minimum 1 space for each 170m ² (1829.86sf) gross floor area | | | |
| GFA | | | |
| 53,925 / 1829.86 | = | 29.47 | |
| TOTAL | | 423.56 | |

| BICYCLE STALLS - CLASS A - PROVIDED | |
|-------------------------------------|------------|
| Residential | 393.00 |
| Retail | 1.09 |
| Office | 29.47 |
| TOTAL | 424 |

| BICYCLE STALLS - CLASS B - REQUIRED | |
|---|-------------|
| 6.2.1.2 Multiple Dwellings | |
| Minimum of 2 spaces for any development containing at least 20 dwelling units and one additional space for every additional 20 dwelling units | |
| 212 / 20 | = |
| | 11.6 |
| 6.2.4.1 Office | |
| A minimum of 6 spaces for any development containing a minimum of 2,000 square metres (21,528 sf) of gross floor area. | |
| | = |
| | 6 |
| 6.2.5.1 Retail | |
| A minimum of 6 spaces for any development containing a minimum of 1,000 square metres (10,764 sf) of gross floor area. | |
| | = |
| | 0 |
| TOTAL | 17.6 |

| BICYCLE STALLS - CLASS B - PROVIDED | |
|-------------------------------------|-----------|
| Residential | 12 |
| Office | 6 |
| Retail | 0 |
| TOTAL | 18 |

| END-OF-TRIP FACILITIES -OFFICE | | | |
|--------------------------------|----|----------|----|
| WATER CLOSET | | | |
| Min. Required | 1 | Provided | 2 |
| WASH BASINS | | | |
| Min. Required | 2 | Provided | 2 |
| SHOWERS/GROOMING | | | |
| Min. Required | 3 | Provided | 3 |
| LOCKERS | | | |
| Min. Required | 41 | Provided | 41 |

| END-OF-TRIP FACILITIES -RETAIL | | | |
|--------------------------------|---|----------|---|
| WATER CLOSET | | | |
| Min. Required | 1 | Provided | 1 |
| WASH BASINS | | | |
| Min. Required | 0 | Provided | 1 |
| SHOWERS/GROOMING | | | |
| Min. Required | 0 | Provided | 0 |
| LOCKERS | | | |
| Min. Required | 2 | Provided | 2 |

| BICYCLE PARKING BREAKDOWN - PROVIDED | | |
|--------------------------------------|-----|------------|
| CLASS A | | |
| Stacked | 60% | 255 |
| Vertical | 0% | 0 |
| Horizontal | 10% | 42 |
| Lockers | 20% | 85 |
| Oversized | 10% | 42 |
| TOTAL PROVIDED | | 424 |

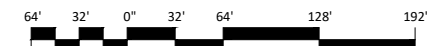
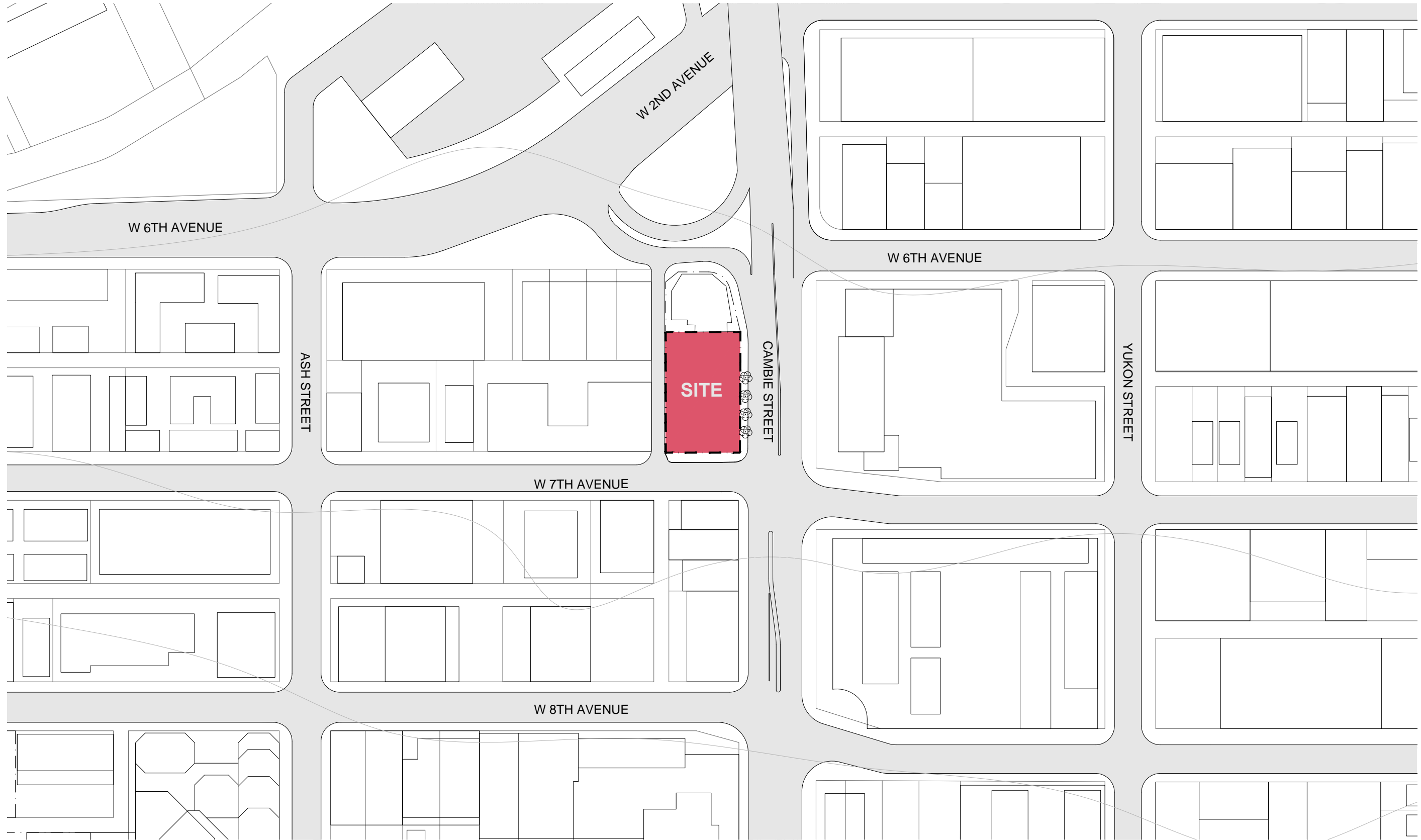
| SERVICE LOADING | | | | | | |
|-----------------|--------------------|---------|---------|----------|---------|---------|
| | Bylaw Requirements | | | Provided | | |
| | Class A | Class B | Class C | Class A | Class B | Class C |
| Resi | 1 | 1 | - | 1 | 1 | 0 |
| Office | 1 | 1 | - | 1 | 1 | 0 |
| Retail | 0 | 1 | 0 | 0 | 1 | 0 |

| PASSENGER LOADING | | | | | | |
|-------------------|--------------------|---------|---------|----------|---------|---------|
| | Bylaw Requirements | | | Provided | | |
| | Class A | Class B | Class C | Class A | Class B | Class C |
| Resi | 2 | - | - | 2 | 0 | 0 |
| Office | 0 | - | - | 0 | 0 | 0 |
| Retail | 0 | - | - | 0 | 0 | 0 |



CONTEXT PLAN

Scale: 1" = 100'-0"



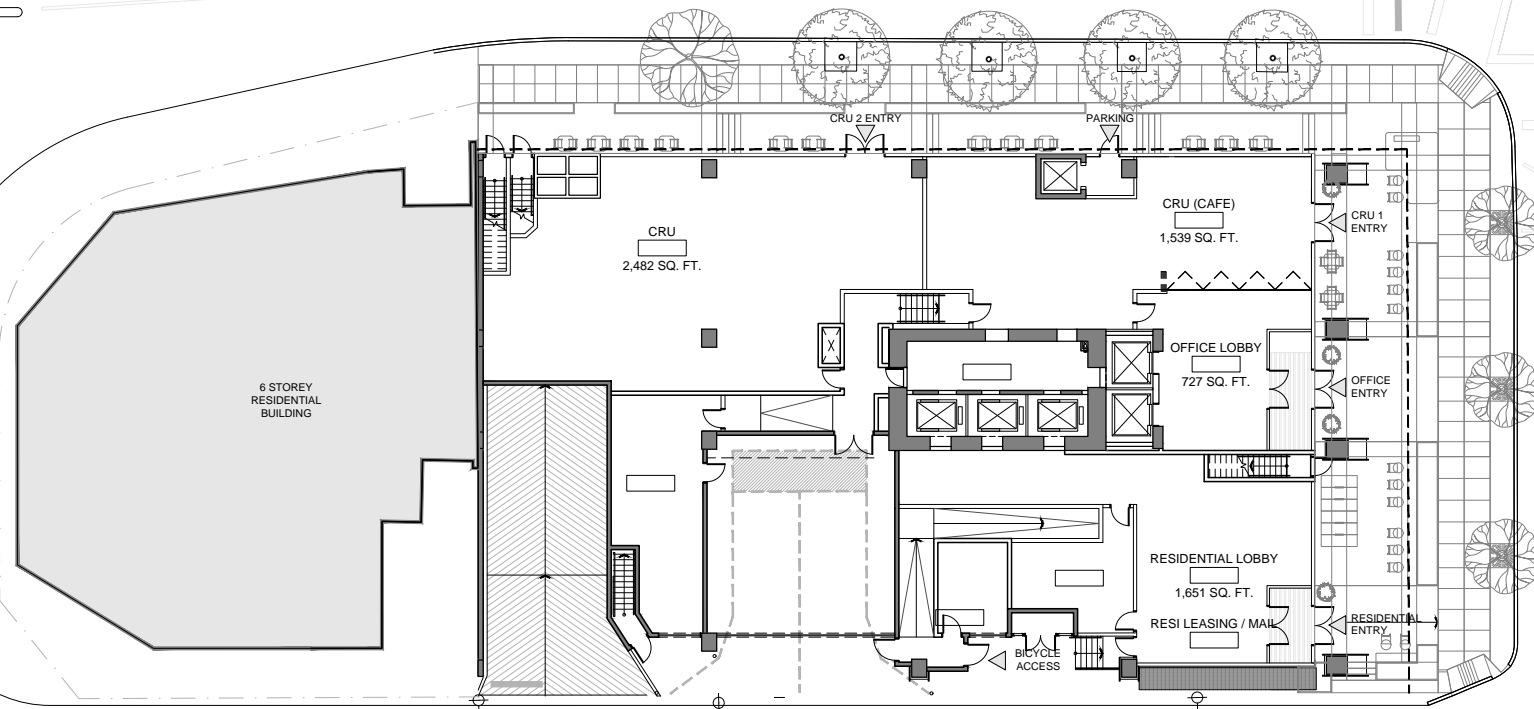
SITE PLAN



CAMBIE STREET

WEST 7TH AVENUE

LANE



6 STOREY
RESIDENTIAL
BUILDING

CRU
2,482 SQ. FT.

CRU (CAFE)
1,539 SQ. FT.

OFFICE LOBBY
727 SQ. FT.

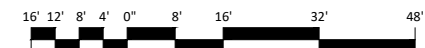
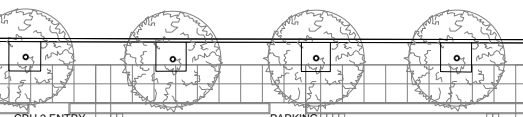
RESIDENTIAL LOBBY
1,651 SQ. FT.

RESI LEASING / MAIL

VEHICLE
ACCESS

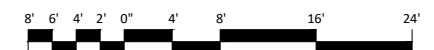
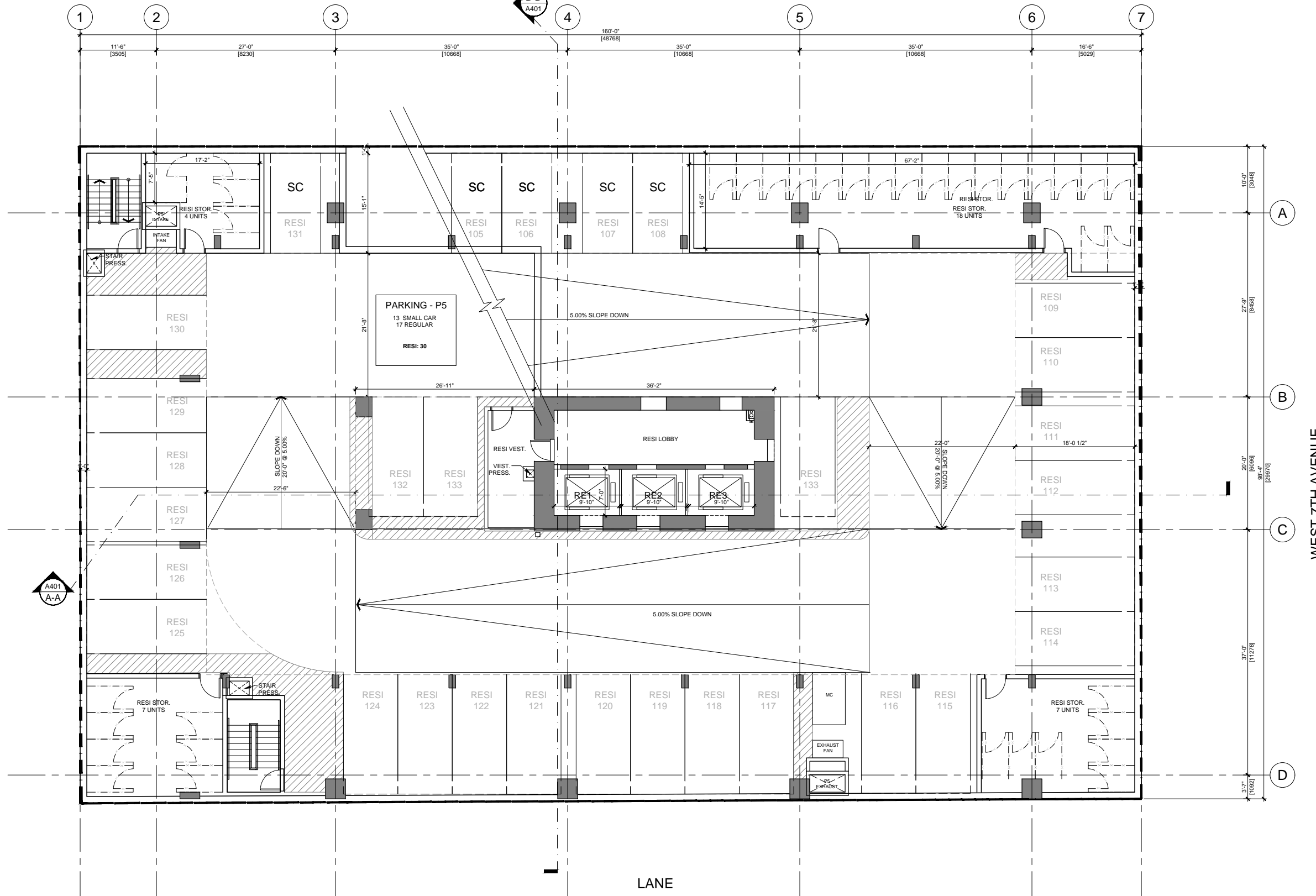
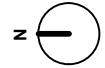
LOADING
ACCESS

BICYCLE
ACCESS



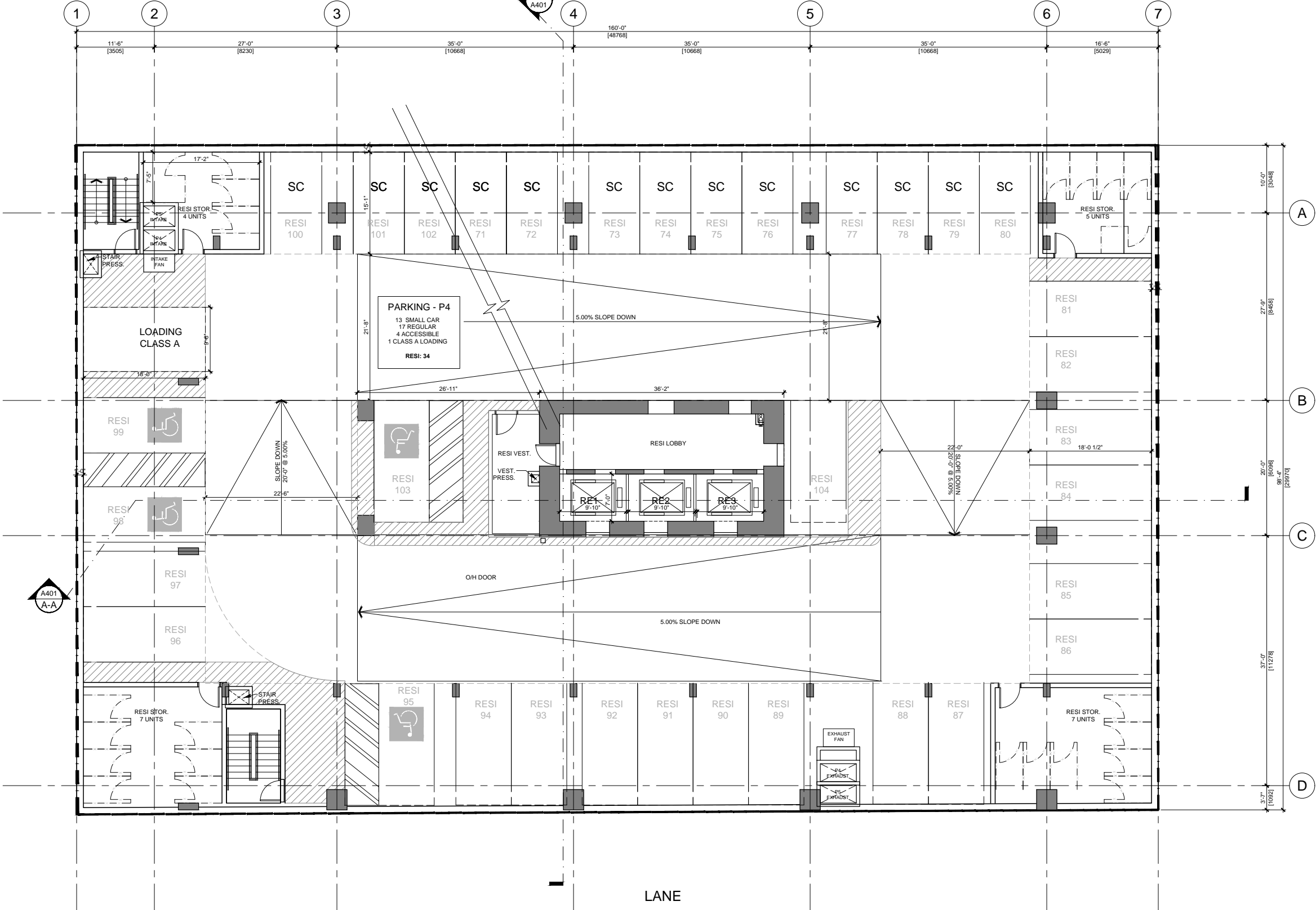
PARKING PLANS (P5)

CAMBIE STREET



PARKING PLANS (P4)

