

Arbutus & Nanton

4330 - 4408 Arbutus Street & 2092 Nanton Avenue

Rezoning Submission



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MARCON

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Cover Letter



On behalf of Marcon / Amica, we are pleased to submit this rezoning application submission. In brief, the proposal is to rezone the sites located at 4330-4408 Arbutus Street & 2092 Nanton Avenue, for the purpose of developing a 6-storey Community Care Facility for seniors.

As part of Marcon's "Building for Life" mission, we have been exploring the full spectrum of the housing continuum, including student housing, rental housing and seniors living. Recognizing the operational excellence required to provide a full complement of care to seniors, we felt a partnership with Amica, the leading provider of seniors housing in Canada, would help fulfill that commitment. We are confident that our shared experiences and values will result in a well designed and operated asset that will integrate seamlessly into the fabric of the community.

Fueled by demographic shifts, BC's population of seniors aged 75+ is projected to more than double within the next 15-20 years. Therefore, it is critically important to facilitate the creation of additional care facilities to avoid acute shortages for our aging population. Arbutus Ridge has the second highest percentage of seniors and one of the largest total populations of seniors in any Vancouver neighbourhood. The significant supply gap in seniors housing that exists today will reach crisis levels over the next decade given the senior demographic growth rate unless more supply is built.

Elements key to this proposal, and in alignment with city and provincial policy statements, include the following design attributes:

- Creation of a Community Care Facility Class B for seniors which provides a home
 for those who can no longer care for
 themselves and who require 24-hour
 access to professional nursing care.
- Large floor area designed to support resident safety, physical and cognitive health, and all aspects of their emotional well-being, including comprehensive recreational activities, amenities and programs.
- Pick-up and drop-off entry at the rear of the residence for privacy & accessibility and a dignified, accessible entrance on Arbutus.

We are excited to collaborate with Amica Senior Lifestyles on this project. Their innovative approach to seniors housing and the concept they have developed for the site is particularly sensitive to local policy context, the Arbutus streetscape, and the surrounding neighbourhood impacts. Design information prepared by Shift Architecture can be found in the enclosed document.

Nic Paolella

Vice President Marcon Developments Ltd.

Project Team





Buildings shape neighborhoods and change lives in infinite ways. Starting out as a construction company has made us a better developer. For more than 37 years, we've built a wide variety of properties across Metro Vancouver and know what it takes to develop beautiful homes for everyday life.

We pay attention to every detail, no matter how small. We walk through every floor plan of every building to ensure our homes don't just look good on paper, they're spaces that enhance lives. After construction is complete, each building must stand the test of time, and that's the commitment we make to the neighborhoods we serve.

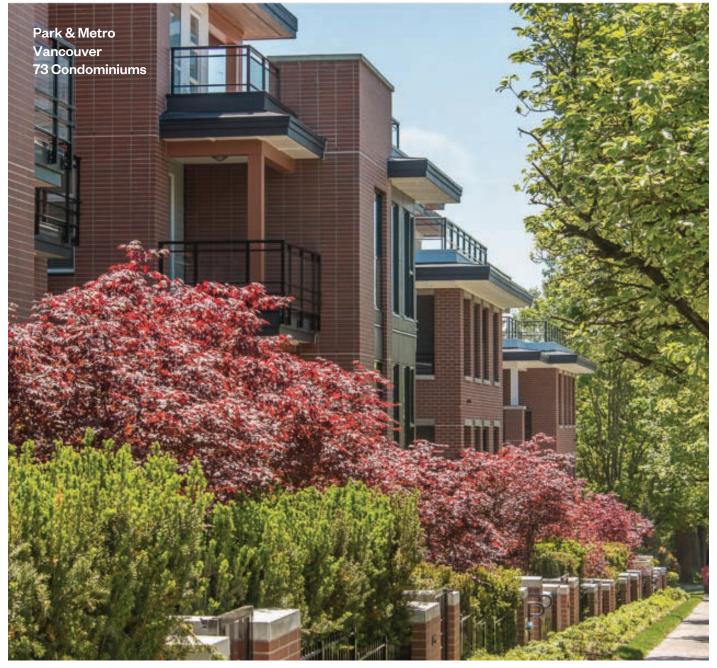


Amica is Canada's leading provider in retirement and care residences for seniors who want more out of life. Since 1996, we've been empowering seniors to live with optimism and peace of mind by combining excellent service and amenities with the best senior care. You'll find more than 30 Amica senior living locations in British Columbia, Alberta and Ontario, and we continue to expand to serve the growing needs of an aging population. We aspire to be the best in providing safe and secure fullservice care to seniors across Canada.



At Shift, we are passionate about enriching the urban environment. Collectively, we strive for architectural and urban design solutions that inspire pride and ownership in individual building occupants and the wider community. Through a collaborative process and a carefully considered approach, our solutions are practical, precedent-setting, and aesthetically exceptional.

MARCON









MARCON







Rezoning Intent



The intent of this application is to consolidate and rezone the subject land assembly from RS-1 to CD-1 to allow for the development of a 6-storey seniors care facility. Careful consideration has been taken into the design and building form to adhere to local policy context as well as senior housing guidelines.

This project offers local residents and family members the ability to continue to live in the community as they age.

The proposal includes a range of amenities and functional support spaces to ensure residents and care staff have the appropriate spaces for social engagement, healthy living, enriching leisure activities and appropriate delivery of care.

This full-service facility provides on-site management, housekeeping services, main and private dining, concierge services, and 24-hour emergency support care.



West Elevation

Rezoning Rationale



The proposed development is located within the Arbutus Ridge Neighborhood and is bordered by Arbutus Street to the west, Nanton Avenue to the north, residential houses to the south and a laneway with single family residential beyond to the east.

The proposed rezoning is based on several city policies including the ARKS Community Vision and Community Care Facility - Class B and Group Residence Guidelines.

Arbutus Ridge/Kerrisdale/Shaunessy Community Vision Directions "ARKS Community Vision"

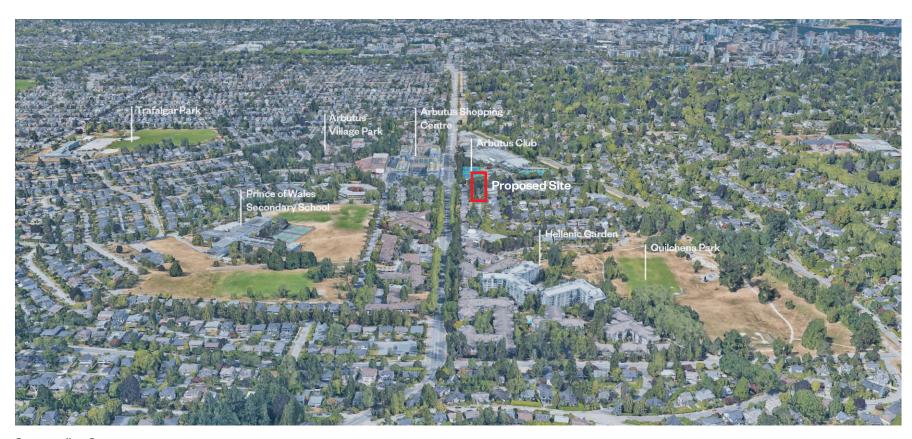
ARKS Community Vision was approved by Council in 2005. The Vision supports the rezoning and development of low-rise seniors housing and care facilities with various levels of care in close proximity to parks, shopping, transit, and community services to allow seniors to stay in the community as their housing needs change.

15.11 Developments designed for seniors should be considered near parks, transit and services to allow all seniors to stay in the community as their housing needs change.

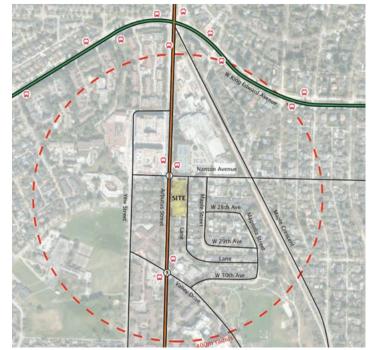
The proposed site is steps away from the new Arbutus Shopping Centre, Quilchena Park, and Hellenic Garden. The Arbutus Shopping Centre provides several amenities including retail, restaurants, services and a grocery store.

The site offers good access to transit and is well situated in Vancouver's network of bicycle routes. Arbutus Street is part of the Frequent Transit Network, serviced by bus every 15 minutes during key periods of the day. Nanton Avenue functions as a local street bikeway connecting the site to the Arbutus Greenway, which is part of the All-Ages-And-Abilities bike network.