CAMBIE STREET



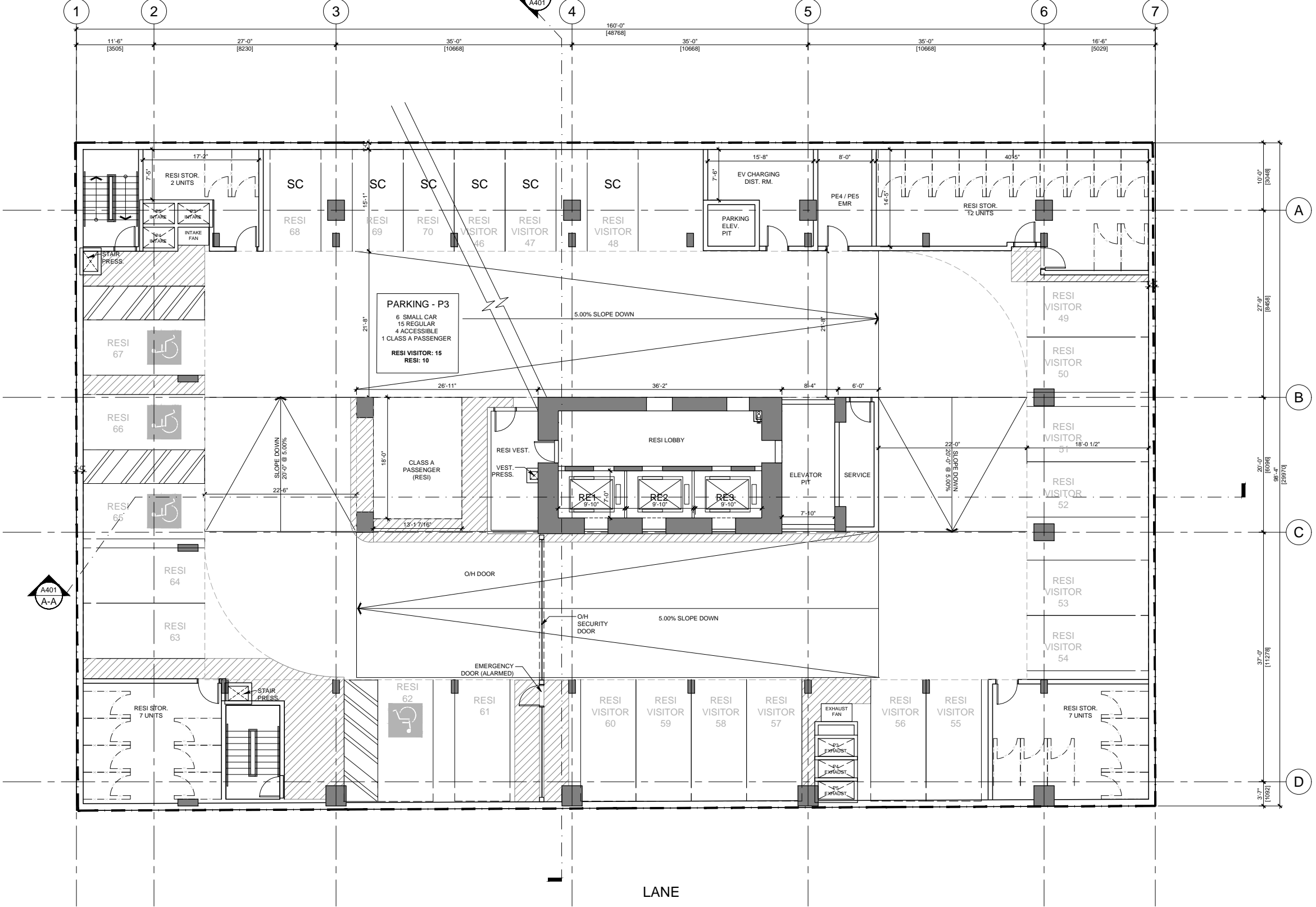
WEST 7TH AVENUE

LANE



PARKING PLANS (P3)

CAMBIE STREET



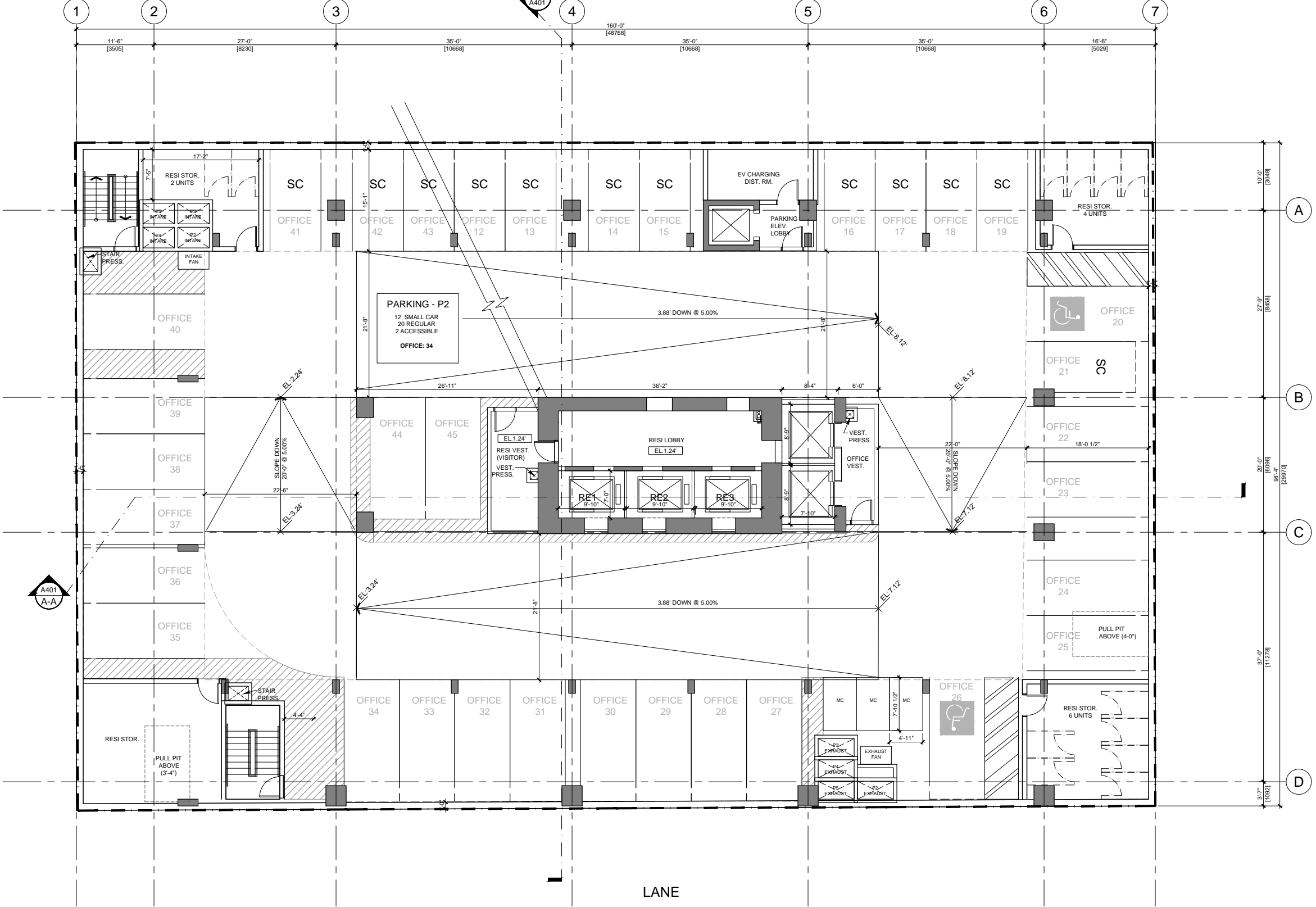
LANE

WEST 7TH AVENUE



PARKING PLANS (P2)

CAMBIE STREET



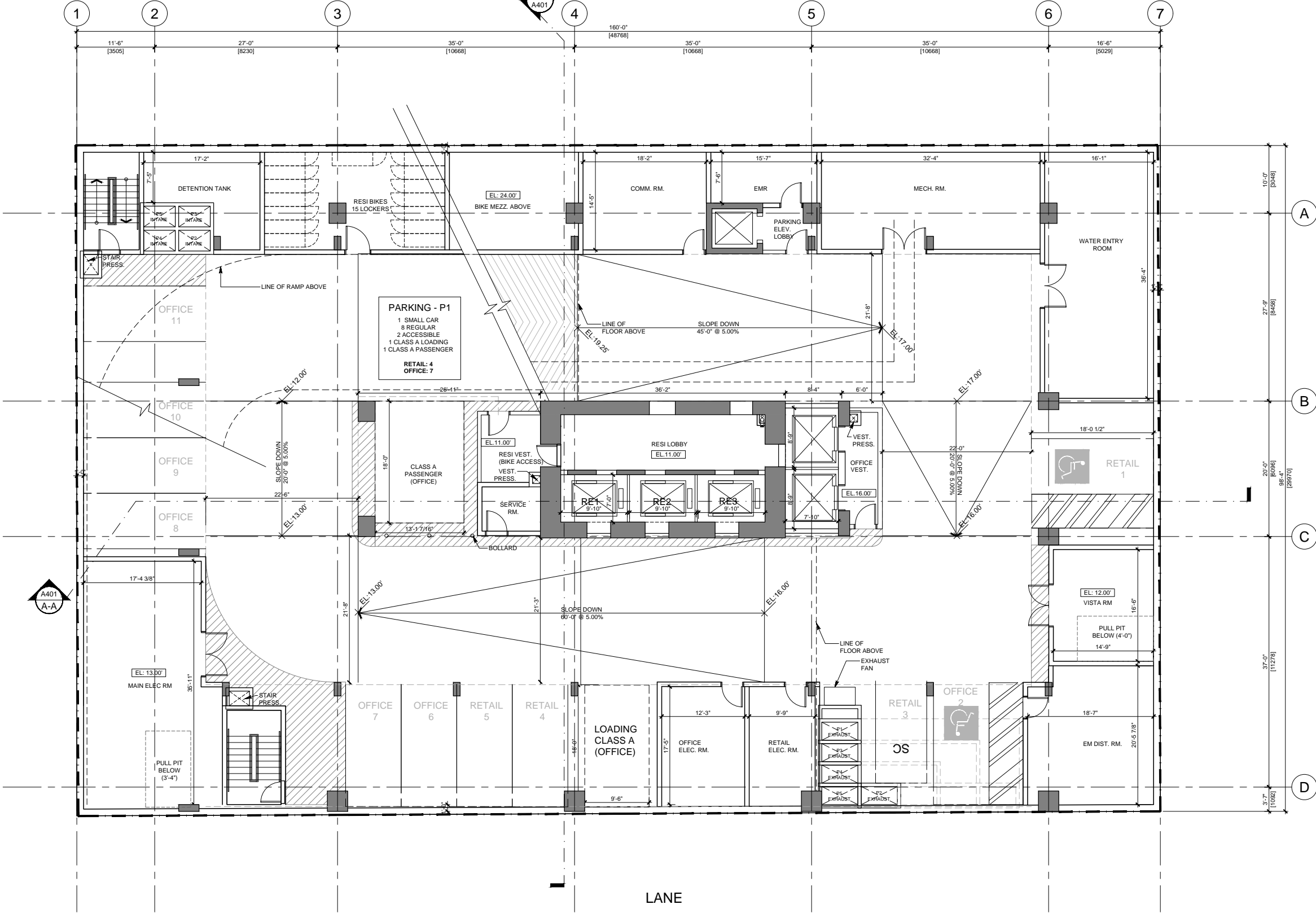
WEST 7TH AVENUE

LANE



PARKING PLANS (P1)

CAMBIE STREET



WEST 7TH AVENUE

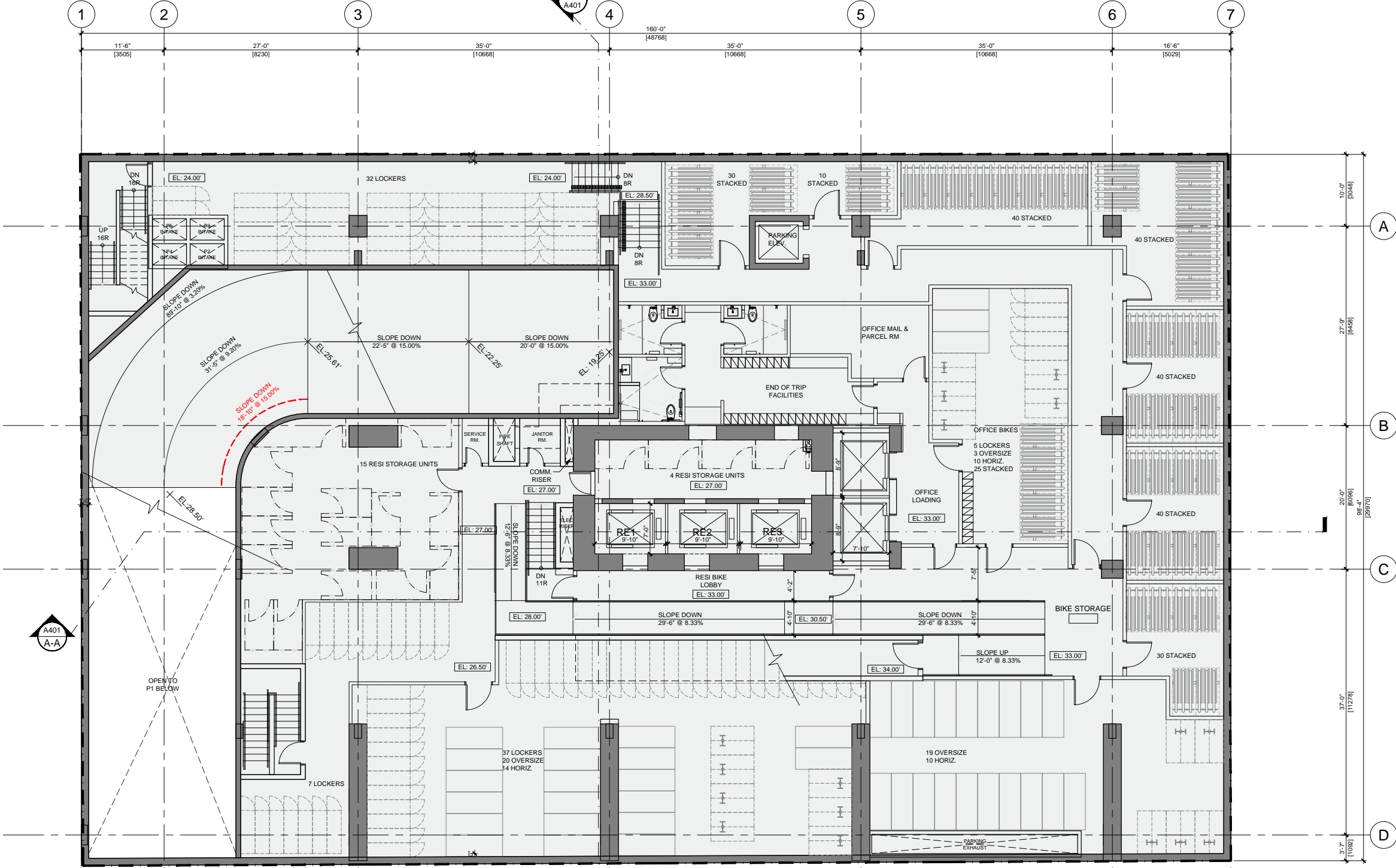
LANE

1 LEVEL P1 PLAN
1/8" = 1'-0"



PARKING PLANS (P0) - BIKE STORAGE

CAMBIE STREET



P0 LEVEL FLOOR AREA
GROSS FLOOR AREA: 14,660 SQ. FT.

LEGEND

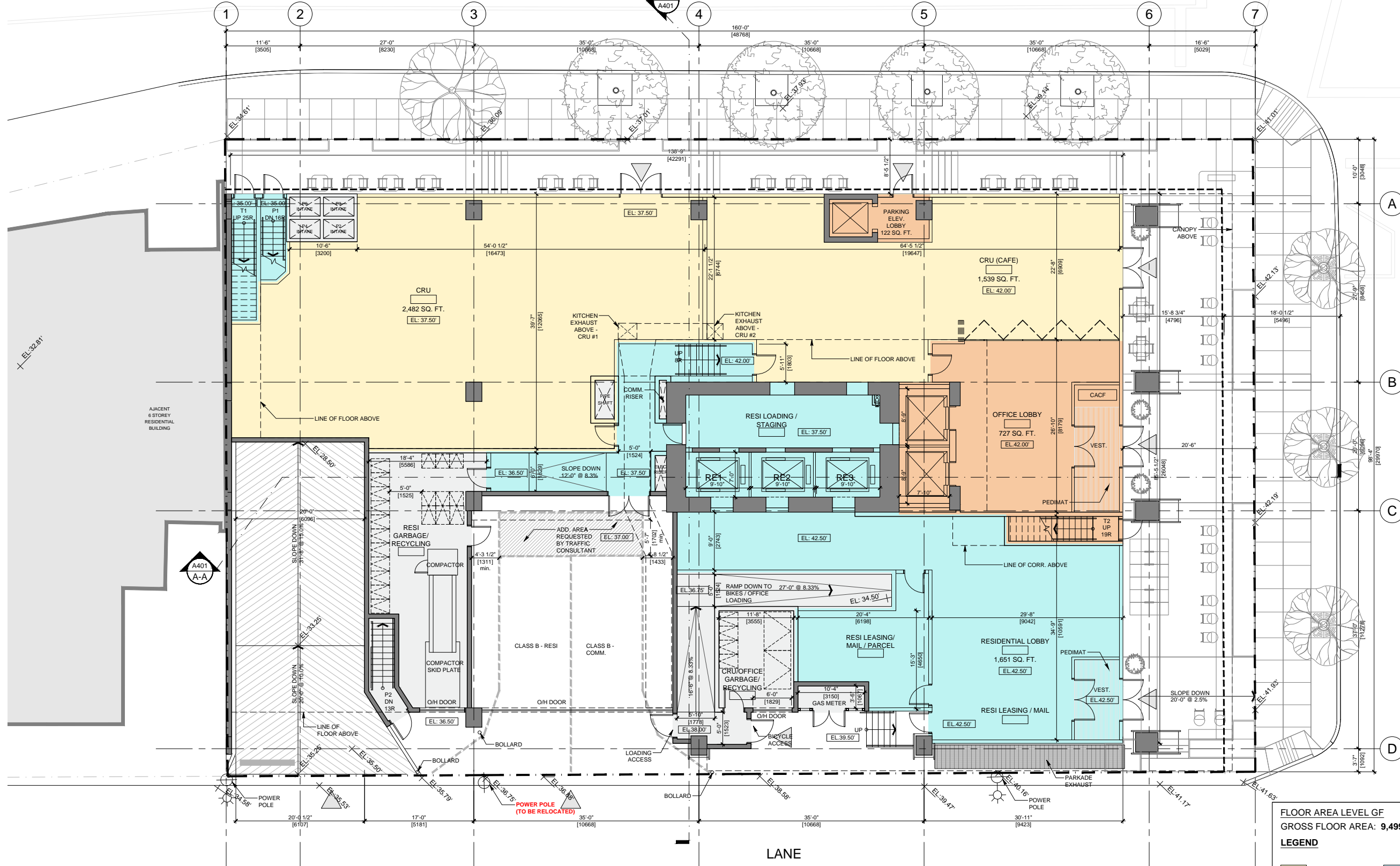
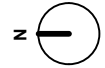
| | |
|--|--|
| RETAIL | RESIDENTIAL |
| OFFICE | AMENITY |
| EXCLUSION | |

1 LEVEL P0 BIKE STORAGE
 1/8" = 1'-0"



LEVEL 1

CAMBIE STREET



FLOOR AREA LEVEL GF
GROSS FLOOR AREA: 9,499 SQ. FT.

LEGEND

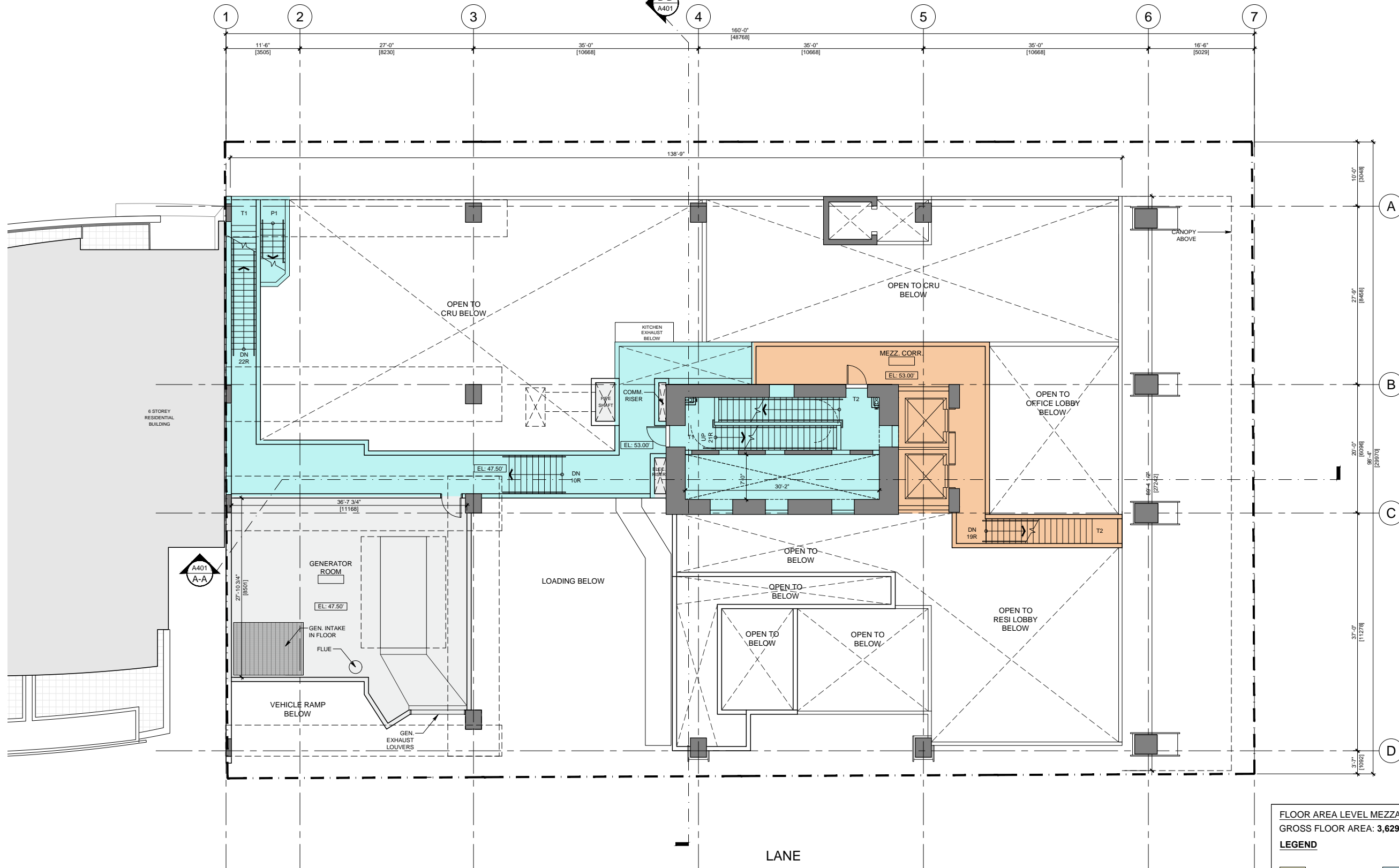
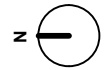
| | |
|---|--|
| RETAIL | RESIDENTIAL |
| OFFICE | AMENITY |
| EXCLUSION | |

1 LEVEL 1 GROUND FLOOR PLAN
 1/8" = 1'-0"



MEZZANINE

CAMBIE STREET



FLOOR AREA LEVEL MEZZANINE
GROSS FLOOR AREA: 3,629SQ.FT.

LEGEND

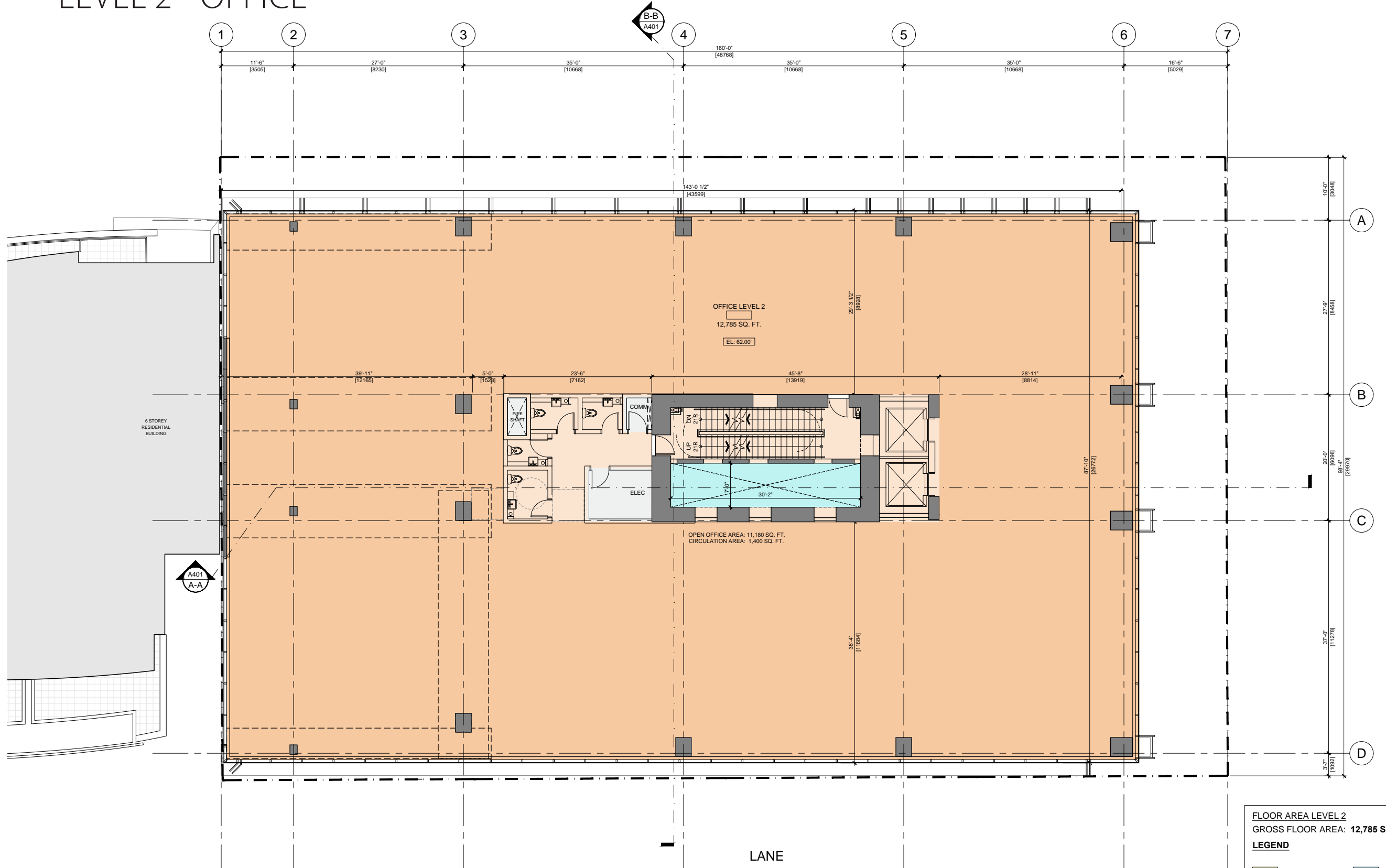
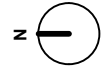
| | |
|--|--|
| RETAIL | RESIDENTIAL |
| OFFICE | AMENITY |
| EXCLUSION | |

1 **PODIUM MEZZANINE PLAN**
 1/8" = 1'-0"



LEVEL 2 - OFFICE

CAMBIE STREET



FLOOR AREA LEVEL 2
GROSS FLOOR AREA: 12,785 SQ. FT.

LEGEND

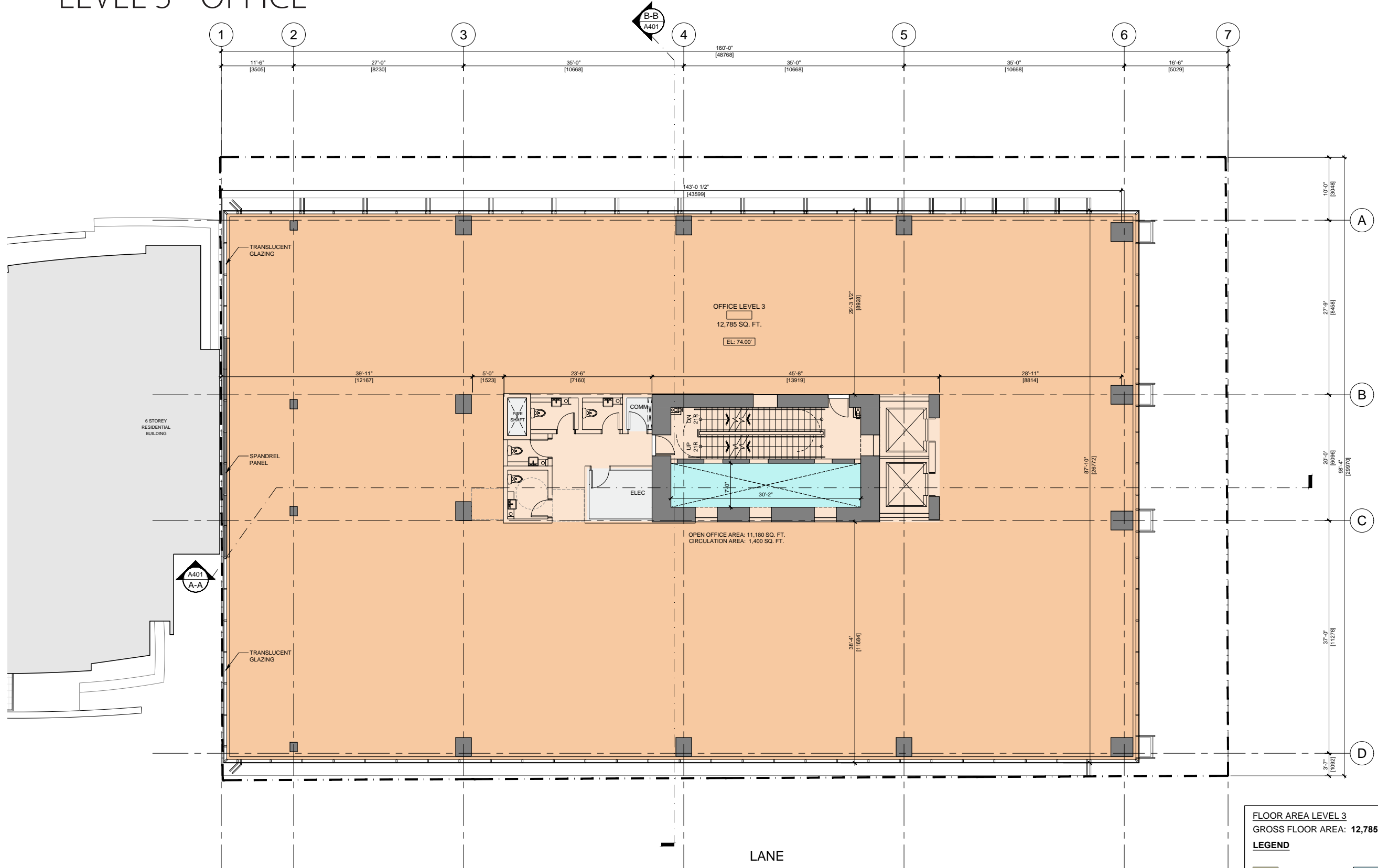
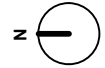
| | | | |
|--|-----------|--|-------------|
| | RETAIL | | RESIDENTIAL |
| | OFFICE | | AMENITY |
| | EXCLUSION | | |

1 OFFICE FLOOR PLAN LEVEL 2
 1/8" = 1'-0"



LEVEL 3 - OFFICE

CAMBIE STREET



OFFICE LEVEL 3
12,785 SQ. FT.
EL: 74.00'

OPEN OFFICE AREA: 11,180 SQ. FT.
CIRCULATION AREA: 1,400 SQ. FT.

FLOOR AREA LEVEL 3
GROSS FLOOR AREA: 12,785 SQ. FT.

LEGEND

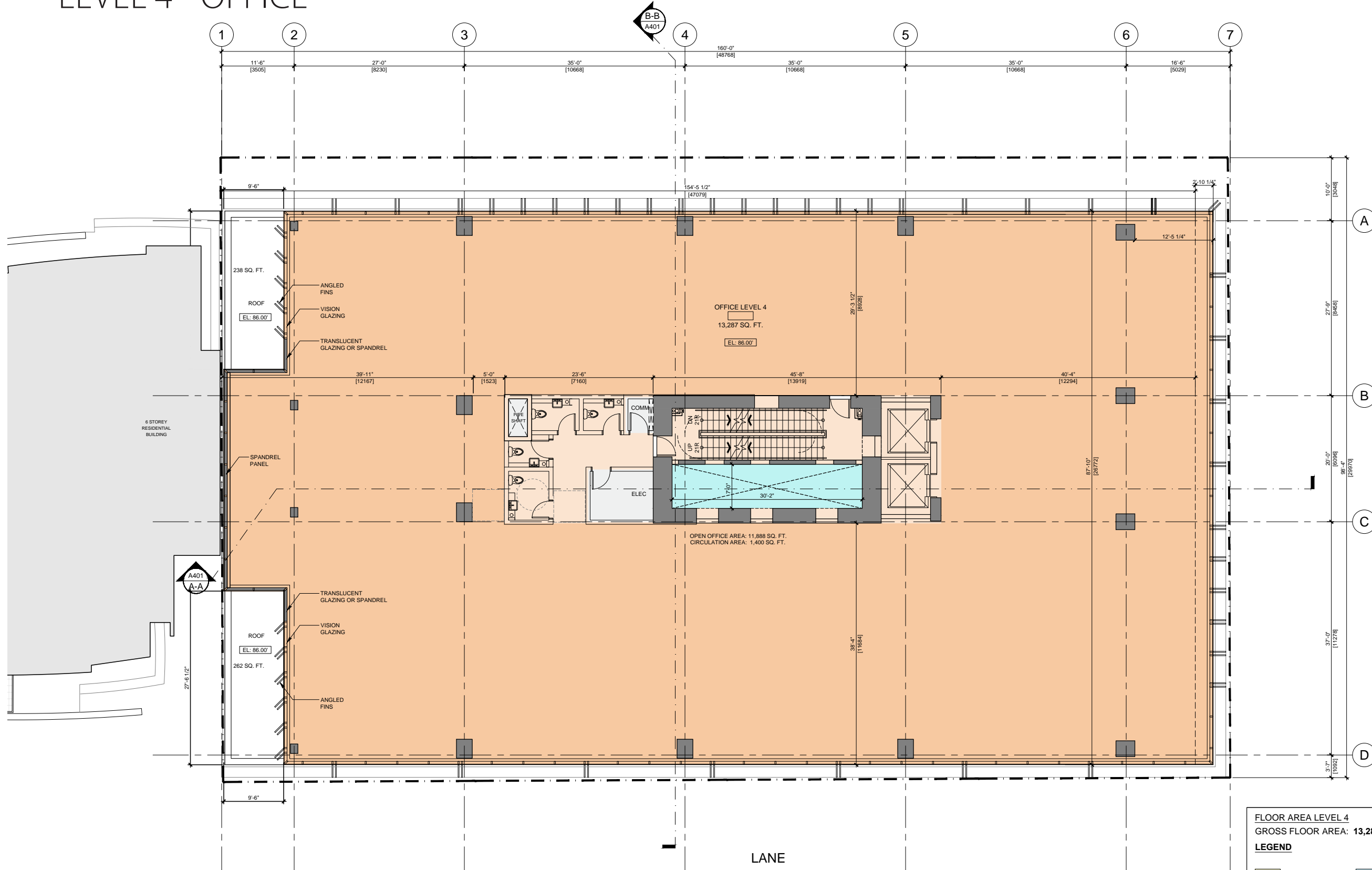
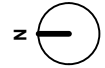
| | | | |
|--|-----------|--|-------------|
| | RETAIL | | RESIDENTIAL |
| | OFFICE | | AMENITY |
| | EXCLUSION | | |

1 OFFICE FLOOR PLAN LEVEL 3
1/8" = 1'-0"



LEVEL 4 - OFFICE

CAMBIE STREET



FLOOR AREA LEVEL 4
GROSS FLOOR AREA: 13,287 SQ. FT.

LEGEND

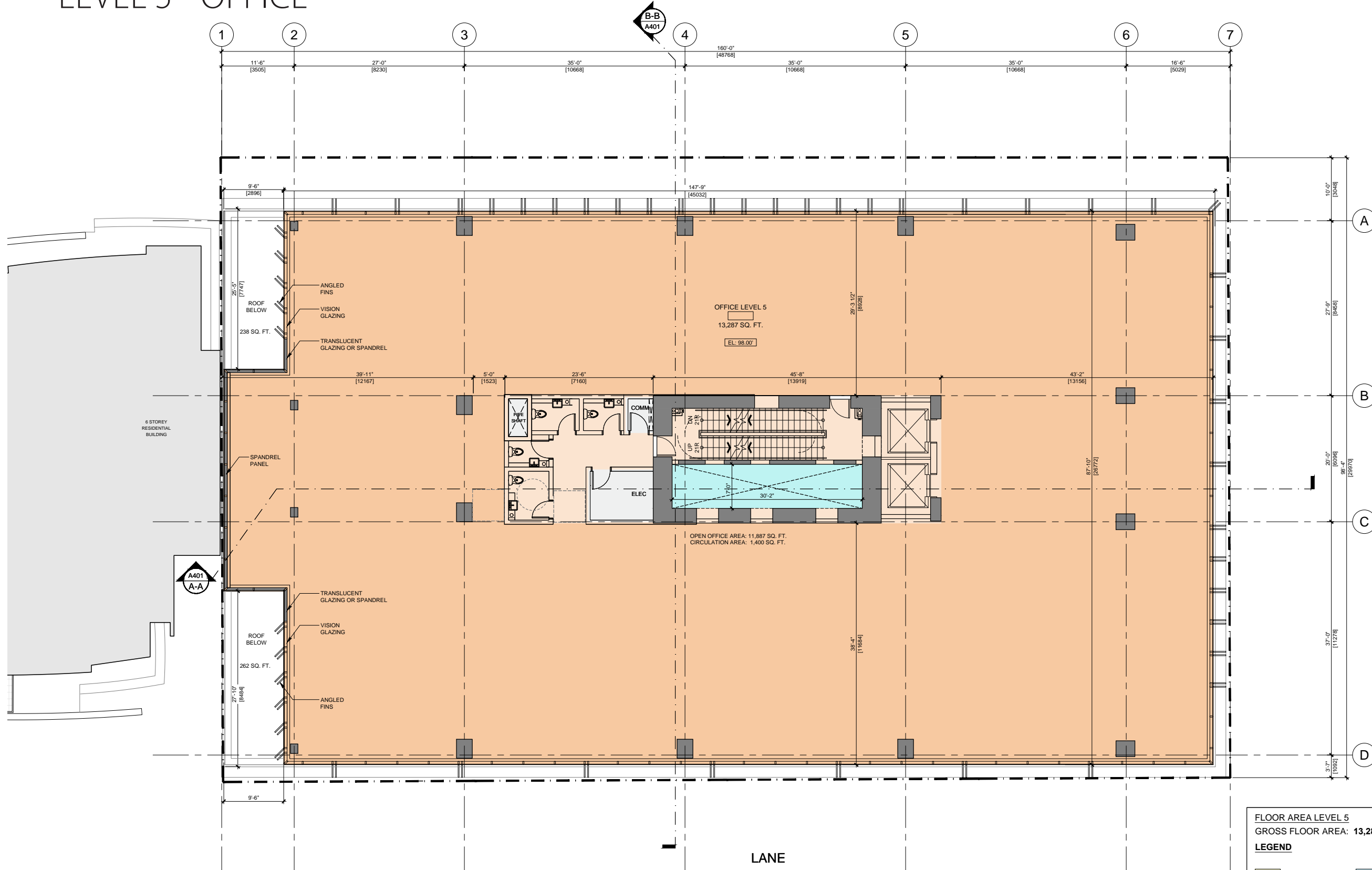
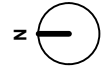
| | |
|--|--|
| RETAIL | RESIDENTIAL |
| OFFICE | AMENITY |
| EXCLUSION | |

1 OFFICE FLOOR PLAN LEVEL 4
 1/8" = 1'-0"



LEVEL 5 - OFFICE

CAMBIE STREET







OFFICE LEVEL 5
13,287 SQ. FT.
EL: 98.00'

OPEN OFFICE AREA: 11,887 SQ. FT.
CIRCULATION AREA: 1,400 SQ. FT.