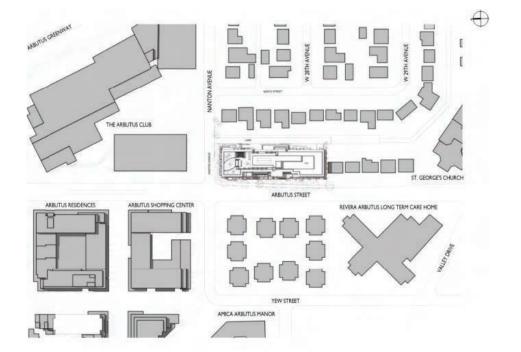
This proposal offers local residents and family members the ability to continue to live in the community as they age. The project includes a total of 162 licensed long-term care units with enhanced care for those with memory care requirements, chronic illnesses and mobility challenges.



Surrounding Context







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Rezoning Rationale



Community Care Facility -Class B and Group Residence Guidelines

The proposed development will follow the Community Care Facility – Class B and Group Residence Guidelines. These guidelines specify locational criteria and general design considerations for community care facilities to ensure the housing is compatible in density scale, architectural character ter and operation with the surrounding neighborhood.

Careful consideration has been taken into the design and building form to adhere to local policy, guidelines and neighborhood context. The proposed built form is similar in height and density to recently completed surrounding properties. In addition, amenity and loading facilities have been sited to mitigate visual and noise impacts and intrusion on adjacent uses.

This care facility will provide a home for those who can no longer care for themselves and who require 24-hour access to professional nursing care. The proposed development, with its full-service facilities and range of unit types will allow residents to age in place gracefully. This unique development will play a major role in strengthening the surrounding community with its high standard of design and sustainability, while adding to the diversity of the neighborhood.



Proposed Development



Arbutus Shopping Centre

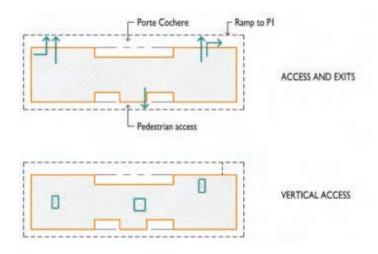
Design Rationale: Loading, Access, and Parking

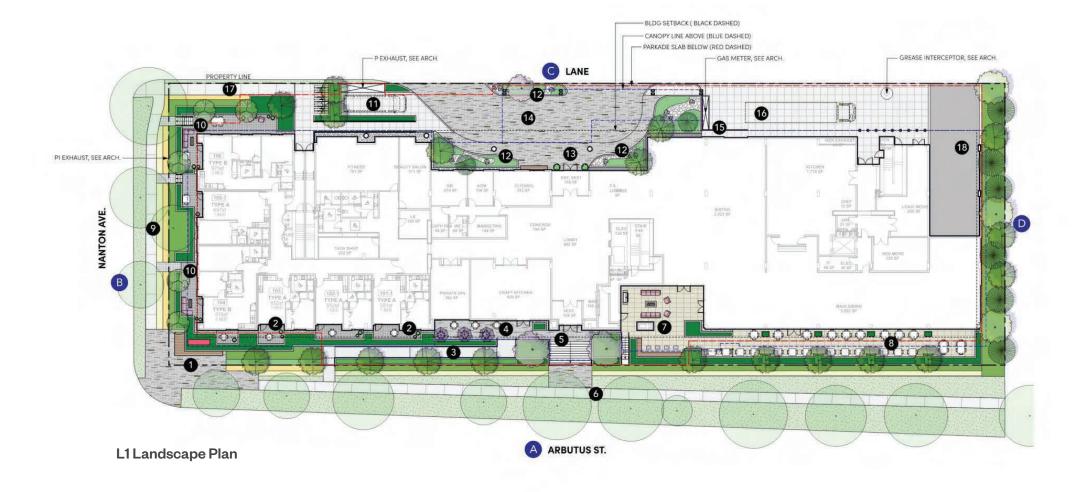


The assembly slopes 3.61 meters (11.84 feet) diagonally from the northeast to the southwest corner. At the centre of the site, the slope falls by approximately 2 meters from the laneway to Arbutus Street. The resulting slope challenges limit the possible primary access points to the development.

On the west side of the building, access to the main entry is provided by way of a sloped ramp and set of feature stairs.

On the east side of the building, vehicle and resident drop off is made via the porte cochere, while loading and parking ramp access is located towards the southwest of the site. Both weather protected access points lead to a generous lobby from which the resident amenities and the opertional offices flow.

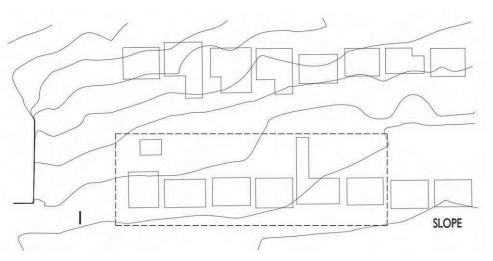




Traffic impacts, parking demands, and servicing requirements are not expected to adversely affect the surrounding neighbourhood.

Goods loading (Class C) is positioned at the rear of the building with access via the lane. Passenger loading is provided at the porte cochere (Class B) and on P1 (Class A), adjacent to the elevator lobby. A total of 44 parking stalls (4 accessible) have been provided for both resident and staff use within the underground.

In order to address resident mobility challenges, a large, designated scooter parking area has been provided to house scooters while not in use. The building will be served by two passenger elevators and one dedicated service type elevator for staff utilization.



Design Rationale: Built Form



The form of development has been modified to ensure compatibility with the immediate context, improve livability, reduce the perception of the building length, and improve the expression of the building facade.

Compatibility to the Immediate Context

The 6-storey building has been designed to fit contextually with other developments along the arterial corridor and respect neighbouring adjacencies. The resulting shadow impacts on existing homes and future redevelopment is limited.

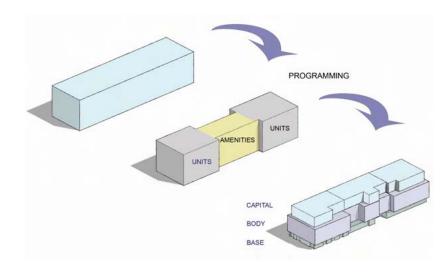
Livability

The built form acknowledges the large floor plate required to support resident safety protocols, centralized health care functions and amenity programming for the physical, cognitive and emotional well-being of residents with chronic illnesses, memory challenges or mobility constraints. The typical floor plate is designed to accommodate an optimal ratio of licensed care units to staff members so that residents can obtain the care they need.

Architectural and Vertical Expression

Vertically, the project is divided into three main sections (base, body and capital). These divisions correspond to the programmatic shifts within the building and serve to provide a softening of the height of the development.

Longitudinally, the east and west elevations are broken into smaller elements to minimize the perception of the building length. The development is bookended by projecting forms which serve to break up the massing and read as though the development is composed of smaller buildings. Similarly, the centre mass is recessed to accentuate the main pedestrian entry and further minimize the perception of the building length.



Built Form Expression



L2 Floorplate



West Elevation

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Design Rationale: Built Form

MARCON

Form of Development

The site plan includes a prominent landscape feature at the corner of Nanton and Arbutus, complete with seating bench, low planters and specialty pavers.

Given the urban importance of Arbutus Street, the west elevation includes an extended mass at the centre of the building that is punctuated by recesses in the facade to accentuate and emphasize the main pedestrian entry.

Similarly, the porte cochere identifies the laneway entrance to the building. It is also centered on the axis to permit resident and visitor drop off.

Building Facade Expression

To emphasize the three sections of the structure, the ground floor (base) and upper two floors (capital) have been setback from the main body of the building. To accentuate the built form, the balconies have been purposely distributed in a manner which yields a varied expression for each facade and situated to ensure that the upper level balconies do not project beyond the main body.



Pedestrian Entry



West Elevation



East Elevation



Porte Cochere

Design Rationale: Programming Overview



The proposed development is a 6-storey (162 unit) seniors living facility that provides a variety of housing options for residents. The ground floor houses the main resident amenities, operational offices and back of house operations including commercial kitchen which services the dining facilities.

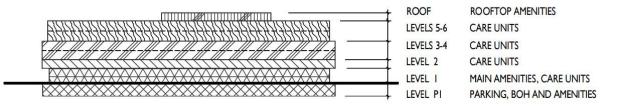
Studio and one-bedroom units are provided on all levels while one bedroom plus den and two-bedroom residences are located on levels five and six. Balconies or roof decks are provided for the majority of homes.

Floor specific amenities serve to bridge together distinct residential nodes and create a shared communal space for residents. The amenities are open in plan, infused with natural light and provide views to both the east and west. A central lounge overlooking Arbutus Street is provided on each level, adjacent to the elevator core, to promote and develop community.

The building physical plant and building services including commercial laundry, maintenance workshop, staff rooms, end of trip facilities and resident storage lockers are located on P1.