FLOOR AREA LEVEL 5
GROSS FLOOR AREA: 13,287 SQ. FT.

LEGEND

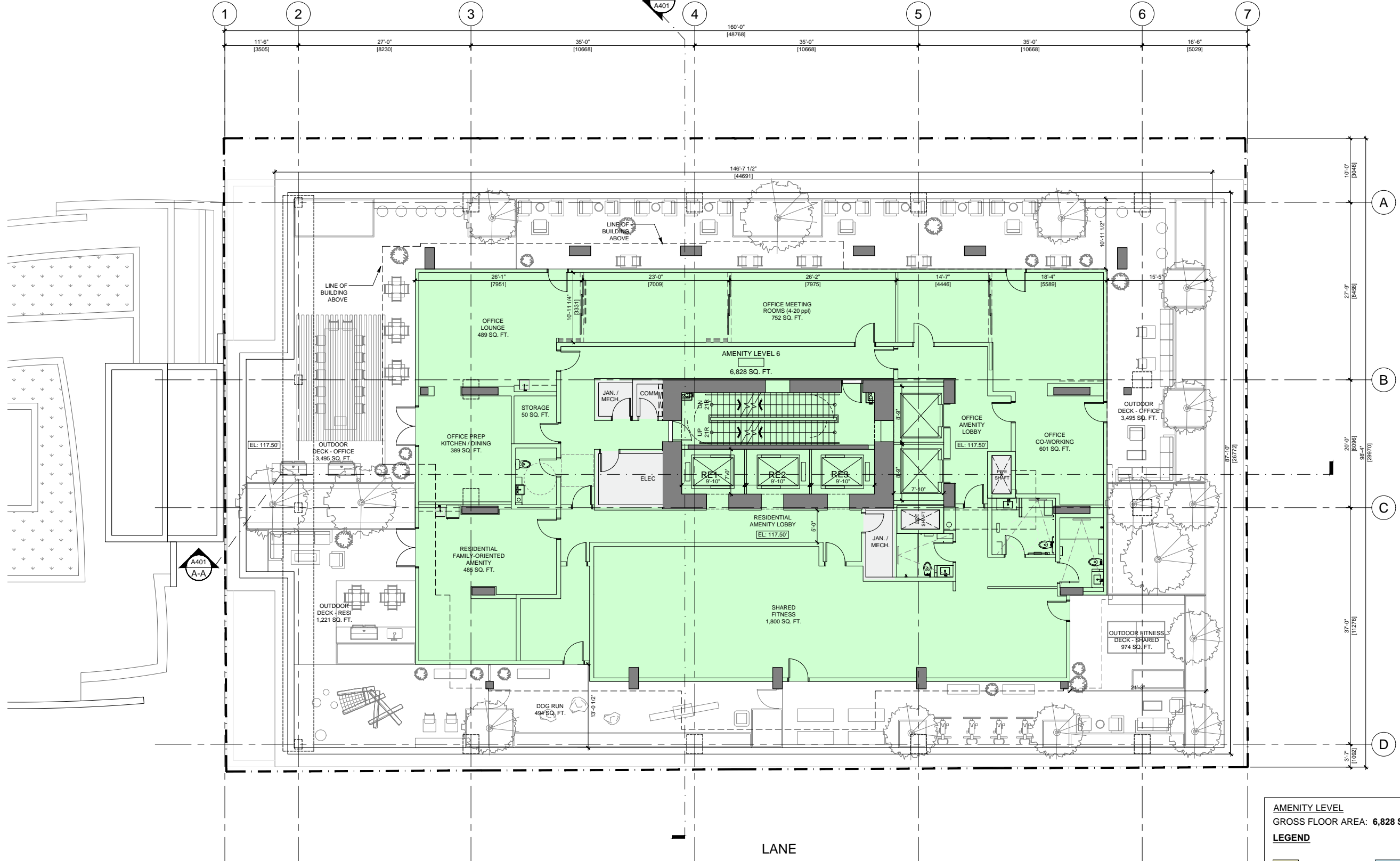
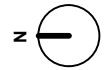
| | |
|---|---|
|  OFFICE |  RESIDENTIAL |
|  EXCLUSION |  AMENITY |

1 OFFICE FLOOR PLAN LEVEL 5
1/8" = 1'-0"



LEVEL 6 - AMENITY

CAMBIE STREET



AMENITY LEVEL
GROSS FLOOR AREA: 6,828 SQ. FT.

LEGEND

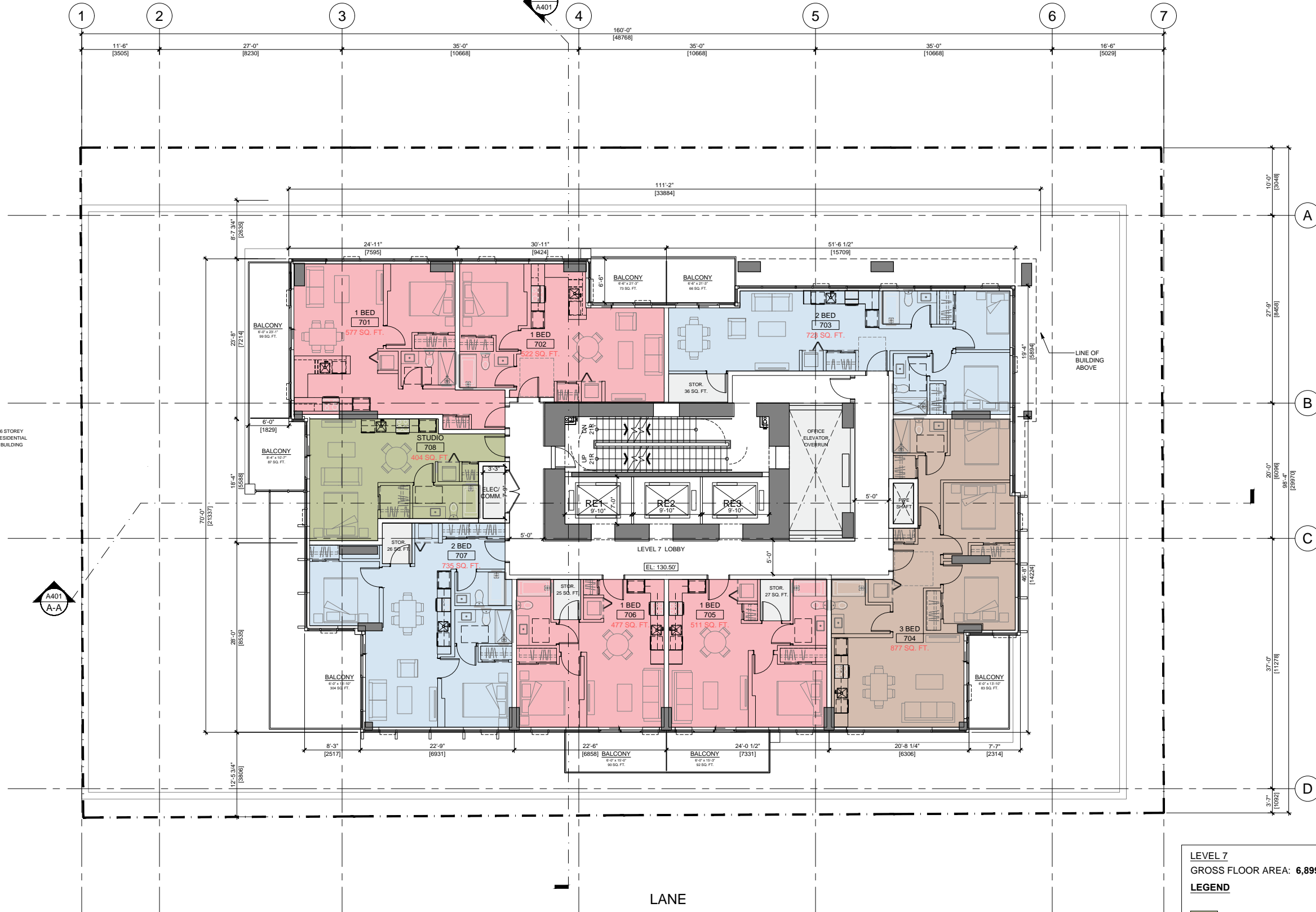
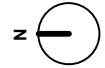
| | |
|--|--|
| RETAIL | RESIDENTIAL |
| OFFICE | AMENITY |
| EXCLUSION | |

1 AMENITY FLOOR PLAN LEVEL 6
1/8" = 1'-0"



LEVEL 7 - RESIDENTIAL

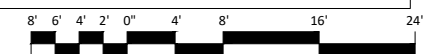
CAMBIE STREET



LEVEL 7
GROSS FLOOR AREA: 6,899 SQ. FT.

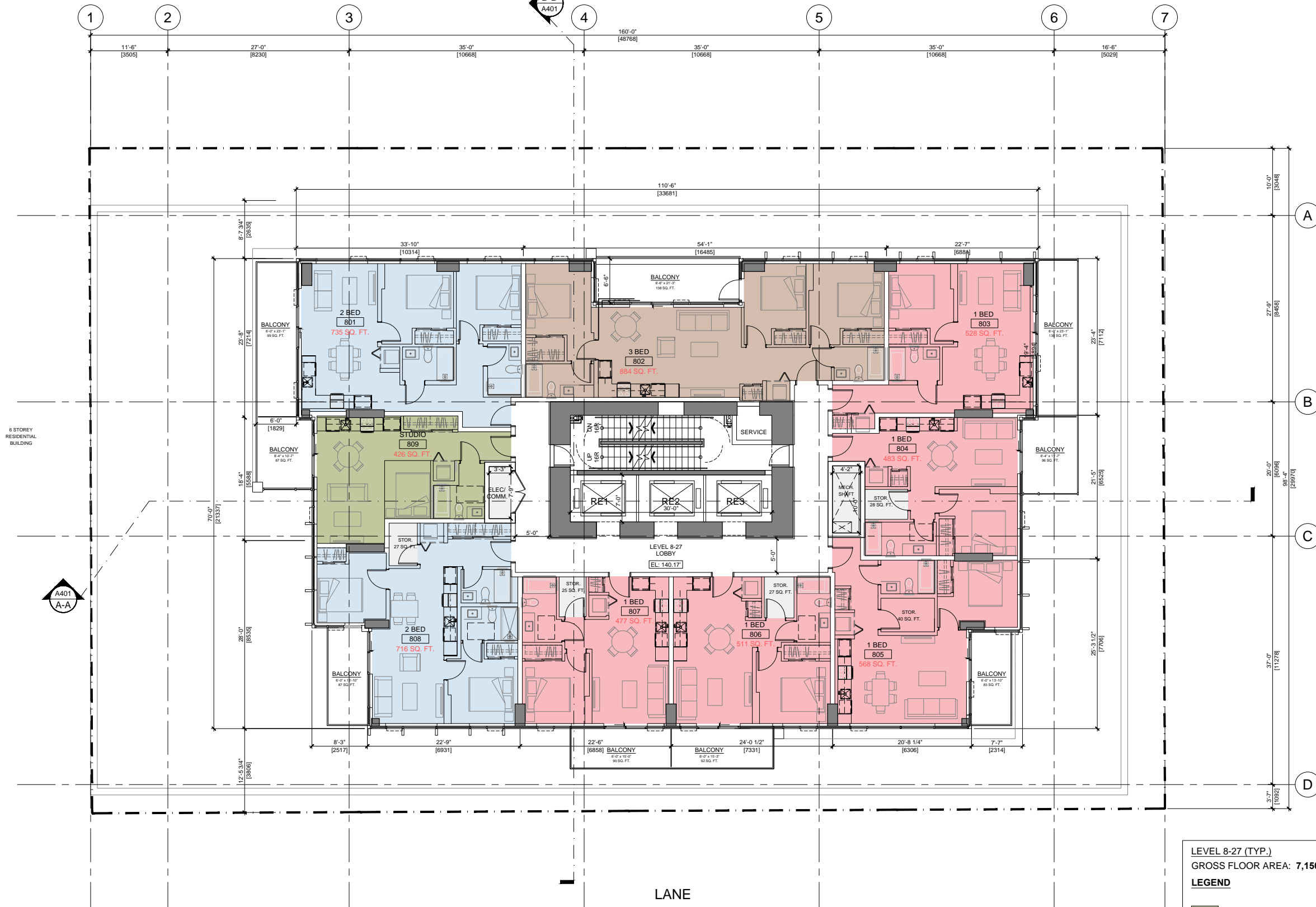
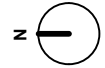
LEGEND

- STUDIO
- 1 BED
- 2 BED
- 3 BED



LEVEL 8-27 _ TYP. RESIDENTIAL

CAMBIE STREET



6 STOREY RESIDENTIAL BUILDING

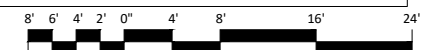
WEST 7TH AVENUE

LANE

LEVEL 8-27 (TYP.)
GROSS FLOOR AREA: 7,150 SQ. FT.

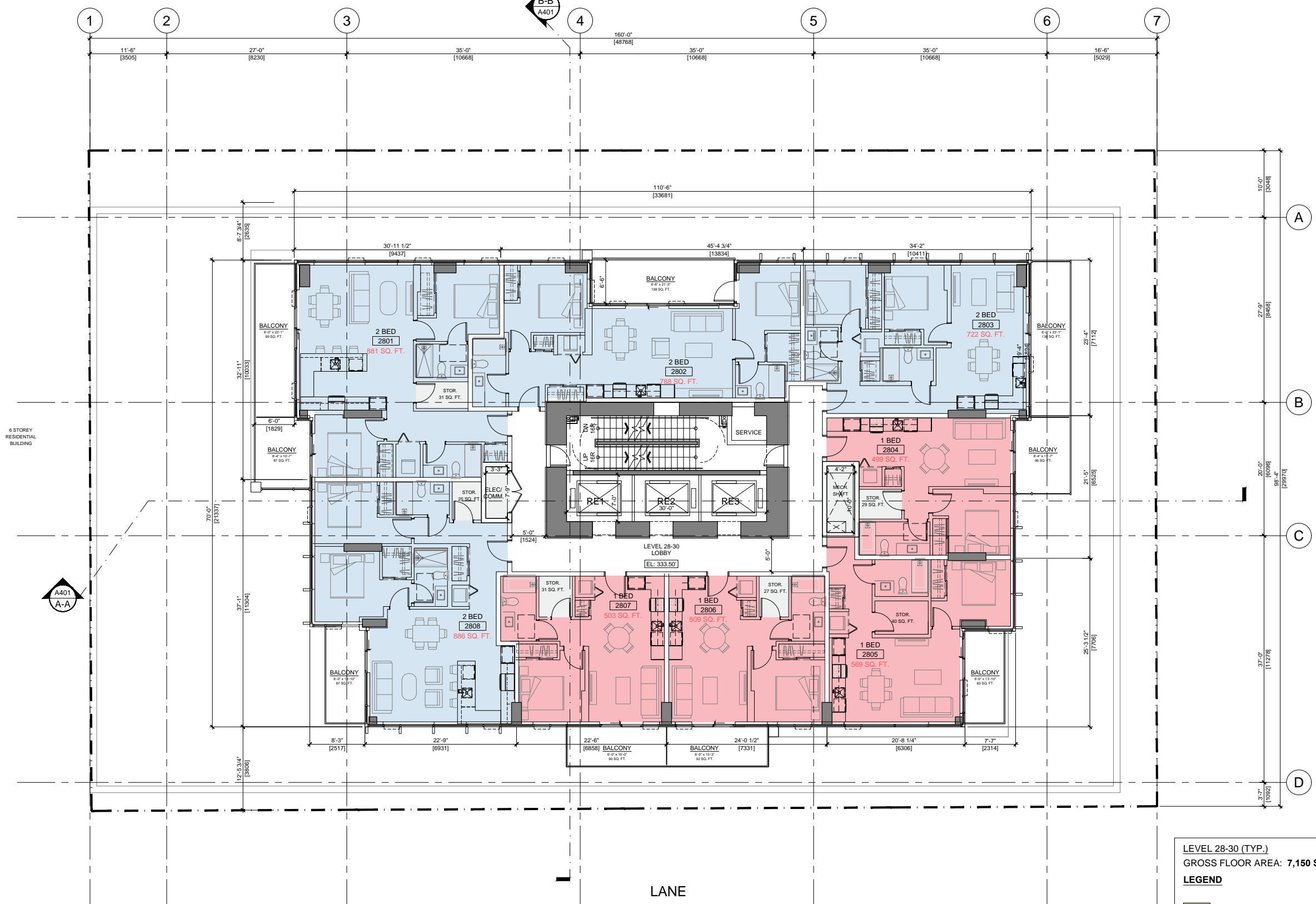
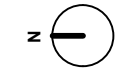
LEGEND

- STUDIO
- 1 BED
- 2 BED
- 3 BED



LEVEL 28-30 _ RESIDENTIAL

CAMBIE STREET



6 STOREY RESIDENTIAL BUILDING

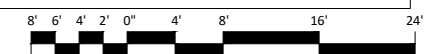
WEST 7TH AVENUE

LANE

LEVEL 28-30 (TYP.)
GROSS FLOOR AREA: 7,150 SQ. FT.

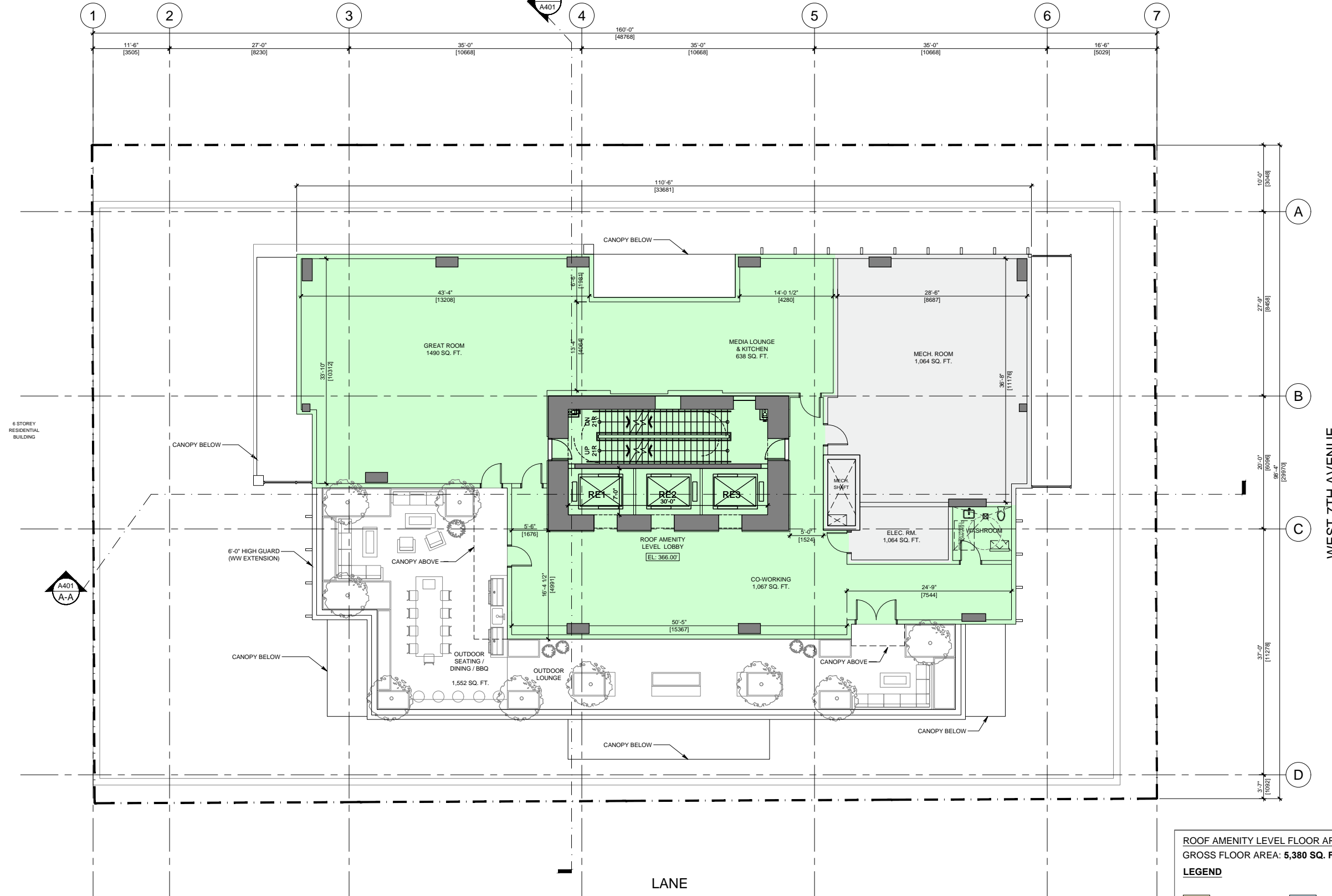
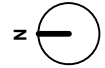
LEGEND

- STUDIO
- 1 BED
- 2 BED
- 3 BED



ROOF AMENITY

CAMBIE STREET



ROOF AMENITY LEVEL FLOOR AREA
GROSS FLOOR AREA: 5,380 SQ. FT.

LEGEND

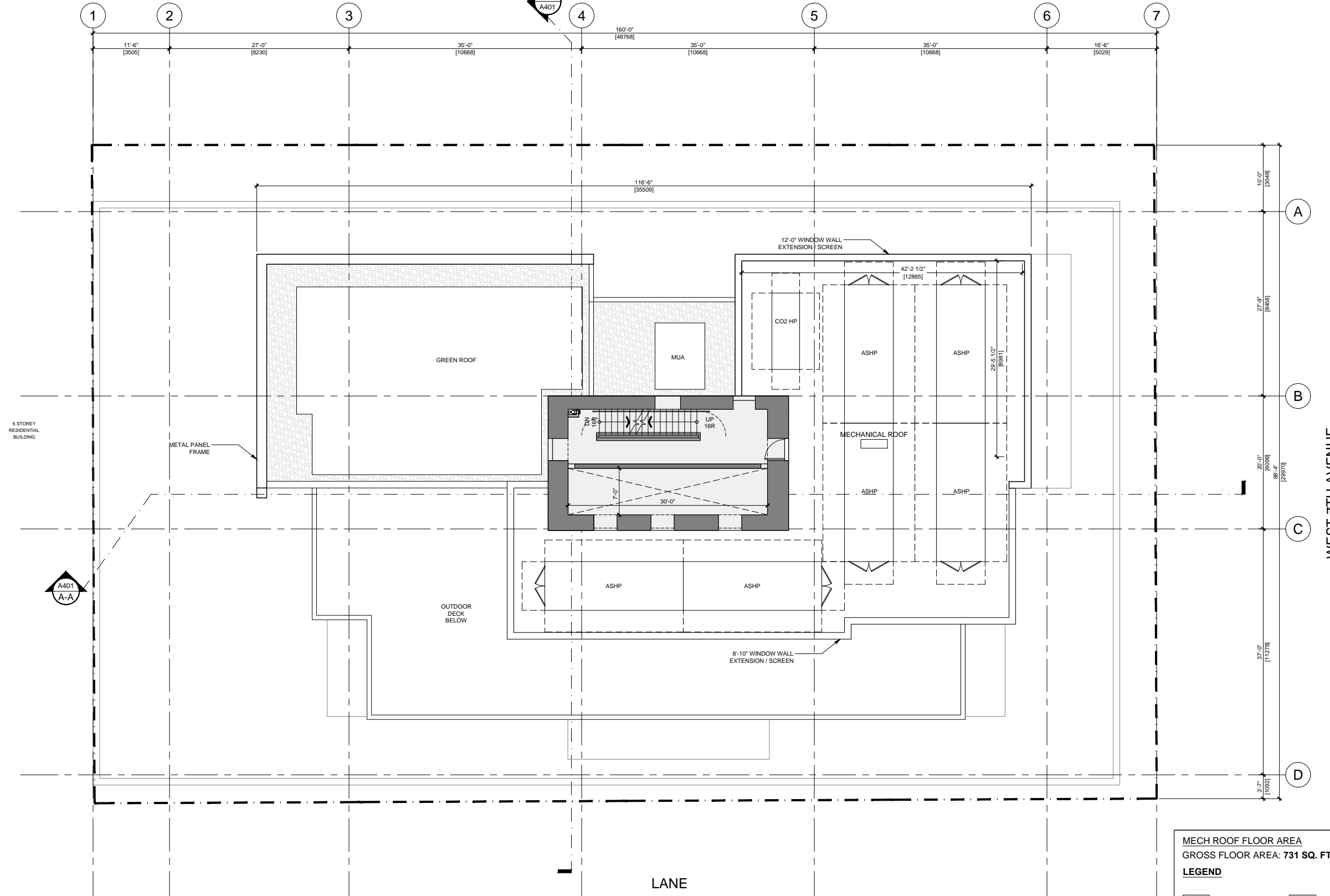
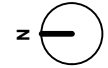
| | |
|--|--|
| RETAIL | RESIDENTIAL |
| OFFICE | AMENITY |
| EXCLUSION | |

1 ROOF AMENITY PLAN
 1/8" = 1'-0"



MECH ROOF

CAMBIE STREET

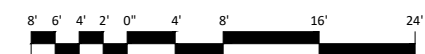


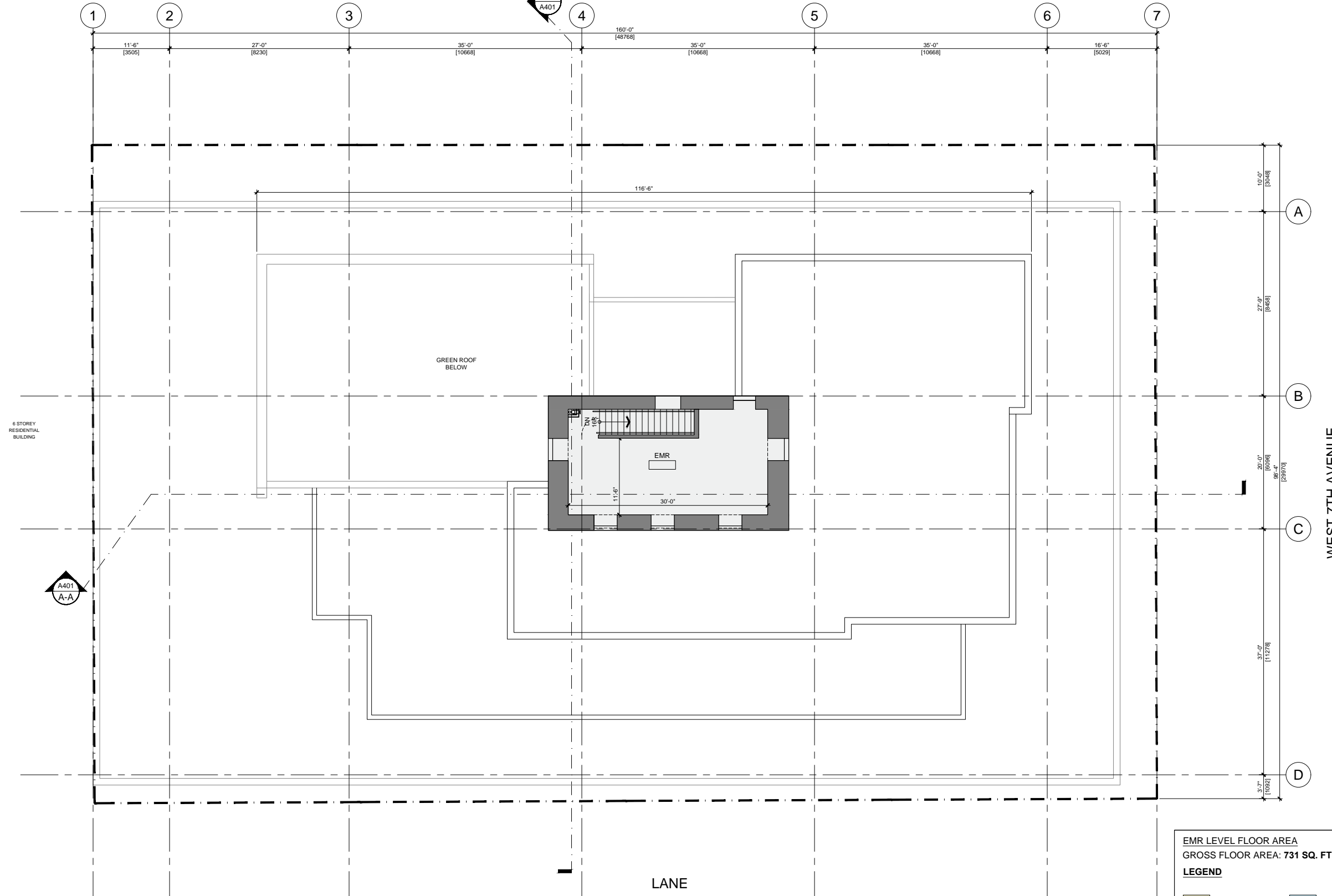
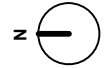
MECH ROOF FLOOR AREA
GROSS FLOOR AREA: 731 SQ. FT.

LEGEND

| | | | |
|--|-----------|--|-------------|
| | RETAIL | | RESIDENTIAL |
| | OFFICE | | AMENITY |
| | EXCLUSION | | |

1 MECHANICAL ROOF PLAN
 1/8" = 1'-0"





EMR LEVEL FLOOR AREA
 GROSS FLOOR AREA: 731 SQ. FT.

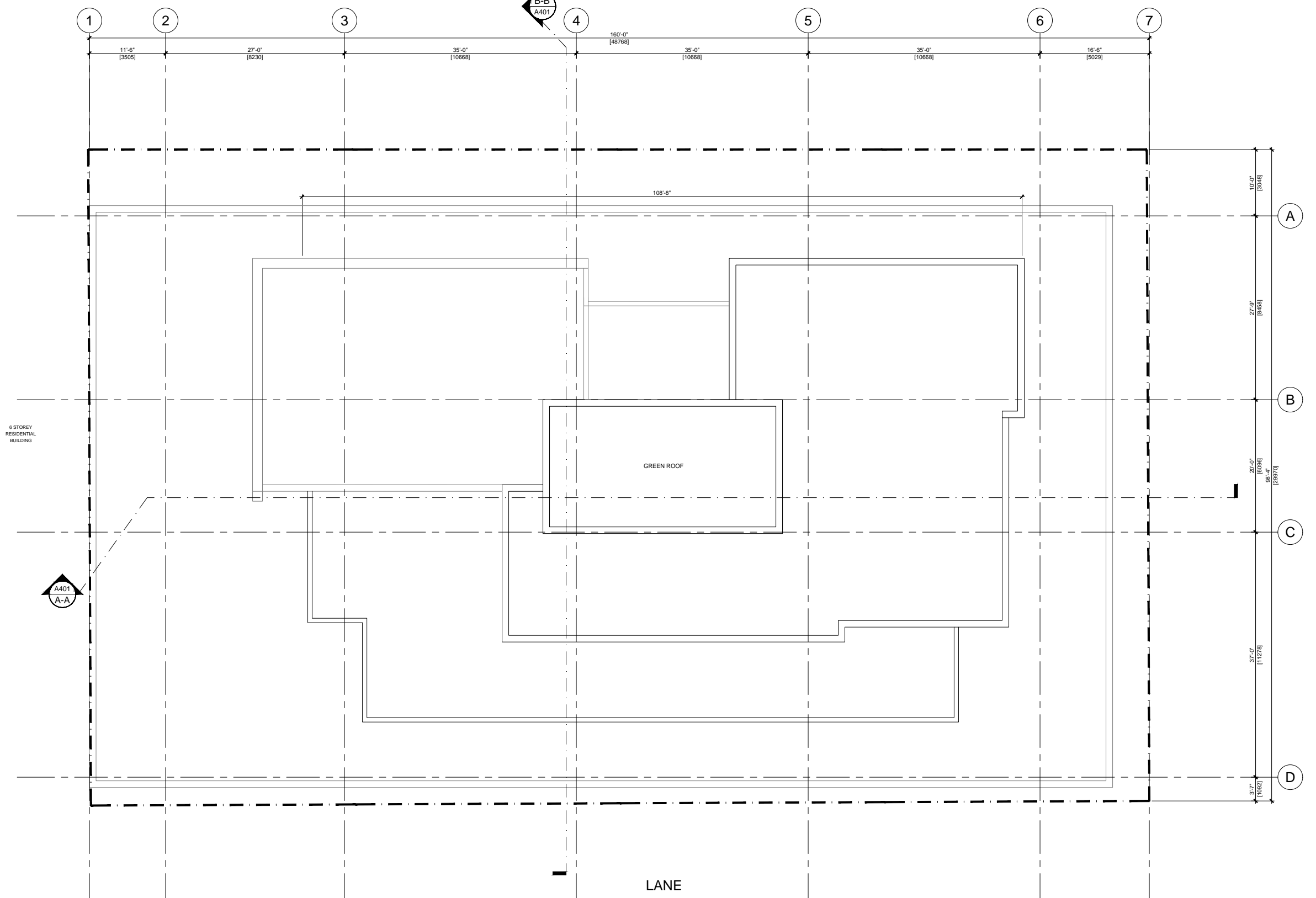
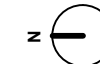
LEGEND