Additional operational rooms and ancillary support rooms are provided on each level.

LEVEL TYPES



Design Rationale: Programming Overview



Resident amenities are provided below grade, on the lobby level, on residential floors and the rooftop.

Within the underground, residents will be able to watch sports and movies in the theater room or elevate pastimes in the workshop.

Ground level amenities include a formal dining room, an informal bistro, fireside lounge, private dining room, craft kitchen, fitness center, beauty salon, tuck shop, as well as outdoor dining areas. These integrated indoor and outdoor amenities serve to activate the urban edge of the development and provide a stronger connection to the Arbutus Ridge neighbourhood.

From levels two to four, generous patios extend the amenity spaces both to the east and west providing access to the outdoors for the residents. Amenities on these floors include activity spaces, dining rooms, and lounges.

At the roof level, a large resident amenity room is provided along with a generous outdoor landscape amenity. Outdoor programming includes walking loop, urban agricultural beds, dining and seating areas as well as contemplative gardens. These rooftop amenities, sited for privacy, provide views to the east, west and north.



Rooftop Amenity



Outdoor Dining & Seating Area at Grade



P1 Floorplan

Design Rationale: Materials



Materially, the masses are accentuated by altering the cladding of both the upper and lower levels further setting these masses apart from the remainder of the building.

The horizontal breaks in the facades have been amplified through change of material. The "base" is rendered in large format composite stone with wood panel accents and glass. The "body" features a white cementitious cladding while the "capital" is rendered in vision glass and metal grey glass spandrel. The material palate works in concert with the building massing to convey a sense of quality and timelessness.

Over the life of the building, this development will house many generations of seniors, so aesthetically it must also appeal to future generations of seniors, who are young or middle-aged today. To respond to this challenge, a simple contemporary language with clean lines and clear volumes has been chosen which can be deemed as "modern classic".

The combination of symmetry and the hierarchy of orders of classical architecture, with the post-modern base, body and capital division of facades, and simple elements of design, produces a building that can be appreciated by many generations to come.





COMPOSITE STONE CLADDING KEYLA NATURAL Base of the Building at Level 1

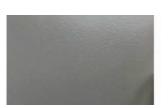




COMPOSITE WOOD VENEER COMPOSITE STONE CLADDING - CLADDING - COPPER WHITE PEARL 24" x 21/2"
Level 1 Residential Units Level 2,3 & 4 Masonry
Entrances & Soffit



BENJAMIN MOORE WHITE SILVER SATIN 0C-26 All Round Columns Roof Slab Extension



POWDER COATING METAL SHAVING GREY Level 2 and Up Mullions, Gaurdrails & Handrails All Spandrel Panels All balconies traffic coating and matching underside of slab at balcony

Sustainability Measures



The development will meet the CoV's Green Buildings Policy for Rezoning – May 2022. The policy consists of the following requirements:

1. Integrated Rainwater Management and Green Infrastructure:

A Rainwater Management Plan, developed in accordance with the Citywide Integrated Rainwater Management Plan has been completed. The redevelopment of the site will cause a decrease in site imperviousness from 0.55 to an estimate 0.46. Tier 1, 2 and 3 strategies are proposed for the site to limit its impact on the City's infrastructure and to preserve water quality

- 2. Reporting of Green and Resilient Building Measures:
- Energy and Emissions Performance Limits: The building is designed to meet the Vancouver Building Bylaw (VBBL) energy and emissions performance limits. A whole-building energy performance simulation was completed, and the proposed design produces 53% less greenhouse gas intensity than that of the baseline.
- Embodied Carbon Limits: The building is on track to meet the VBBL life-cycle equivalent carbon dioxide emissions expected to be in force at the time of the building's first building permit application.
- Resilient Buildings Planning
 Worksheet: A resiliency workshop
 was conducted with the project
 team on May 5, 2022 and identified
 strategies to meet required targets.

Performance	Proposed	Baseline
Annual Energy Consumption (kWh)	2,402,378	2,647,192
Annual Greenhouse Gas Emissions (kgCO₂e/year)	87,971	189,174
Greenhouse Gas Intensity (kgCO ₂ e/m².year)	5.65	12.15
Comparison (%)	-53.	50%
Result	Com	pliant

3. Enhanced Commissioning:

All building energy systems will be commissioned in accordance with ASHRAE Guideline 0-2005 and 1.1-2007. A commissioning authority will be onboarded during design development and will work with the Project Team to develop the Owner's Project Requirements and Basis of Design.

4. Energy System Sub-Metering:

The building will sub-meter each energy source utilized in the development.

The Project is planning to include the following sustainable features:

- High-performance glazing and building envelope
- High-efficiency in-suite ERVs
- Low carbon air-source heat pump hydronic system
- High-efficiency DHW boilers and
- Low-flow water fixtures

Operating Plan



Anticipated Resident Profile

With a range of suite sizes, amenities, care, and services, the resident profile of this project is diverse. The anticipated age of a resident is 80+, primarily living alone or some with their spouse. Most residents do not drive nor own a car.

The project provides a continuum of care which allows residents to age-in-place. Residents will move into the property after downsizing from a single-family home; some may have previously downsized into a nearby condominium. Most residents will have previously lived within a few kilometers of the property and desire to stay within their existing community.

Meal Service

Meals are provided in a variety of ways in several dining areas. Open dining is available from 7am-7pm on the main floor and dedicated dining areas. Bistro service is available 24/7 providing snacks and hydration stations. In-suite dining is also available for breakfast, lunch and dinner.

Other Services Provided On Site

Areas are provided for socializing, fitness, activities, cooking, private dining, meetings, and theatre. The beauty salon and multi-use spaces are tailored based on the residents' needs. Daily on-site and off-site ctivities are provided.

Residents will be provided with professional care and supervision tailored to their individual needs which includes 24-hour professional nursing, personal care, medication management, laundry and recreational activity programs.

How the Common Spaces will be Used and Programmed

Spaces are designed to meet the needs of residents to host events, special meetings, fitness, and intergenerational programming. An activity calendar is published monthly with 5-7 daily programs for design to meet the mental, physical, spiritual, and vocational needs of our residents.

Hours of Operation

The facility is open 24/7, 365 days a year. The concierge team is available for personalized services between 7am-11pm or 8am-8pm, depending on the residence volume and needs.

Number of Staff and Level of Supervision

Staffing is based on the needs of residents in care; typically, an average ratio of 4-6 residents per team member is provided. With the proposed 174 residents at 100% occupancy, approximately 73 staff members will be on site at peak times.

Additionally, 8-10 leaders provide daily coverage with a Manager on Duty program for additional support. All other departments are staffed based on occupancy.

Level of Supervision for an Average Residence

Licensed Long Term Care -Memory Care: average 10-12 Resident Care Partners (RCP) during the day + 2 overnight

Licensed Long Term Care: average 8-10 Resident Care Partners during the day + 1 overnight. Plus 24/hr nursing

Number of Staff

Total Headcount: 126 Peak Daily: 73

How 24-hour On Site Emergency will be Achieved

Team members are available for emergency response with a Licensed Practical Nurse (LPN) and Resident Care Partner per care department, at a minimum. For emergencies requiring 9-1-1 ambulatory care, such as a head injury, heart attack, or respiratory challenge, team members would be able to provide CPR, oxygen, airflow assessment, breathing and color assessment while waiting for emergency responders to arrive.

All residents are provided with a GPS call pendant which triangulates their location in an emergency. Emergency call buttons are also provided in bathrooms.

Unit Mix and Tenure

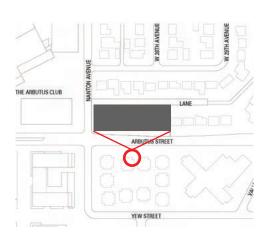
Approximately 162 units are proposed in a variety of unit types and levels of care.

Given the age of residents and the continuum of care provided, there is no average turn-over rate. Some residents have shorter stays while others receive care for over ten years.