| | |
|--|--|
| RETAIL | RESIDENTIAL |
| OFFICE | AMENITY |
| EXCLUSION | |



UPPER ROOF

CAMBIE STREET



6 STOREY
RESIDENTIAL
BUILDING

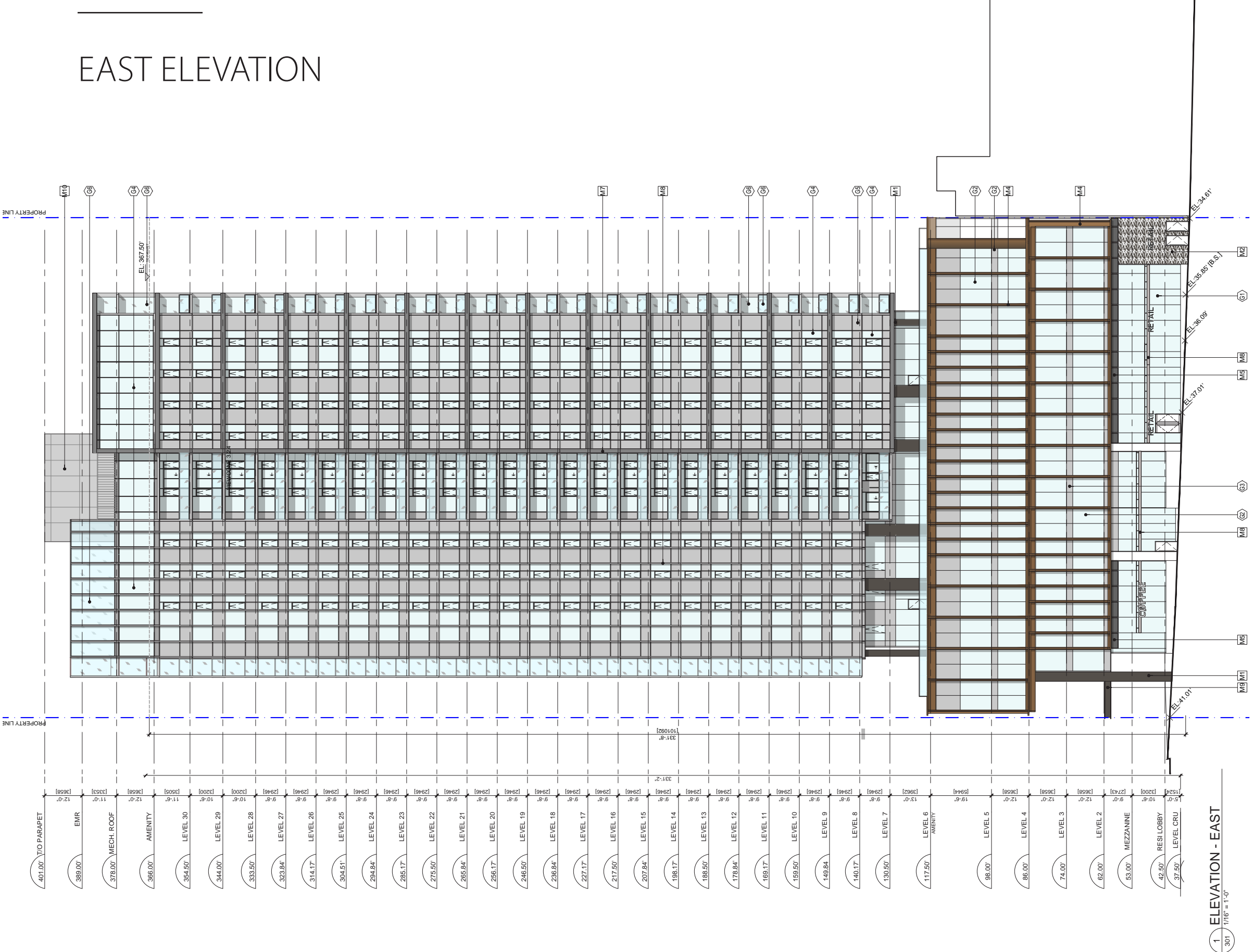
GREEN ROOF

LANE

WEST 7TH AVENUE

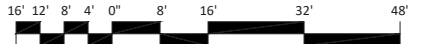


EAST ELEVATION

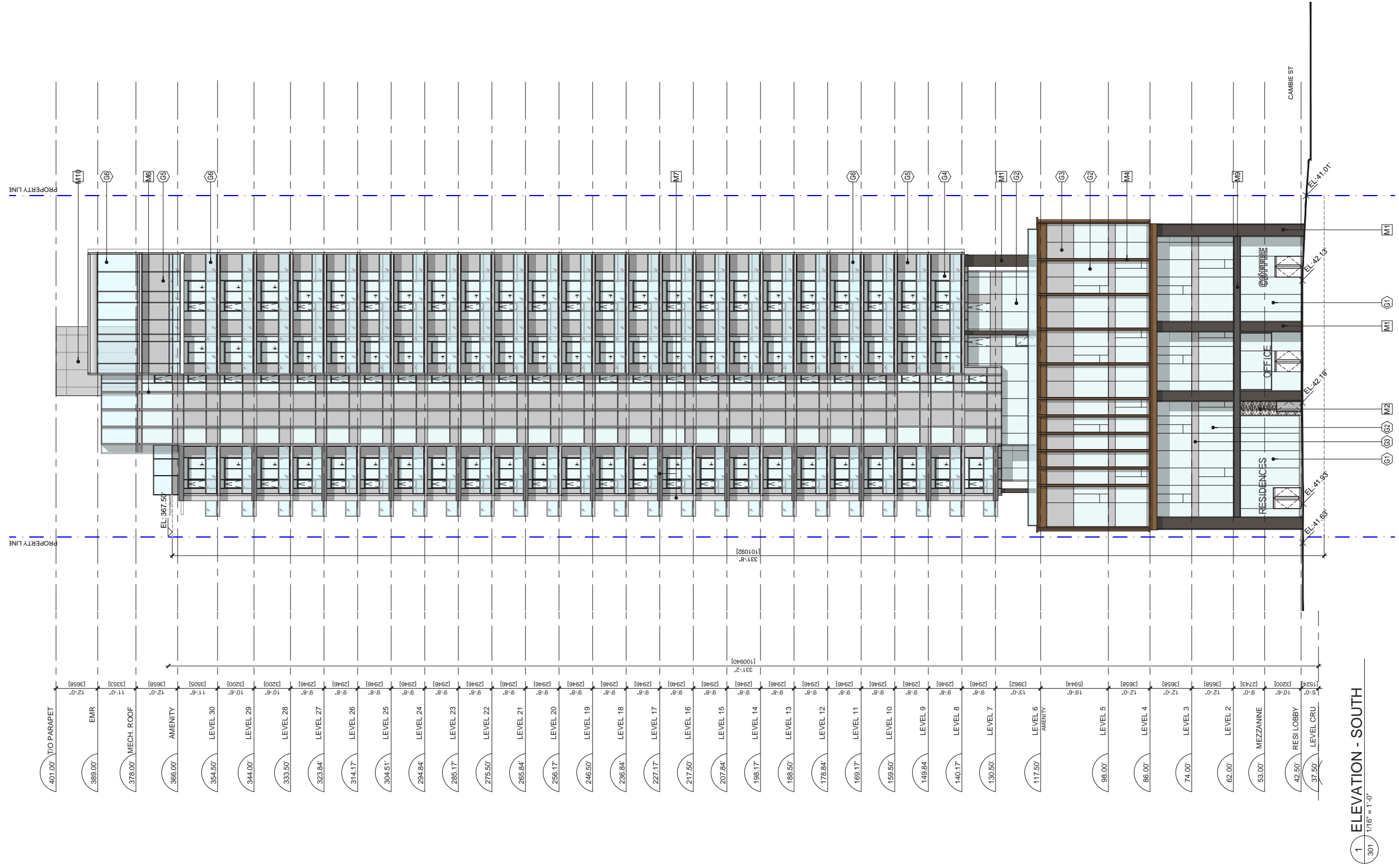


1 EAST ELEVATION - EAST
301 1/16" = 1'-0"

| MATERIAL LEGEND | |
|---|---|
| GLAZING AND SPANDREL | WALL AND SOFFIT FINISH |
| G1 VISION STOREFRONT - 4 SIDED SSG CURTAIN WALL, VISION GLASS, DOUBLE GLAZED, INSULATED LOCATION: L1 | M8 CANOPY - GLAZING TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: L1 ENTRY CANOPY |
| G2 VISION OFFICE - 4 SIDED SSG CURTAIN WALL, VISION GLASS, DOUBLE GLAZED, INSULATED LOCATION: L2 - L6 | M4 METAL FIN/WIN CURTAIN WALL SYSTEM - OFFICE TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: OFFICE LEVELS 2 - 5 |
| G3 SPANDREL PANEL OFFICE, WIN CURTAIN WALL GLASS, DOUBLE GLAZED, INSULATED COLOUR: TBD, SURFACE F4 | M5 ARCHITECTURAL LOUVERS COLOUR/FINISH: TBD |
| G4 WINDOW WALL - VISION GLASS, DOUBLE GLAZED, INSULATED LOCATION: L7 & ABOVE | M6 METAL VERTICAL FIN - WINDOW WALL TYPE: COMPOSITE METAL PANEL LOCATION: RESIDENTIAL TOWER |
| G5 WINDOW WALL - SPANDREL GLASS, CLEAR, DOUBLE GLAZED LOCATION: L7 & ABOVE | M7 METAL VERT. HORIZ. FIN - WINDOW WALL TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: RESIDENTIAL TOWER |
| G6 BALCONY GLASS GUARD, W/ GUARDRAIL FRAME FINISH GLASS, CLEAR, TEMPERED LOCATION: L7 & ABOVE | M9 CANOPY - STRUCTURAL STEEL W/ LAMINATED GLASS LOCATION: L1 CRU CANOPIES, OFFICE & RESI CANOPIES |
| | C1 CONCRETE TYPE: ARCHITECTURAL FINISHED CONCRETE - SEALED CONTROL JOINTS PER ARCH. DWGS |

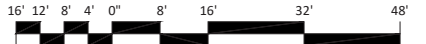


SOUTH ELEVATION

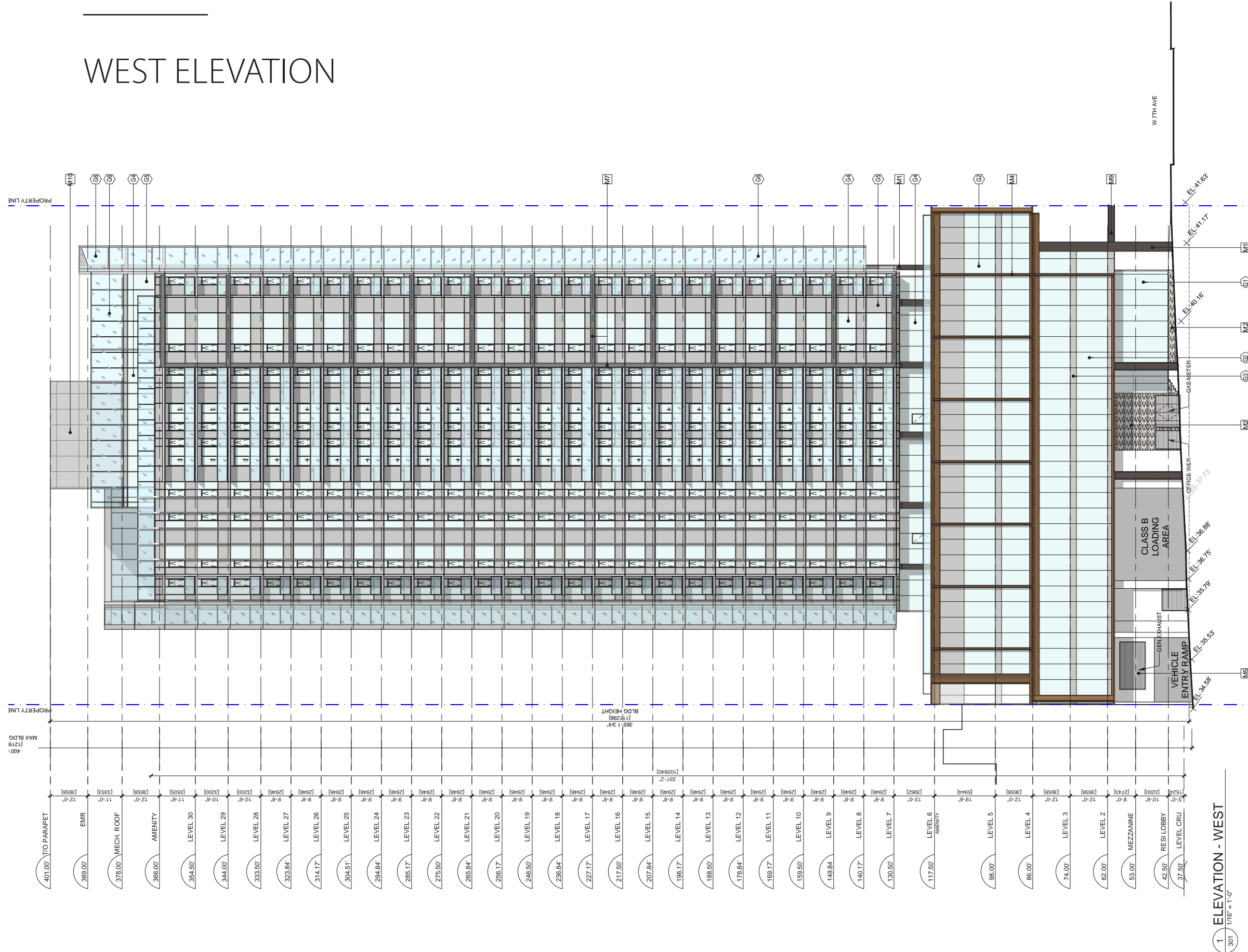


1 ELEVATION - SOUTH
301 1/16" = 1'-0"

| MATERIAL LEGEND | |
|-----------------|--|
| G1 | GLAZING AND SPANDREL VISION STOREFRONT - 4 SIDED SSG CURTAIN WALL, VISION GLASS, DOUBLE GLAZED, INSULATED LOCATION: L1 |
| G2 | VISION OFFICE - 4 SIDED SSG CURTAIN WALL, VISION GLASS, DOUBLE GLAZED, INSULATED LOCATION: L2 - L6 |
| G3 | SPANDREL PANEL OFFICE, VISION CURTAIN WALL, GLASS, DOUBLE GLAZED, INSULATED COLOUR: TBD, SURFACE 14 |
| G4 | WINDOW WALL - VISION GLASS, DOUBLE GLAZED, INSULATED LOCATION: L7 & ABOVE |
| G5 | WINDOW WALL - SPANDREL GLASS, CLEAR, DOUBLE GLAZED LOCATION: L7 & ABOVE |
| G6 | BALCONY GLASS GUARD, W/ GUARDRAIL FRAME FINISH GLASS, CLEAR, TEMPERED LOCATION: L7 & ABOVE |
| M1 | WALL AND SOFFIT FINISH METAL PANEL - COLUMN CLADDING TYPE: COMPOSITE METAL PANEL LOCATION: L1-2, L6 |
| M2 | PANELIZED CLADDING TYPE: TBD LOCATION: L1 - L2 |
| M3 | METAL SOFFIT TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: L1, L6 |
| M4 | WALL AND SOFFIT FINISH METAL FIN. WIN CURTAIN WALL SYSTEM - OFFICE TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: OFFICE LEVELS 2 - 5 |
| M5 | ARCHITECTURAL LOUVERS COLOUR/FINISH: TBD |
| M6 | METAL VERTICAL FIN - WINDOW WALL TYPE: COMPOSITE METAL PANEL LOCATION: RESIDENTIAL TOWER |
| M7 | METAL VERT. HORIZ. FIN - WINDOW WALL TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: RESIDENTIAL TOWER |
| M8 | CANOPY - STRUCTURAL STEEL W/ LAMINATED GLASS LOCATION: L1 CRU CANOPIES, OFFICE & RESI CANOPIES |
| M9 | WALL AND SOFFIT FINISH CANOPY - CLADDING TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: L1 ENTRY CANOPY |
| M10 | METAL CLADDING TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: ELEVATOR OVERRUN |
| C1 | CONCRETE TYPE: ARCHITECTURAL FINISHED CONCRETE - SEALED CONTROL JOINTS PER ARCH. DWGS |



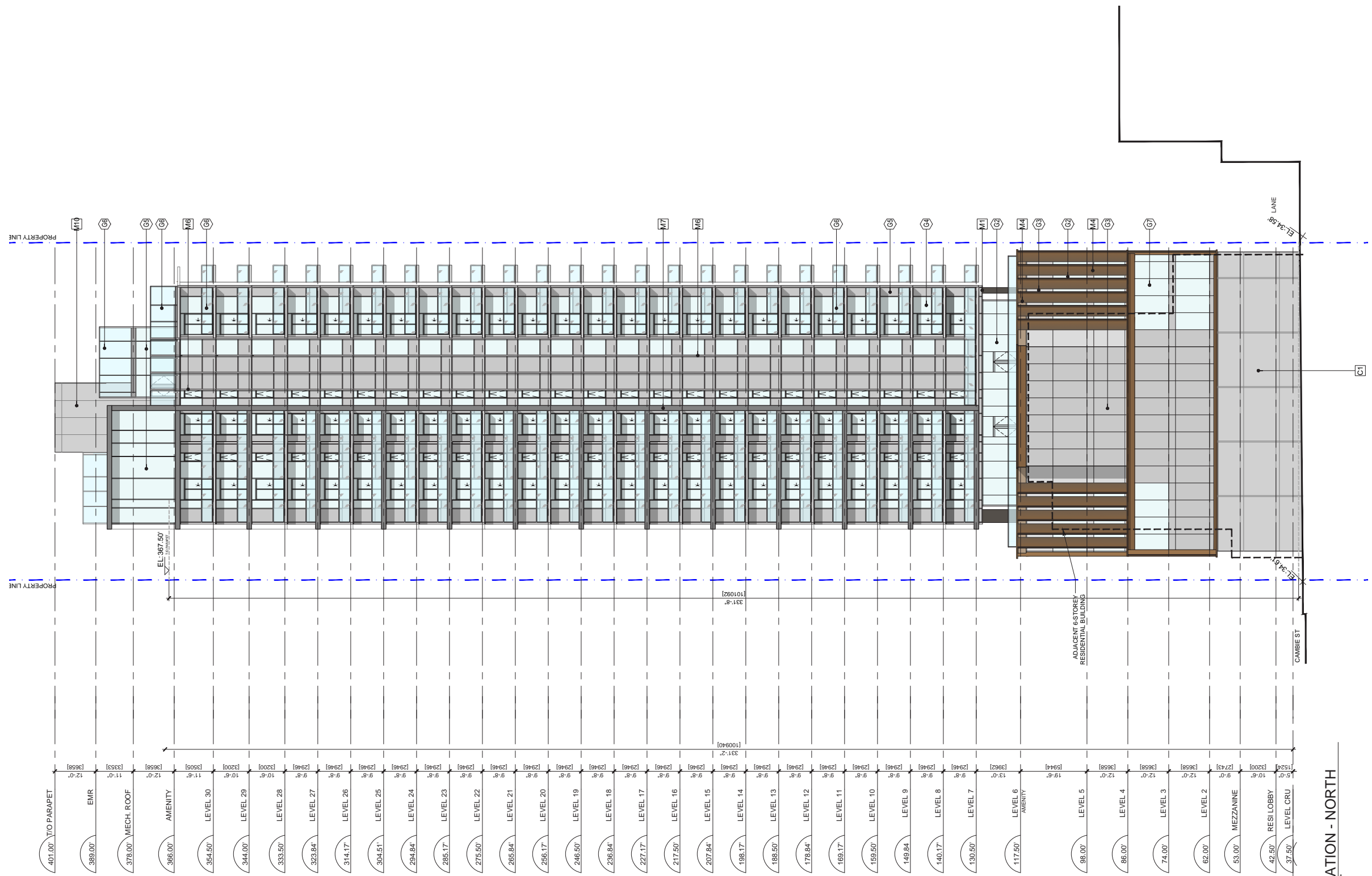
WEST ELEVATION



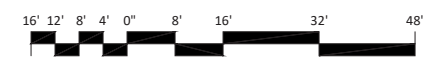
1 ELEVATION - WEST
301 1/16" = 1'-0"

| MATERIAL LEGEND | |
|---|--|
| GLAZING AND SPANDREL | WALL AND SOFFIT FINISH |
| G1 VISION STOREFRONT - 4 SIDED SSG CURTAIN WALL, VISION GLASS, DOUBLE GLAZED, INSULATED LOCATION: L1 | M8 CANOPY - CLADDING TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: L1 ENTRY CANOPY |
| G2 VISION OFFICE - 4 SIDED SSG CURTAIN WALL, VISION GLASS, DOUBLE GLAZED, INSULATED LOCATION: L2 - L6 | M4 METAL FIN W/IN CURTAIN WALL SYSTEM - OFFICE TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: OFFICE LEVELS 2 - 5 |
| G3 SPANDREL PANEL OFFICE W/IN CURTAIN WALL GLASS: DOUBLE GLAZED, INSULATED COLOUR: TBD, SURFACE 14 | M5 ARCHITECTURAL LOUVERS COLOUR/FINISH: TBD |
| G4 WINDOW WALL - VISION GLASS: DOUBLE GLAZED, INSULATED LOCATION: L7 & ABOVE | M6 METAL VERTICAL FIN - WINDOW WALL TYPE: COMPOSITE METAL PANEL LOCATION: RESIDENTIAL TOWER |
| G5 WINDOW WALL - SPANDREL GLASS: CLEAR, DOUBLE GLAZED LOCATION: L7 & ABOVE | M7 METAL VERT. HORIZ. FIN - WINDOW WALL TYPE: COMPOSITE METAL PANEL LOCATION: RESIDENTIAL TOWER |
| G6 BALCONY GLASS GUARD/W/ GUARDRAIL FRAME FINISH GLASS: CLEAR, TEMPERED LOCATION: L7 & ABOVE | M3 CANOPY - STRUCTURAL STEEL W/ LAMINATED GLASS LOCATION: L1 CRU CANOPIES, OFFICE & RESI CANOPIES |
| G7 OFFICE - 4 SIDED SSG CURTAIN WALL GLASS: DOUBLE GLAZED, INSULATED LOCATION: L2 - L6 NORTH | C1 CONCRETE TYPE: ARCHITECTURAL FINISHED CONCRETE - SEALED CONTROL JOINTS PER ARCH. DWGS |

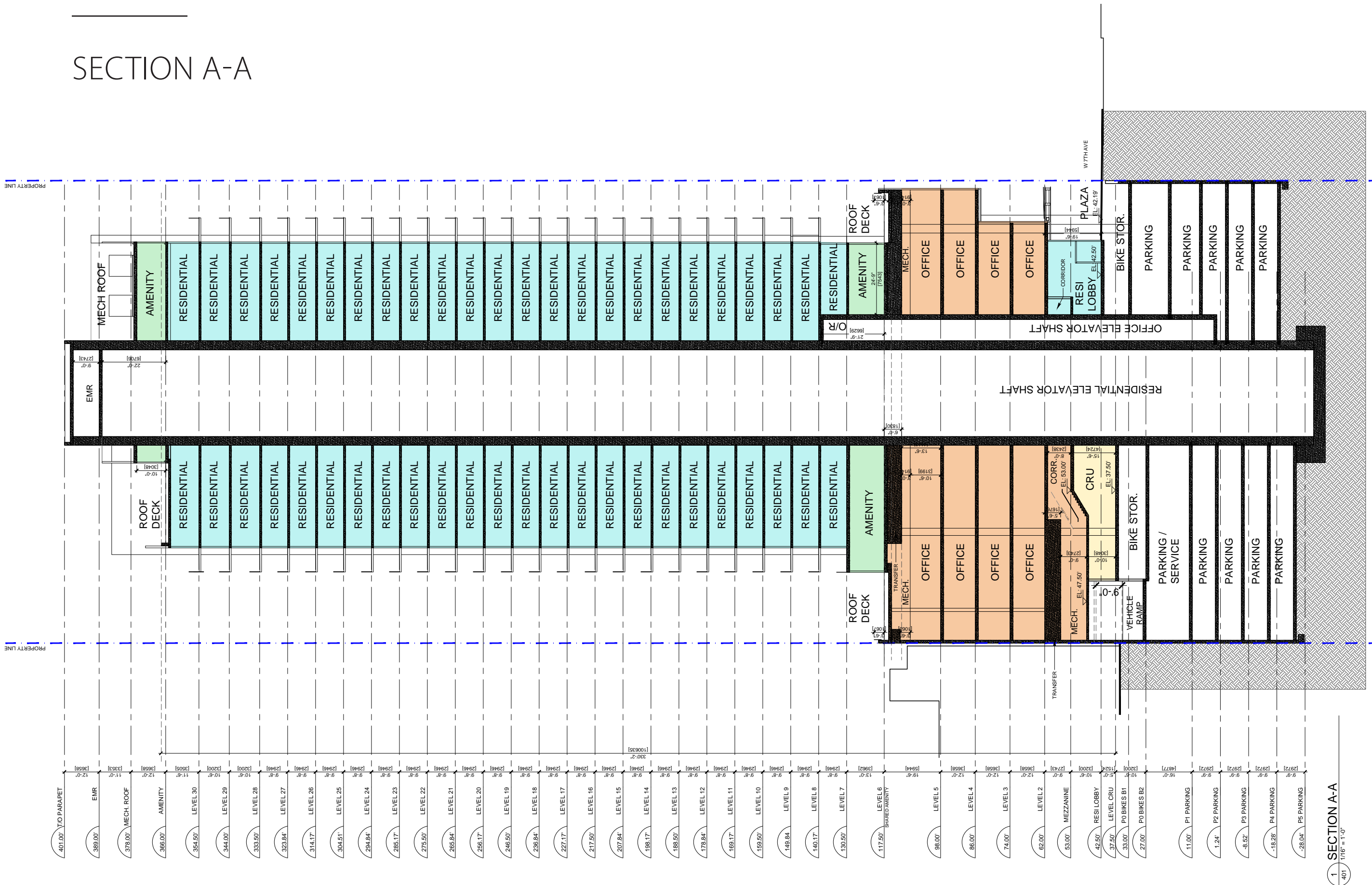
NORTH ELEVATION



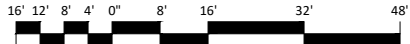
| MATERIAL LEGEND | |
|---|---|
| GLAZING AND SPANDREL | WALL AND SOFFIT FINISH |
| G1 VISION STOREFRONT - 4 SIDED SSG CURTAIN WALL, VISION GLASS, DOUBLE GLAZED, INSULATED LOCATION: L1 | M4 METAL FIN WIN CURTAIN WALL SYSTEM - OFFICE TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: OFFICE LEVELS 2 - 5 |
| G2 VISION OFFICE - 4 SIDED SSG CURTAIN WALL, VISION GLASS, DOUBLE GLAZED, INSULATED LOCATION: L2 - L6 | M5 ARCHITECTURAL LOUVERS COLOUR/FINISH: TBD |
| G3 SPANDREL PANEL OFFICE WIN CURTAIN WALL GLASS: DOUBLE GLAZED, INSULATED COLOUR: TBD, SURFACE 14 | M6 METAL VERTICAL FIN - WINDOW WALL TYPE: COMPOSITE METAL PANEL LOCATION: RESIDENTIAL TOWER |
| G4 WINDOW WALL - VISION GLASS: DOUBLE GLAZED, INSULATED LOCATION: L7 & ABOVE | M7 METAL VERT. HORIZ. FIN - WINDOW WALL TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: RESIDENTIAL TOWER |
| G5 WINDOW WALL - SPANDREL GLASS: CLEAR, DOUBLE GLAZED LOCATION: L7 & ABOVE | M8 CANOPY - STRUCTURAL STEEL W/ LAMINATED GLASS LOCATION: L1 CRU CANOPIES, OFFICE & RESI CANOPIES |
| G6 BALCONY GLASS GUARD. W/ GUARDRAIL FRAME FINISH GLASS: CLEAR, TEMPERED LOCATION: L7 & ABOVE | M9 CANOPY - GLAZING TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: L1 ENTRY CANOPY |
| | M10 METAL CLADDING TYPE: COMPOSITE METAL PANEL COLOUR: TBD LOCATION: ELEVATOR OVERRUN |
| | C1 CONCRETE TYPE: ARCHITECTURAL FINISHED CONCRETE - SEALED CONTROL JOINTS PER ARCH. DWGS |