	Licensed Long Term Care	Licensed Long Term Care - Memory Care
Description	Residents require a variety of services to	Residents have Alzheimer's and/or other forms
•	maintain their health or personal care, thereby	of dementia and require a dedicated
	allowing them to age in place.	environment and support to meet their own
		daily needs.
Units	129 Units	33 units
Allocation	80%	20%
Studio	61	23
1 Bedroom	54	10
1 Bedroom + Den	2	0
2 Bedroom	12	0



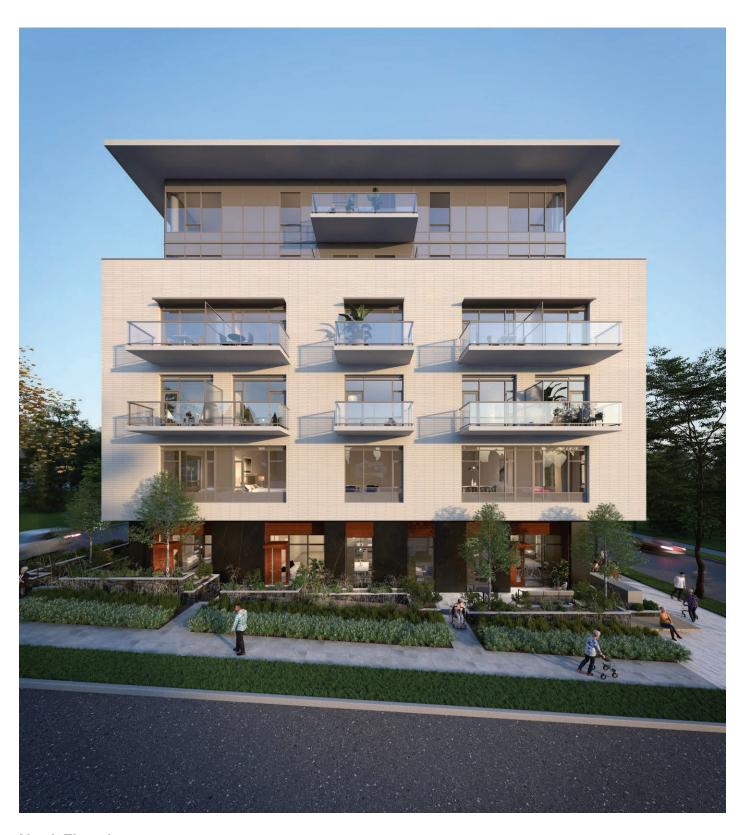
West Elevation





North West Elevation



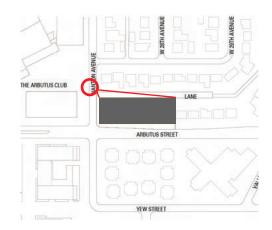


North Elevation





North East Elevation



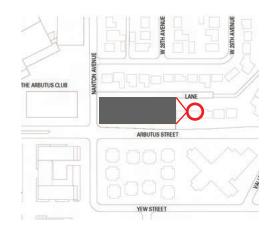


East Elevation





South Elevation



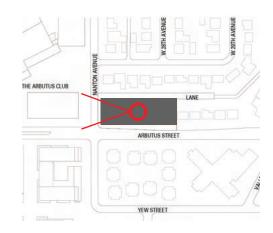


South West Elevation





Rooftop Amenity



Architectural Drawings

A0.00 - A9.00 FSR 1.01 - FSR 1.04

200,1000 West 3rd Street North Vancouver, BC V7P 3J6

T 604.988.7501 | shiftarchitecture.ca

This drawing is an instrument of service and the property of use of this drawing shall be restricted to the original site for which it was prepared and publication thereof is expressly limited to such use. Reuse, reproduction or publication by any method in whole or in part is prohibited without their written consent.

No.	Date	Revision Notes
1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

4330-4408 Arbutus St. & 2092 Nanton Ave., Vancouver, B.C.

TEAM

AMICA ARBUTUS NANTON SENIORS INC. 1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 (604) 530.5646

DEVELOPER

MARCON DEVELOPMENTS LTD. 1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

(604) 530.5646

STATISTICS

New (after Consolidation)

Allowable (SRP)

Level 2

Level 3

Level 4

Level 6

Level 1

Level 2

Level 3

Level 6

ARCHITECT SHIFT ARCITECTURE INC. 200-1000 West 3rd Street, North Vancouver, BC, V7P 3J6

(604) 988.7501 **CODE CONSULTANT**

MCAULEY CONSULTING 116-119 West Pender Street, Vancouver, BC, V6B 1S5 (778) 834.6569

Zoning Calculations - Community Care Facility - Class B

66.2%

Area Summary (square feet)

Area Summary (square meters)

3,969.28 sq. m.

3,969.28 sq. m.

2,626.72 sq.m

Term Care

17,344

17,030

17,819

17,591

1,611.3

1,632.5

1,634.3

8.01 ft

4,854

4,660

42,725.0 sq. ft.

42,725.0 sq. ft.

28,274.0 sq. ft.

6.10 m

3,062

Net Area

181.2

8.01 ft **6.10 m** 20.01 ft **2.44 m**

20.01 ft

STRUCTURAL ENGINEER

GLOTMAN SIMPSON CONSULTING ENGINEERS 1661 West 5th Avenue, Vancouver, BC, V6J 1N5

MECHANICAL ENGINEER

AME CONSULTING GROUP LTD. 638 Smithe St Suite 200, Vancouver, BC V6B 1E3

(604) 684-5995 **ELECTRICAL ENGINEER**

(604) 734.8822

AES ENGINEERING LTD. 505 Burrard Street, Suite 950 - Box 91 Vancouver, BC V7X 1M4

(604) 569.6500 LANDSCAPE ARCHITECT

LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN 1738 Kingsway, Vancouver BC V5N 2S3 (604) 694.0053

Community Care

Total Proposed

2.44 m

165,326

15,359.3

Max 10% Floor

BUILDING ENVELOPE CONSULTANT BC BUILDING SCIENCE LTD.

611 Bent Ct, New Westminster, BC, V3M 1V3 (604) 520-6456

SUSTAINABILITY CONSULTANT

EDGE SUSTAINABILITY CONSULTANTS INC. 304-1228 Hamilton Street, V6B 6L2 (888) 939-3343

CIVIL ENGINEER

(604) 439.0922

3.52 *13,953.28* sq.m

3.52 *13,953.28* sq.m.

R.F. BINNIE & ASSOCIATES LTD. 300 - 4940 Canada Way, Burnaby, BC, V5G 4K6 (604) 420-1721

GEOTECHNICAL ENGINEER

GEOPACIFIC CONSULTANTS LTD.

150,191.8 sq. ft.

150,191.8 sq.ft.

28,275

2,213.0

2,626.7

2,079.2

2,079.5

N/A

1779 West 75th Avenue, Vancouver, BC, V6P 6P2

TRAFFIC ENGINEER

BUNT & ASSOCIATES ENGINEERING LTD. Suite 1550 - 1050 West Pender Street, Vancouver, BC V6E 3S7 (604) 685.6427

ENVIRONMENTAL CONSULTANT

KEYSTONE ENVIRONMENTAL 320-4400 Dominion Street, Burnaby BC, V5G 4G3 (604) 460.0671

ARBORIST

FROGGERS CREEK TREE CONSULTANTS LTD. 7763 McGregor Avenue, Burnaby, BC V5J 4H4 (604) 721-6002

LAND SURVEYOR

(604) 513.9611

BUTLER SUNDVICK & ASSOCIATES Suite 4-19089 94th Avenue, Surrey, BC, V4N 3S4

LOCATION

THE ARBUTUS CLUB ARBUTUS STREET

DESCRIPTION

The development is located within the Arbutus Ridge Neighborhood and is bordered by Arbutus Street to the west and Nanton Avenue to the north, residential houses to the south and a laneway to the east. The site is conveniently located steps away from the Arbutus Shopping Centre, restaurants, grocery and retail stores. The site is proximate to major arterial roadways and well served by public transit, providing for ease of access for staff and visitors.

The proposed development is a 6-storey purpose-built, Community Care Facility for seniors that provides a variety of housing options for residents. A total of 162 care units are provided with the majority of the units located above the ground level.

A total of 44 (4 accessible parking) parking stalls are provided within a single level of underground parking. In addition, two Class A loading stalls have been provided adjacent to the elevator lobby. Access to the underground parking is provided off the lane at southeast corner of the site. Loading is also provided off the lane adjacent to the parking access

The proposed development, with its full-service facilities and range of unit types will allow residents to age in place gracefully. This unique development will play a major role in strengthening the surrounding community with its high standard of design and sustainability, while adding to the diversity of the neighborhood.