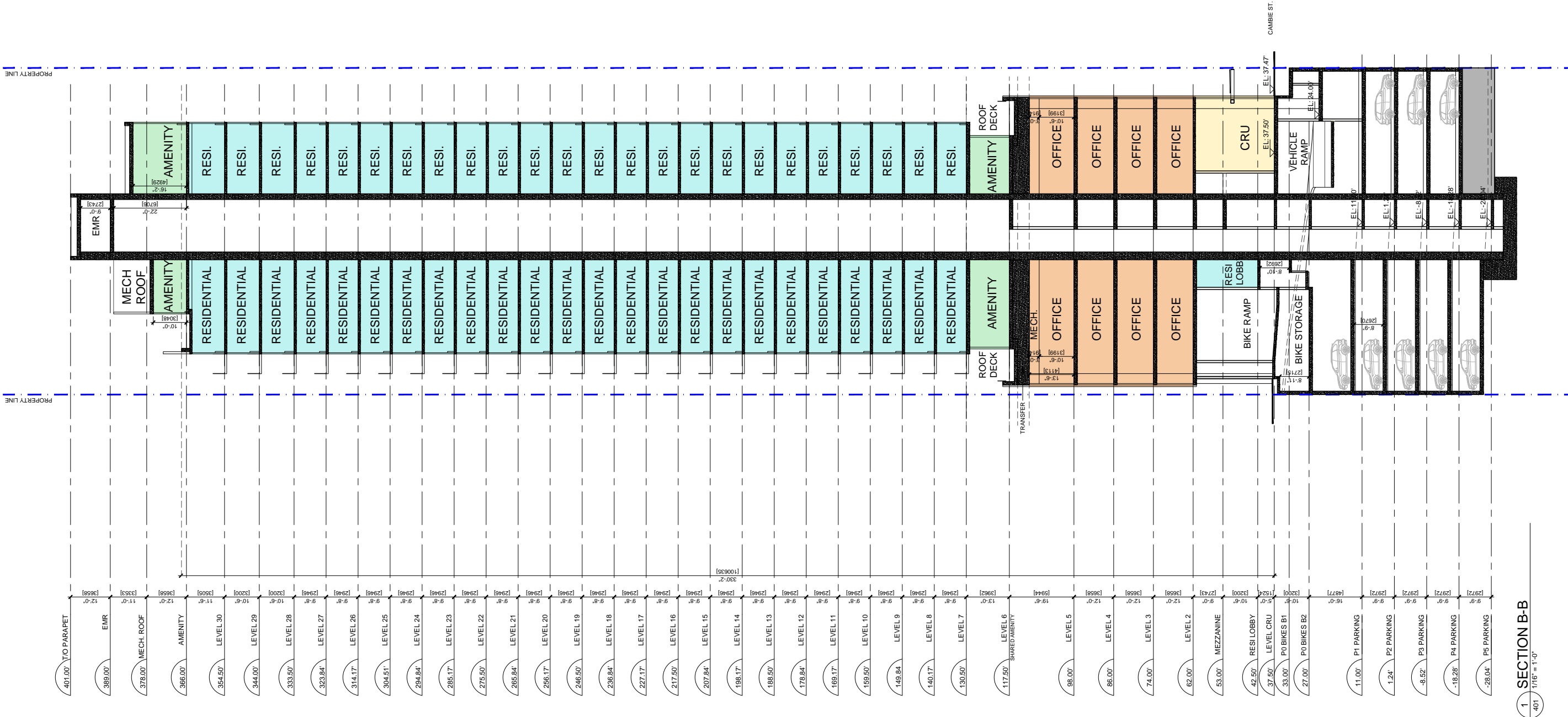
SECTION A-A



1 SECTION A-A
401' 1/16" = 1'-0"



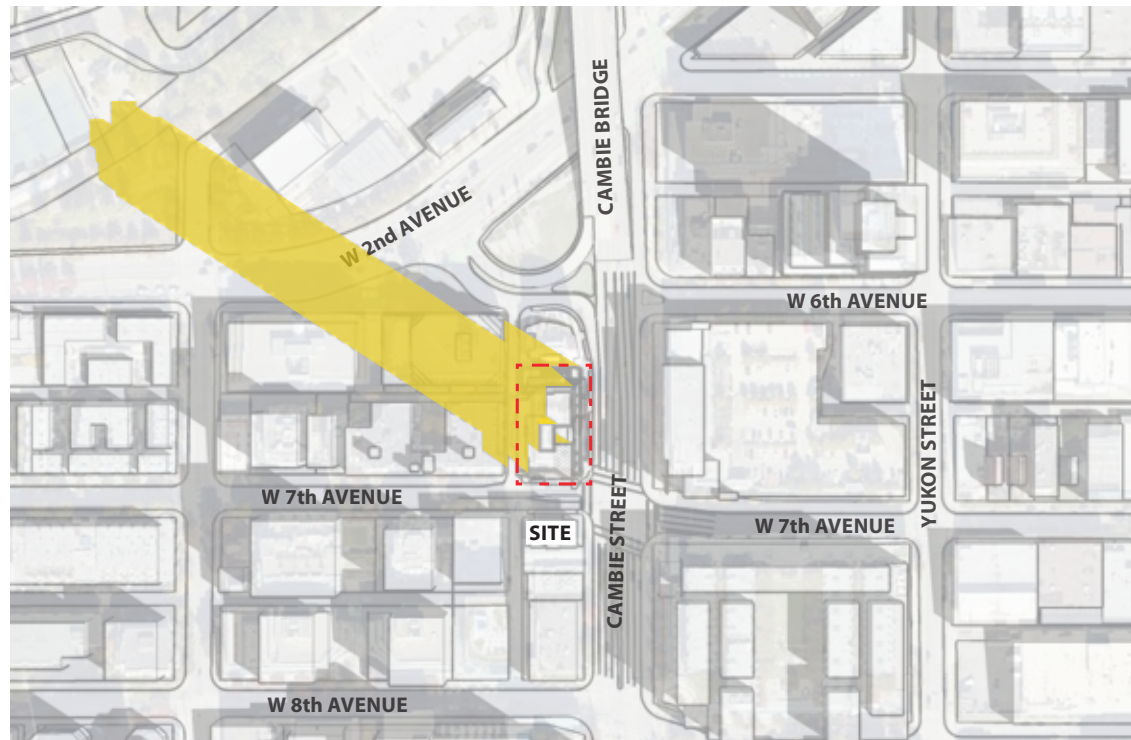
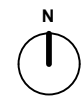
SECTION B-B



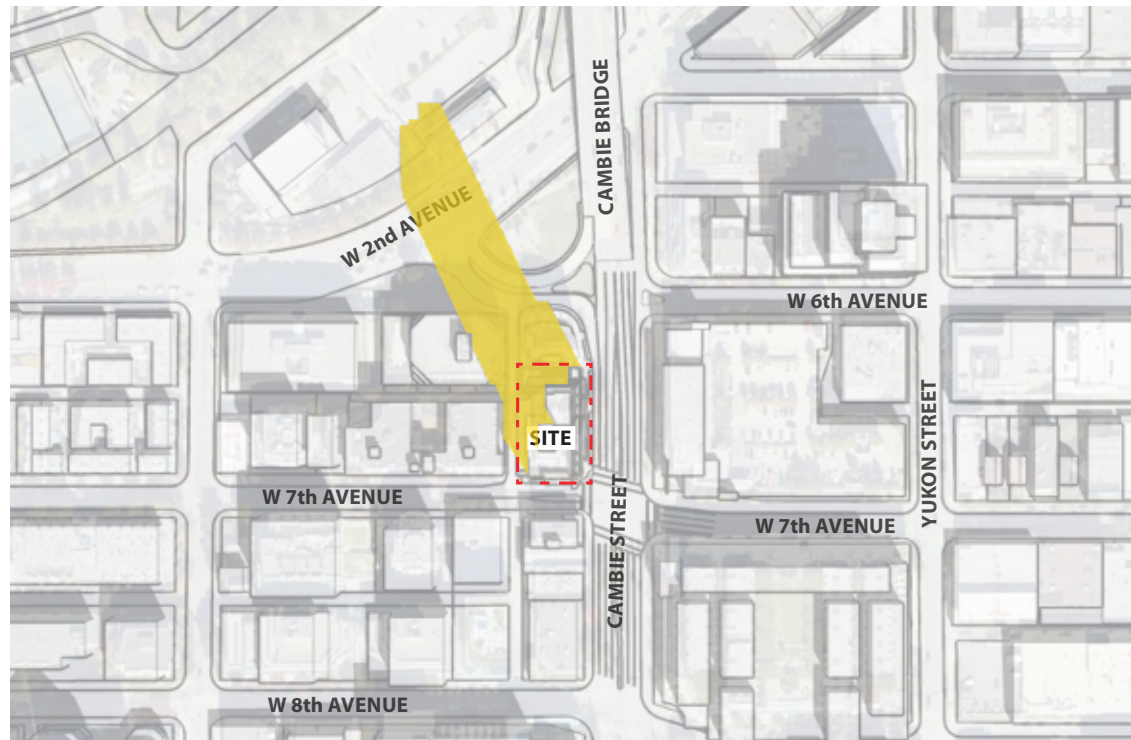
1 SECTION B-B
401' 1/16" = 1'-0"



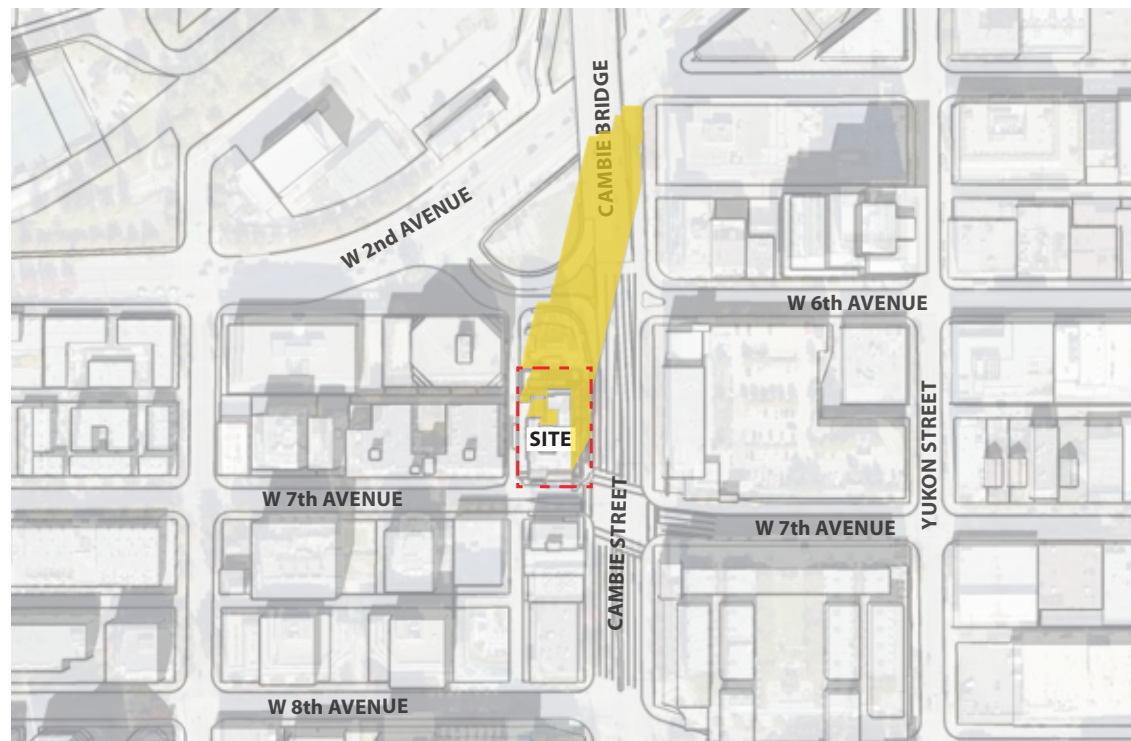
SHADOW STUDIES (MARCH 19)