For a more complete design rationale, refer to the booklet submitted under

DRAWING LIST

SHADOW STUDIES UNIT AREAS- L1-4 **UNIT AREAS- L5-6** MATERIALS PERSPECTIVES

CONTEXT PLAN SITE PLAN

CONTEXT IMAGES

SITE CONTEXT

INTERPOLATED ROOF CALCULATIONS LEVEL P1 PLAN

LEVEL 1 PLAN A2.02 LEVEL 2 PLAN A2.04 LEVEL 3 PLAN

A2.05 LEVEL 4 PLAN A2.06 LEVEL 5 PLAN LEVEL 6 PLAN A2.08 **ROOF PLAN**

LEVEL P1 PLAN NORTH LEVEL P1 PLAN SOUTH LEVEL 1 PLAN NORTH

LEVEL 1 PLAN SOUTH LEVEL 2 PLAN NORTH

LEVEL 2 PLAN SOUTH LEVEL 3 PLAN NORTH LEVEL 3 PLAN SOUTH

LEVEL 4 PLAN NORTH LEVEL 4 PLAN SOUTH LEVEL 5 PLAN NORTH LEVEL 5 PLAN SOUTH

LEVEL 6 PLAN NORTH LEVEL 6 PLAN SOUTH LEVEL ROOF PLAN NORTH

LEVEL ROOF PLAN SOUTH **ELEVATIONS ELEVATIONS** A4.03 STREETSCAPE ELEVATIONS

A5.01 **BUILDING SECTIONS** A5.02 **BUILDING SECTIONS** A9.00 FSR 1.01 FSR OVERLAY L1 & L2 FSR 1.02 FSR OVERLAY L3 & L4

FSR 1.03 FSR OVERLAY L5 & L6 FSR 1.04 FSR OVERLAY P1 & ROOF

TOTAL: 45

Parking Summary

Veh	icle	Smal	II Car	Acces	ssible	EV R	eady		Carı	wash	C
Required	Provided	Maximum	Provided	Required	Provided	Required	Provided		Required	Provided	Required
44	44	11	7	4	4	N/A	44		N/A		N/A
44	44	11	7	4	4	N/A	44		N/A		
Class A (Po	assenger)	Class B (P	assenger)	Class B (Loading)	Class C (Loading)				
Required	Provided	Required	Provided	Required	Provided	Required	Provided				
	Required 44 44 Class A (Po	44 44 44 44 Class A (Passenger)	Required Provided Maximum 44 44 11 44 44 11 Class A (Passenger) Class B (Passenger)	RequiredProvidedMaximumProvided44441174444117Class A (Passenger)	RequiredProvidedMaximumProvidedRequired4444117444441174Class A (Passenger)Class B (Passenger)Class B (Passenger)	RequiredProvidedMaximumProvidedRequiredProvided444411744444411744Class A (Passenger)Class B (Loading)	Required Provided Maximum Provided Required Provided Required 44 44 11 7 4 4 N/A 44 44 11 7 4 4 N/A Class A (Passenger) Class B (Passenger) Class B (Loading) Class C (RequiredProvidedMaximumProvidedRequiredProvidedRequiredProvided444411744N/A44444411744N/A44Class A (Passenger)Class B (Passenger)Class B (Loading)Class C (Loading)	RequiredProvidedMaximumProvidedRequiredProvidedRequiredProvided444411744N/A44444411744N/A44Class A (Passenger)Class B (Loading)Class C (Loading)	Required Provided Maximum Provided Required Provided Required Provided 44 44 11 7 4 4 N/A 44 44 44 11 7 4 4 N/A 44 44 11 7 4 4 N/A Class A (Passenger) Class B (Passenger) Class B (Loading) Class C (Loading)	Required Provided Maximum Provided Required Provided Provided 44 44 11 7 4 4 N/A 44 44 44 11 7 4 4 N/A 44 Class A (Passenger) Class B (Passenger) Class B (Loading) Class C (Loading)

Total	2	2	2	1	5		2	1						
BICYCLES			Bicycle - L	Long Term	Horizon	tal Stalls	Vertica	ıl Stalls	Oversiz	ed Stalls	Loc	kers	Bicycle - Sl	nort Term
			Required	Provided	Мах.	Provided	Max. (30%)	Provided	Min. (5%)	Provided	Min. (10%)	Provided	Required	Provided
Community Care			2	2	N/A				1		1			
Staff				12	N/A		N/A		N/A		N/A			
Total			2	14	N/A				1		1			

Residential Unit Distribution - Overall Project

UNIT TYPE	Average Area	Count	Beds	Total Beds	Unit Ratio
	UNIT	TOTAL			
S	470.0	84	1	84	51.9%
A	641.4	64	1	64	39.5%
A2	655.0	2	1	2	1.2%
В	884.3	12	2	24	7.4%
	Total	162		174	100%

>		
UNIT		TOTAL
('S' Types)		84
('A' Types)		66
('B' Types)		12
	Total	162
	UNIT ('S' Types) ('A' Types)	UNIT ('S' Types) ('A' Types) ('B' Types)

PROPERTY INFORMATION

Legal Description:

Lots 6 to 11, Block 88 District Lot 526, N.W.D. Plan 11644

Civic Addresses:

Lot 6: 4408 Arbutus St. Lot 7: 4390 Arbutus St. Lot 8: 4370 Arbutus St.

Lot 9: 4350 Arbutus St. Lot 10: 4330 Arbutus St.

Lot 11: 2092 Nanton Avenue

Zoning

Current Zoning: Proposed Zoning:

Intent of Application

The intent of this application is to consolidate and rezone the subject land assembly from RS-1 to CD-1 to allow for the development of a 6-storey seniors care facility. This proposed rezoning is based on several city policies including the Community Care Class B and Group Residence Guidelines and the Arbutus Ridge/Kerrisdale/Shaughnessy Community Vision

Client/Owner **AMICA ARBUTUS NANTON**

Project Title

AMICA ARBUTUS

Vancouver, B.C. V6J 4A2

4330-4408 Arbutus St. & 2092 Nanton Ave.

SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title **COVER SHEET**

Drawn By Reviewed by Approver

Project Number 2101 Plot Date Issue Date 2022/07/21 2022/07/21

Scale Issue/Revision As indicated

Sheet Number



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Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

CONTEXT IMAGES

Drawn By CH/SJ/HK Reviewed by

Project Number 2101 Plot Date 2022/07/21

2022/07/21

1" = 160'-0" Sheet Number

Issue Date

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Client/Owner

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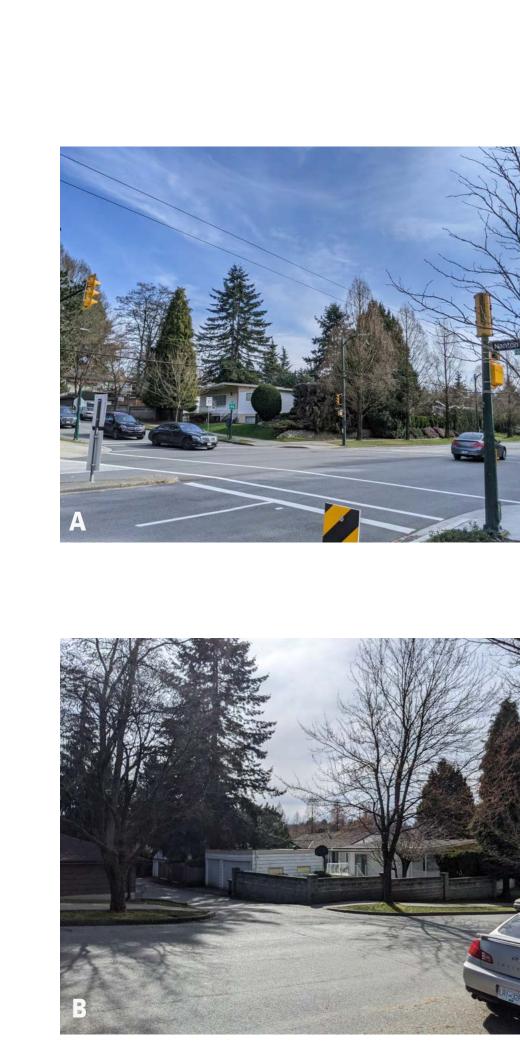
Sheet Title SITE CONTEXT

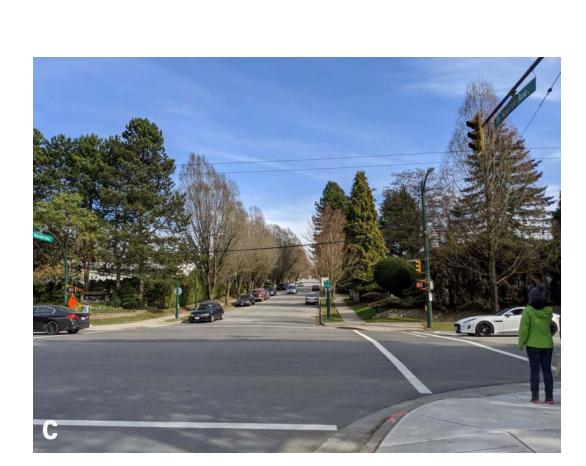
Project Number

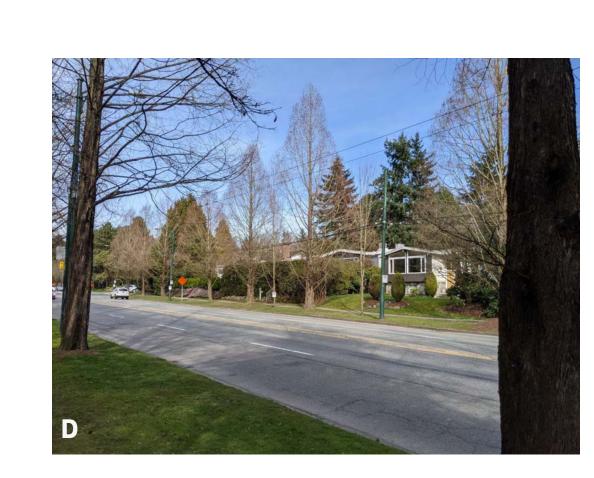
2022/07/21

12" = 1'-0"