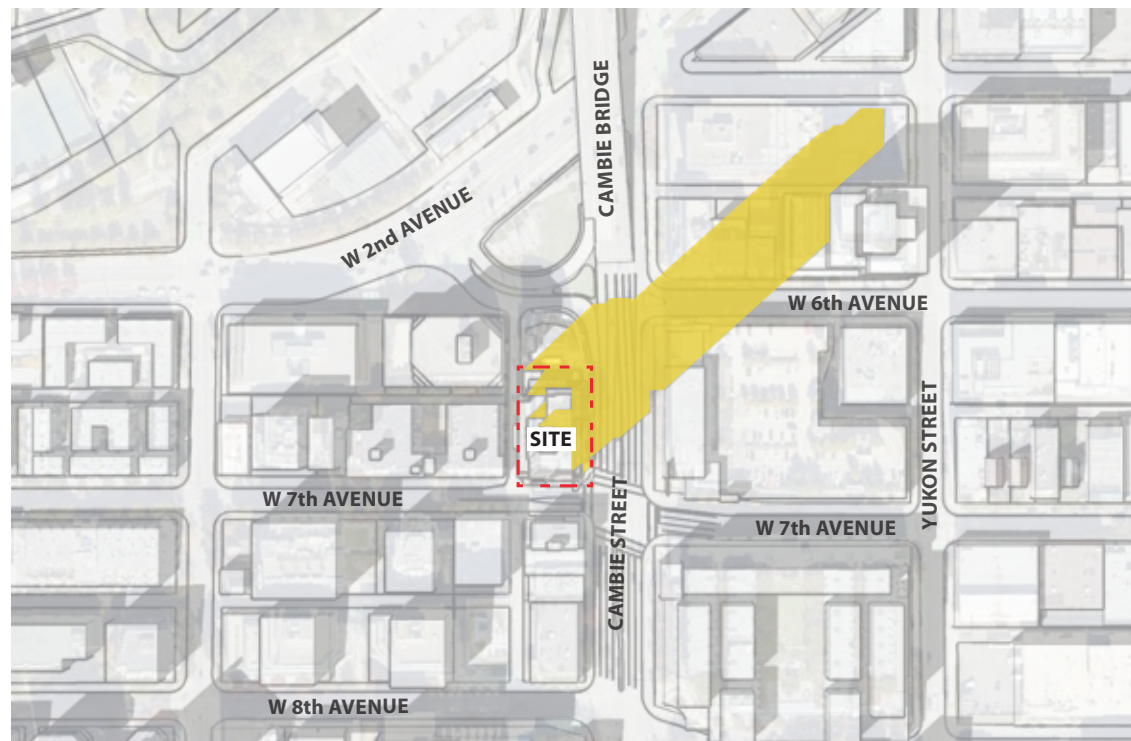
MARCH 19 | 10am



MARCH 19 | 12pm

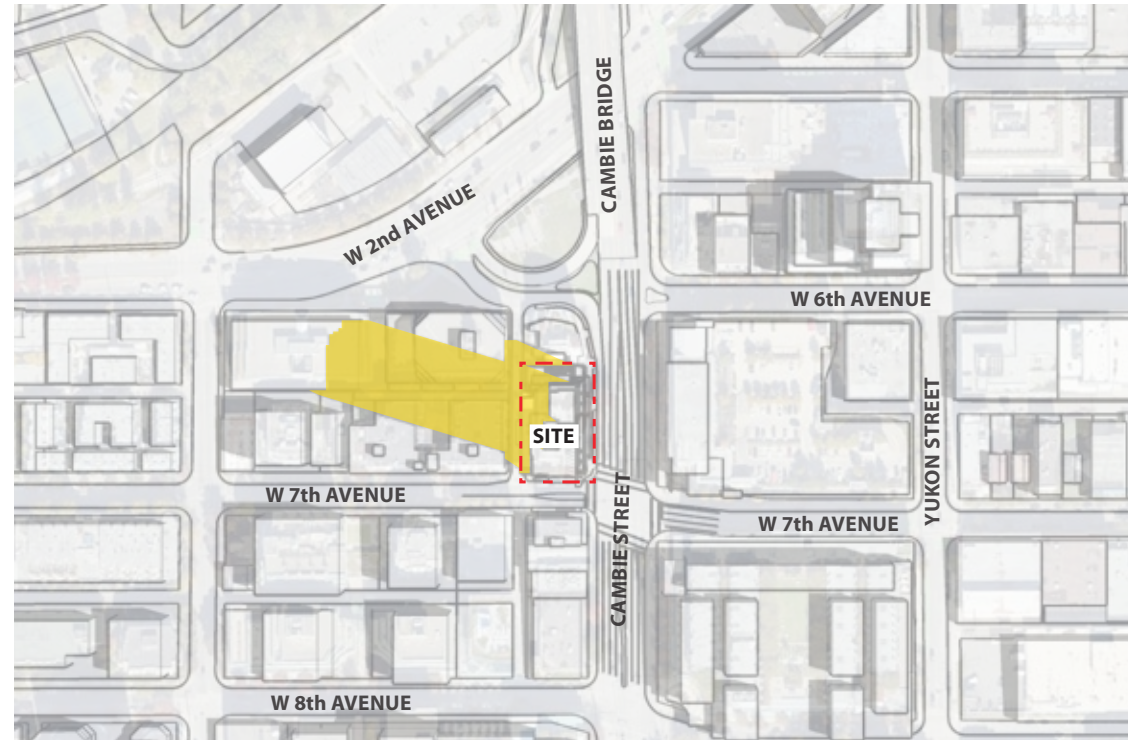


MARCH 19 | 2pm

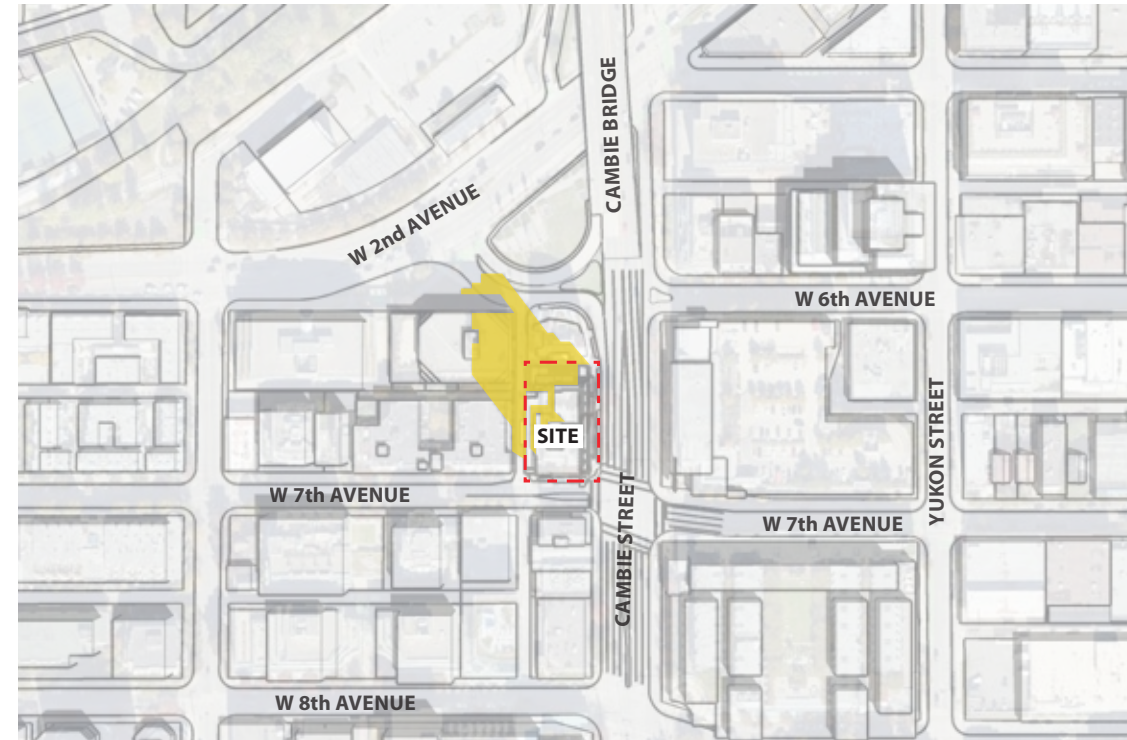


MARCH 19 | 4pm

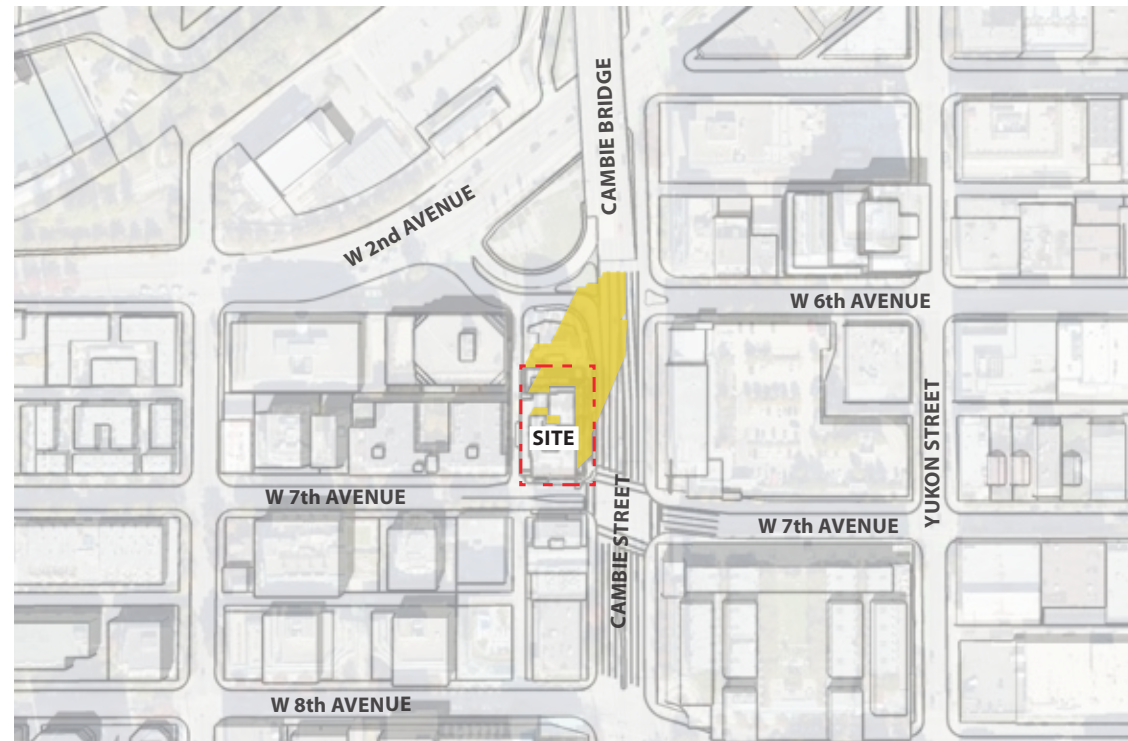
SHADOW STUDIES (JUNE 21)



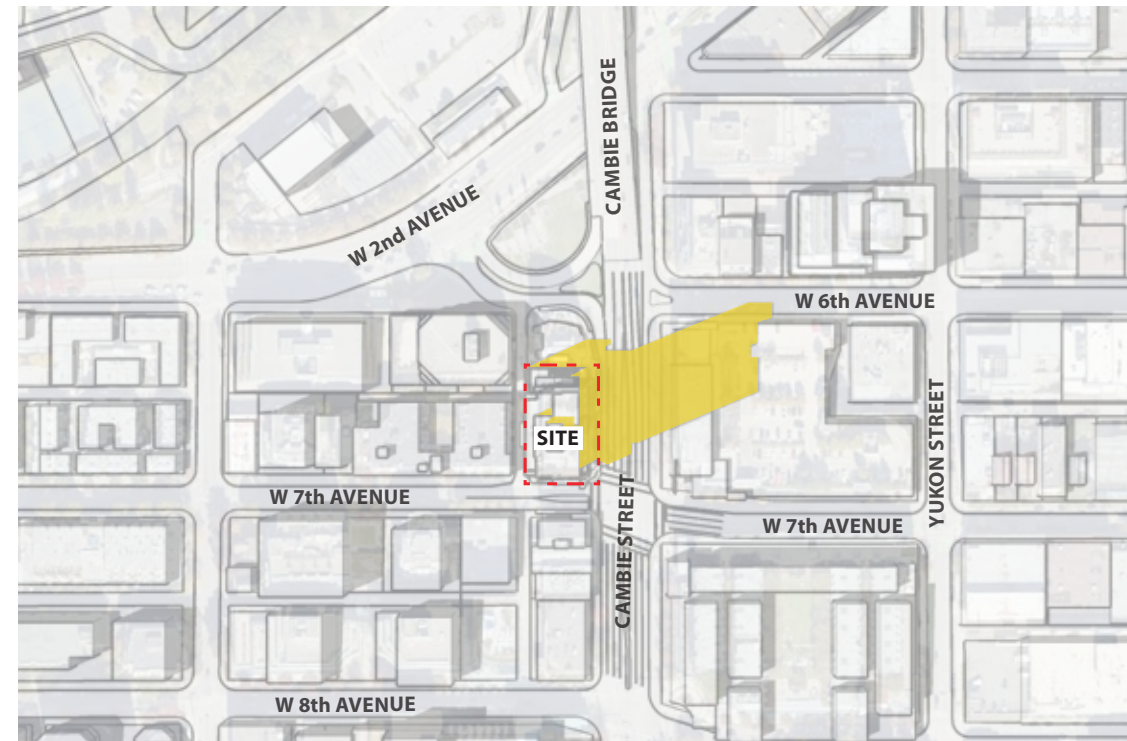
JUNE 21 | 10am



JUNE 21 | 12pm

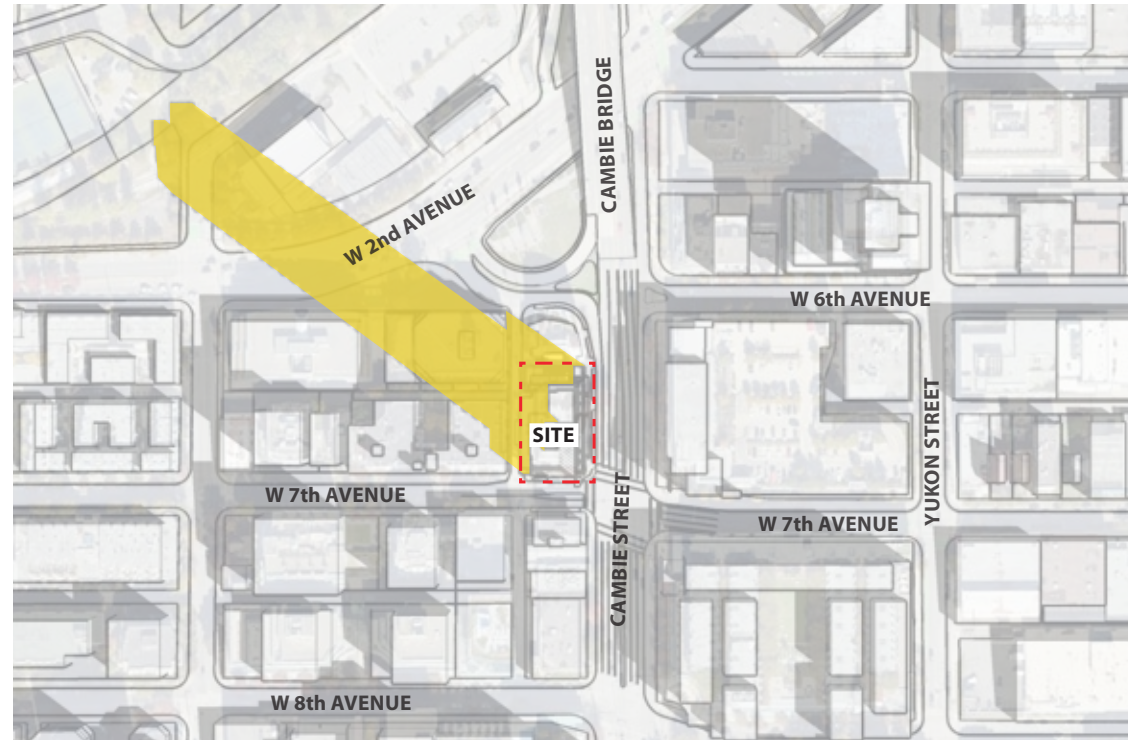


JUNE 21 | 2pm

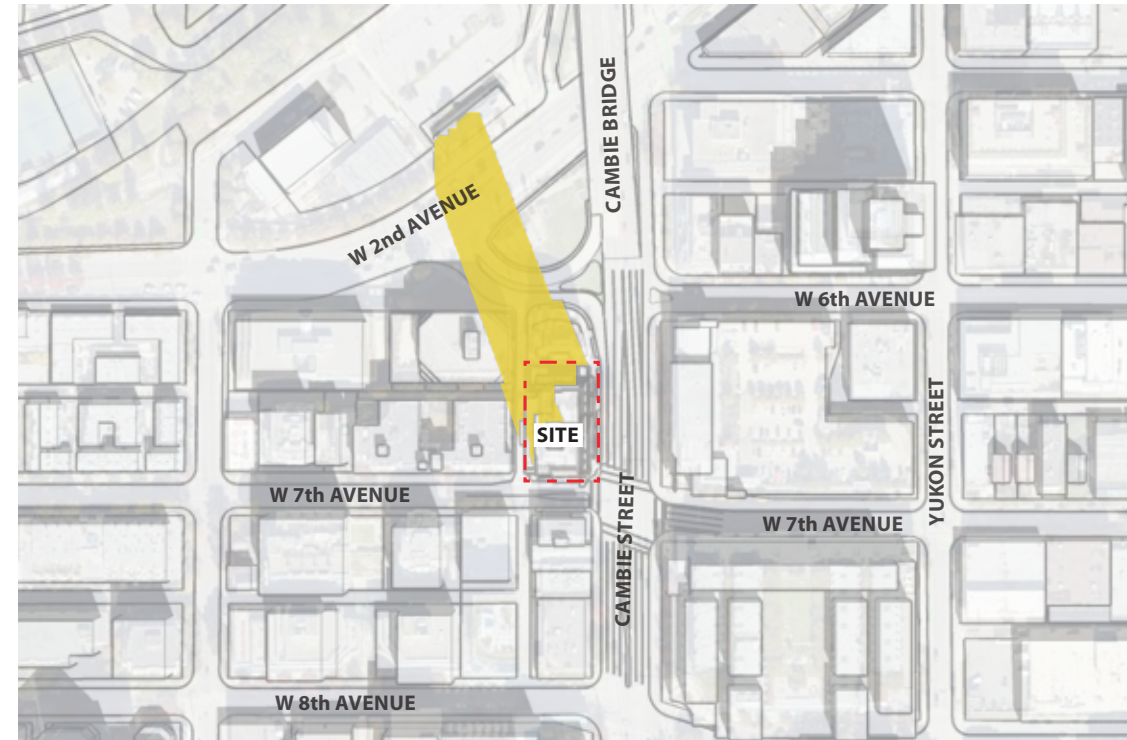


JUNE 21 | 4pm

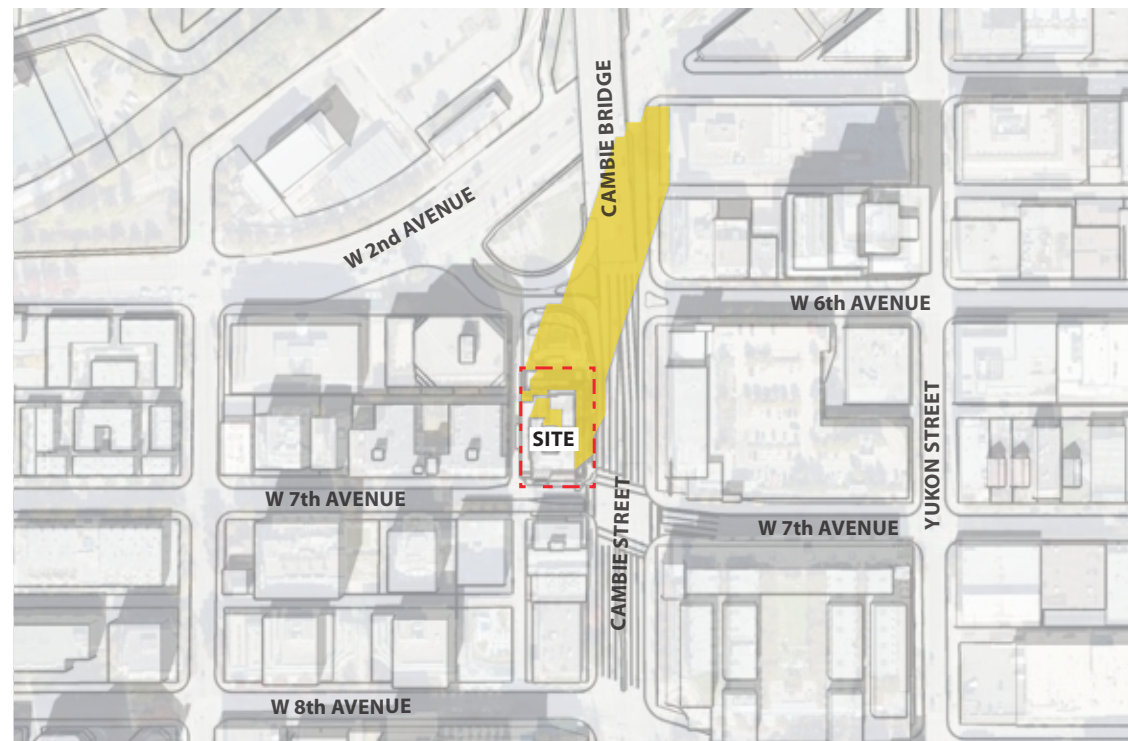
SHADOW STUDIES (SEPTEMBER 22)



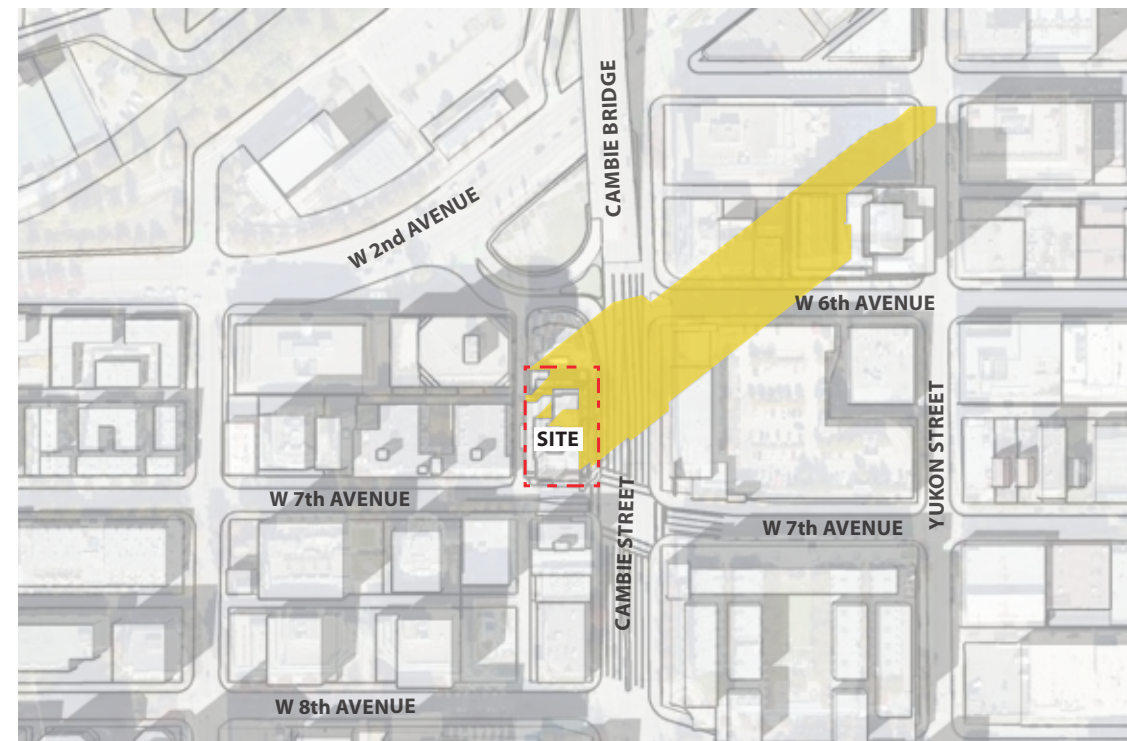
SEPTEMBER 22 | 10am



SEPTEMBER 22 | 12pm



SEPTEMBER 22 | 2pm



SEPTEMBER 22 | 4pm

3D PERSPECTIVES



1 PERSPECTIVE LOOKING NORTHWEST
N.T.S.



2 PERSPECTIVE LOOKING NORTH
N.T.S.



3 PERSPECTIVE LOOKING NORTHWEST
N.T.S.

3D PERSPECTIVES



1 PERSPECTIVE LOOKING SOUTH
N.T.S.



2 PERSPECTIVE LOOKING WEST
N.T.S.



3 PERSPECTIVE LOOKING NORTHEAST
N.T.S.

3D PERSPECTIVES



1 PERSPECTIVE LOOKING NORTHEAST
N.T.S.



2 PERSPECTIVE LOOKING NORTH
N.T.S.



3 PERSPECTIVE LOOKING NORTHWEST
N.T.S.

3D PERSPECTIVES



1 PERSPECTIVE LOOKING SOUTHWEST
N.T.S.



2 PERSPECTIVE LOOKING EAST AT LANE
N.T.S.



3 PERSPECTIVE LOOKING SOUTHWEST
N.T.S.

**Musson Cattell Mackey Partnership
Architects Designers Planners**

<http://mcmparchitects.com>