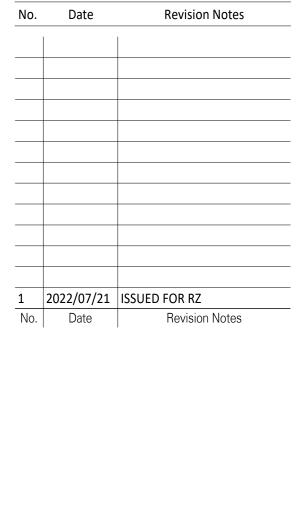
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Client/Owner **AMICA ARBUTUS NANTON**

SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title SHADOW STUDIES

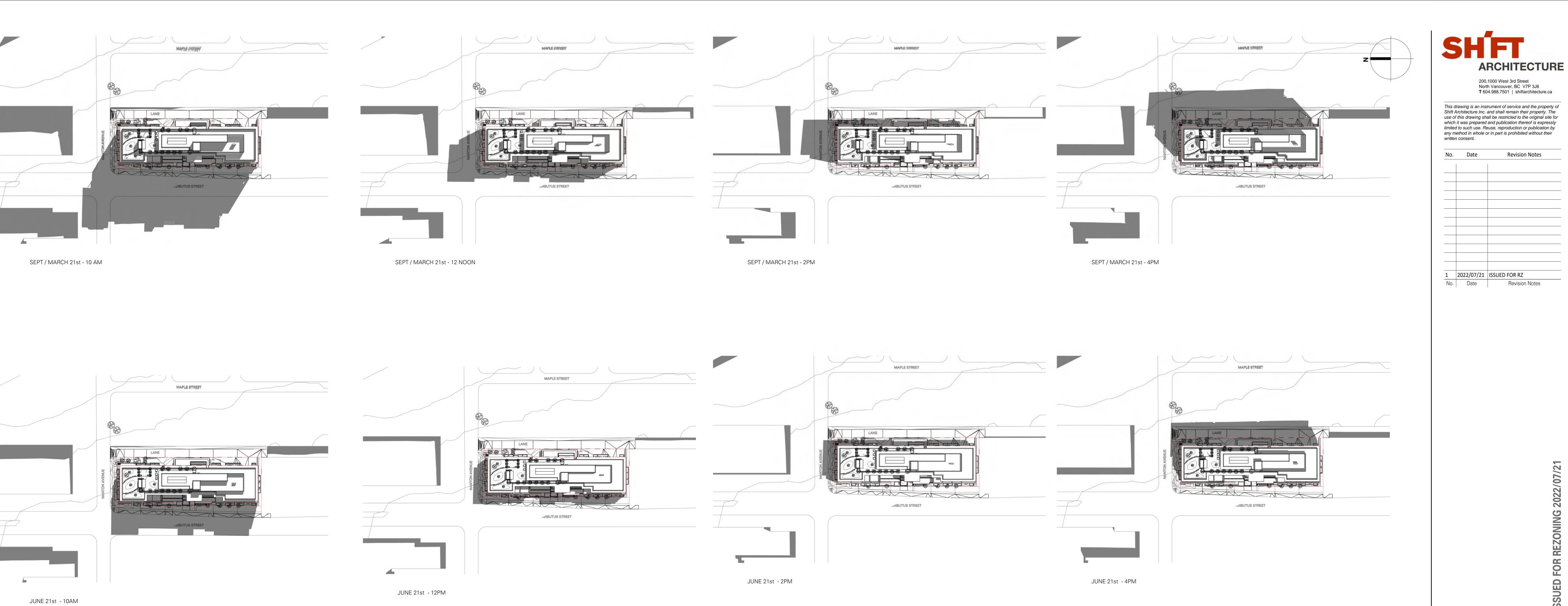
ARBUTUS STREET

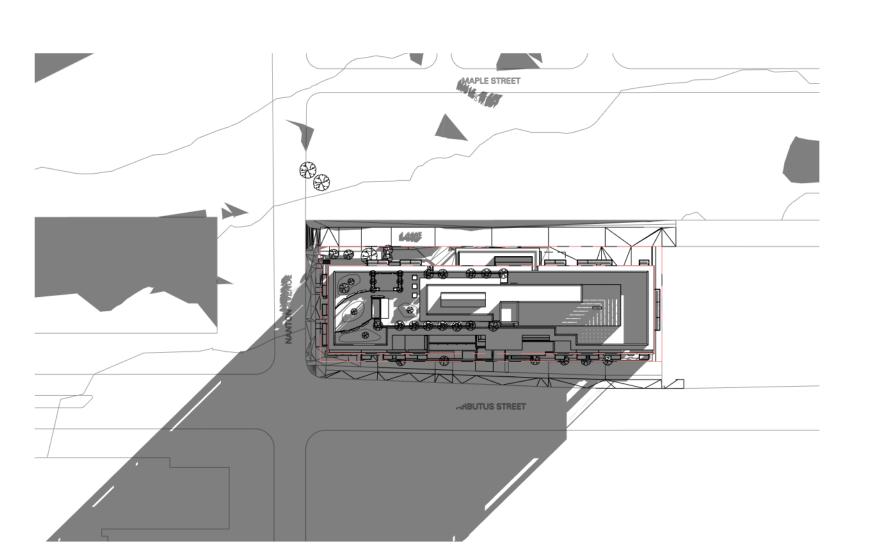
Drawn By CH / SJ / HK Reviewed by

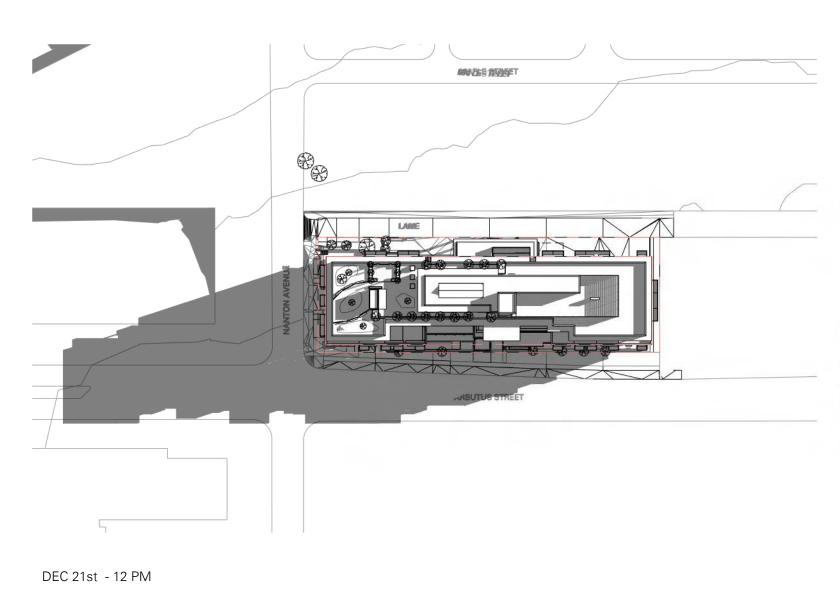
Project Number 2101 Plot Date Issue Date 2022/07/21 2022/07/21

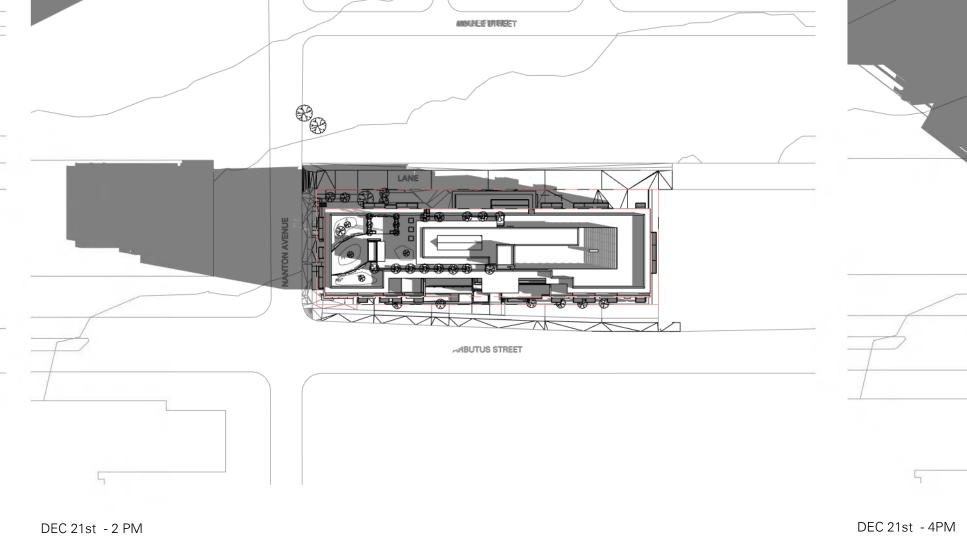
1" = 100'-0"

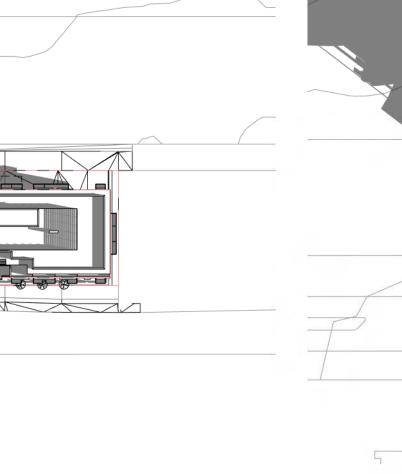
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DEC 21st - 10AM



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Nο	Date	Revision Notes

Project Title

AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner **AMICA ARBUTUS NANTON** SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title **UNIT AREAS- L1-4**

Drawn By Reviewed by Approver

Project Number 2101 Plot Date

Issue Date 2022/07/21 2022/07/21

Scale Issue/Revision 1" = 20'-0"

Sheet Number



	A.1	_		A.1	
Number	Name	Area	Number	Name	Area
1 Bed (A)			210	S	446 SF
220	А	639 SF	211	S	446 SF
217	А	652 SF	215	S	465 SF
209	А	659 SF	227	S	469 SF
212	А	676 SF	228	S	469 SF
221	А	721 SF	216	S	470 SF
225	А	722 SF	202	S	470 SF
204	А	734 SF	214	S	472 SF
201	А	742 SF	207	S	473 SF
208	А	747 SF	229	S	474 SF
203	А	752 SF	205	S	475 SF
10			222	S	476 SF
Studio (S)			224	S	477 SF
232	S	411 SF	223	S	477 SF
230	S	413 SF	206	S	477 SF
231	S	414 SF	226	S	484 SF
233	S	425 SF	213	S	517 SF
218	S	429 SF	23		
219	S	429 SF	Total Count:	33	

UNIT SCHEDULE - LEVEL 1

(LICENSED LONG TERM CARE)

975 SF 976 SF

Number Name Area

Total Count: 6

(LICENSE	D LONG T	ERM CARE)	(LICENSI	ED LONG TI	ERM C
Number	Name	Area	Number	Name	А
1 Dad (A)			212	C	140.0
1 Bed (A)	1	000.05	312	S	446 9
320	A	639 SF	315	S	465 9
317	А	652 SF	327	S	469 5
310	А	659 SF	328	S	469 5
313	А	676 SF	302	S	470 5
321	А	721 SF	303	S	470 5
325	А	722 SF	316	S	470 9
305	А	734 SF	308	S	473 5
309	А	747 SF	329	S	474 9
304	А	752 SF	306	S	475 S
9			322	S	476 5
Studio (S)			324	S	477 9
332	S	411 SF	323	S	477 S
330	S	413 SF	307	S	477 S
331	S	414 SF	314	S	479 5
333	S	425 SF	301	S	482 9
318	S	429 SF	326	S	484 9
319	S	429 SF	24		
311	S	446 SF	Total Count	: 33	

Number	Name	Area
1 Bed (A)		
421	А	639 SF
418	А	652 SF
410	А	659 SF
413	А	676 SF
422	А	721 SF
426	А	722 SF
405	А	734 SF
409	А	747 SF
404	А	752 SF
9		
Studio (S)		
433	S	411 SF
431	S	413 SF
432	S	414 SF
434	S	425 SF
419	S	429 SF
420	S	429 SF
411	S	446 SF

UNIT SCHEDULE - LEVEL 4 (LICENSED LONG TERM CARE)

Number Name Area

465 SF

465 SF 469 SF 469 SF 470 SF 470 SF 470 SF 473 SF

474 SF

475 SF 476 SF

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No.	Date	Revision Notes

Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street

Vancouver, B.C. V6C 2X8

Sheet Title **UNIT AREAS- L5-6**

> Drawn By Author Reviewed by Approver

Project Number 2101 Plot Date Issue Date 2022/07/21 2022/07/21

Scale

Issue/Revision 1" = 20'-0" Sheet Number

UNIT SCHEDULE - LEVEL 5 UNIT SCHEDULE - LEVEL 5 (LICENSED LONG TERM CARE) (LICENSED LONG TERM CARE) Number Name Area Number Name Area 531 SF 569 SF 588 SF 594 SF 594 SF 595 SF 595 SF 595 SF 595 SF 595 SF 595 SF 596 SF 599 SF 607 SF 615 SF Total Count: 28 661 SF 655 SF

885 SF

447 SF

502 SF 505 SF

492 SF

UNIT SCHEDULE - LEVEL 6

(LICENSED LONG TERM CARE)

Number Name Area

Total Count: 28

447 SF 492 SF

UNIT SCHEDULE - LEVEL 6 (LICENSED LONG TERM CARE) Number Name Area

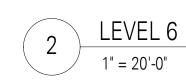
569 SF 588 SF 594 SF 594 SF 595 SF 595 SF 595 SF 595 SF 595 SF 595 SF 596 SF 599 SF 607 SF

615 SF 661 SF

655 SF

522 B 844 SF	523 S 492 SF	524 A 569 SF	525 A 595 SF	526 A 595 SF	527 A 595 SF	528 A 599 SF	501 S 502 SF	502 A 588 SF	503 A 594 SF	504 A 595 SF	505 B 944 SF		506 B 814 SF
521 S 502 SF	540	518 A2 655 SF	517 A 595 SF	516 A 596 SF	515 A 594 SF	514 A 607 SF		513 S 447 SF	512 A 595 SF	511	510	509	507 S 505 SF
520 B 843 SF	519 S 638 SF									531 SF	A 661 SF	A 615 SF	885 SF





Wood Beam to Match CL-02

STARLINE Powder Coating Standard Brown

Privacy Screen Aluminum c/w Frosted Glass

Powder Coating Metal Shaving Grey

Powder Coating Metal Shaving Grey

Powder Coating Standard Brown

Privacy/ Security Gate

Guardrail

Handrail

MM-02 LI PIL Units

PS-01 LEVEL 5-6

RG-01 LEVEL 2-6

RG-02 LEVEL I

1 | 2022/07/21 | ISSUED FOR RZ

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Reviewed by

Project Number
2101

Plot Date

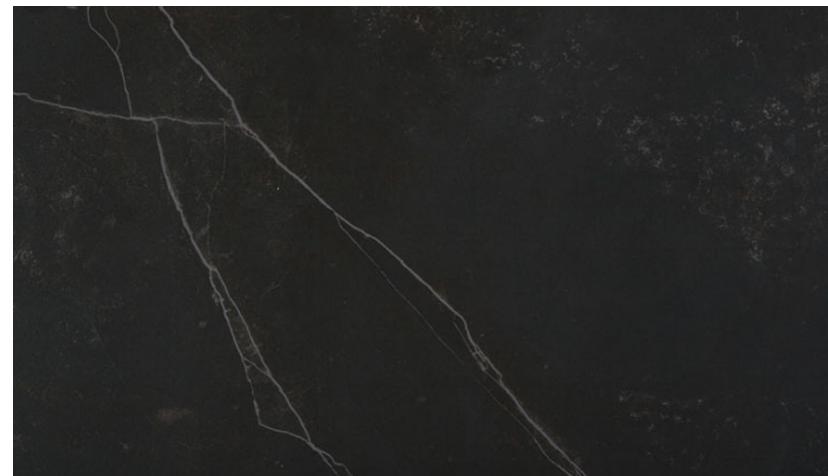
Plot Date Issue Date 2022/07/21 2022/07/21

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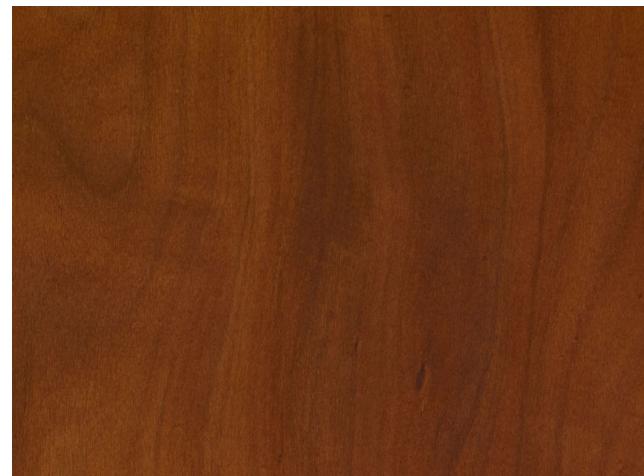
Sheet Number







CL - 01 / Composite Stone Cladding - Keyla Natural Base of the building at Level 1



CL - 02 /Composite Wood Veneer Cladding -Copper Level 1 Residential Units Entrances & Soffit



MA - 01 / Composite Stone Cladding - White Pearl 24" \times 2 1/2" Levels 2, 3 & 4 Masonry



CW - 01 / CW-02 / MM-01 / MM-02 / RG-02 Powder Coating Standard Brown Level I Mullions Level I Handrails



CL-03 / DW-01 / DW-02 / PS-01 / RG-01 - Powder Coating Metal Shaving Grey Levels 2 and Up Mullions, Gaurdrails & Handrails All Spandrel Panels All balconies traffic coating and matching underside of slab at balconies

CO - 01 / BENJAMIN MOORE White Silver Satin 0C-26

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CH/SJ/HK

Project Number

Plot Date 2022/07/21 2022/07/21

Sheet Number



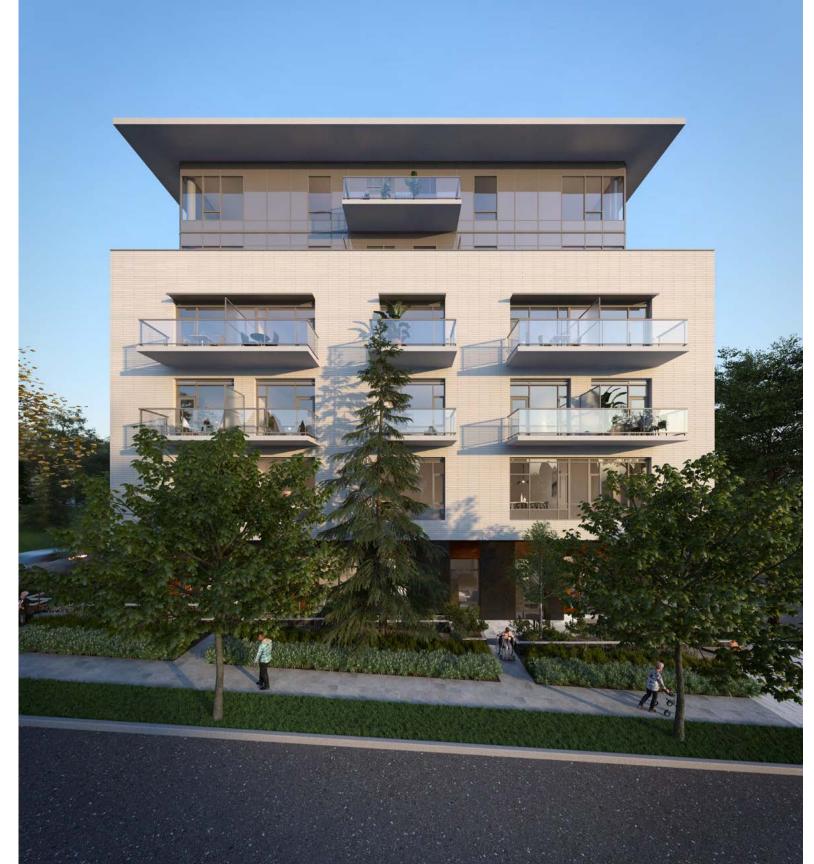
PERSPECTIVE FROM NORTHWEST



PERSPECTIVE FROM NORTHEAST

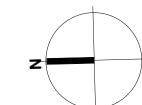
PERSPECTIVE FROM EAST





PERSPECTIVE FROM NORTH

PERSPECTIVE FROM SOUTHWEST



SHFT

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No.	Date	Revision Notes
	1	
1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

Project Title

AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Vancouver, B.C. V6C

CONTEXT PLAN

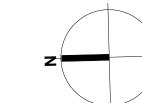
Drawn By Autho
Reviewed by Appro

Project Number **2101**

1" = 50'-0"

Sheet Number

C:\REVIT 2021 LOCAL FILES\2101 NANTON - BUILDING (Central)_shiftarchitecture.rvt



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AMICA ARBUTUS

Vancouver, B.C. V6J 4A2

4330-4408 Arbutus St. & 2092 Nanton Ave.

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

SITE PLAN

Reviewed by

2022/07/21

1/16" = 1'-0"

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Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner **AMICA ARBUTUS NANTON**

SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title **INTERPOLATED ROOF CALCULATIONS**

Drawn By Reviewed by Approver

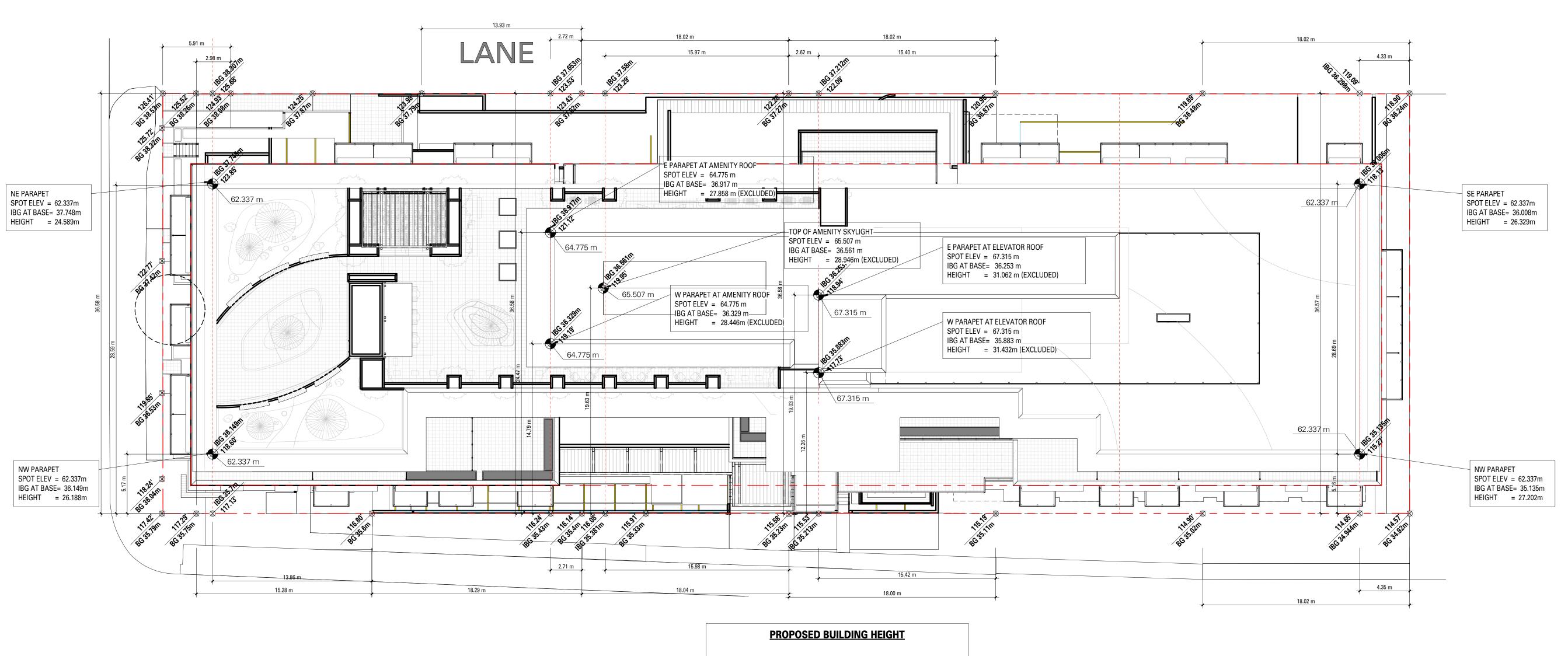
Project Number 2101

Plot Date Issue Date 2022/07/21 2022/07/21

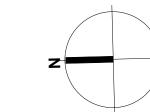
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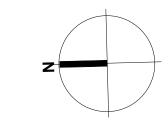
Issue/Revision 1/16" = 1'-0"

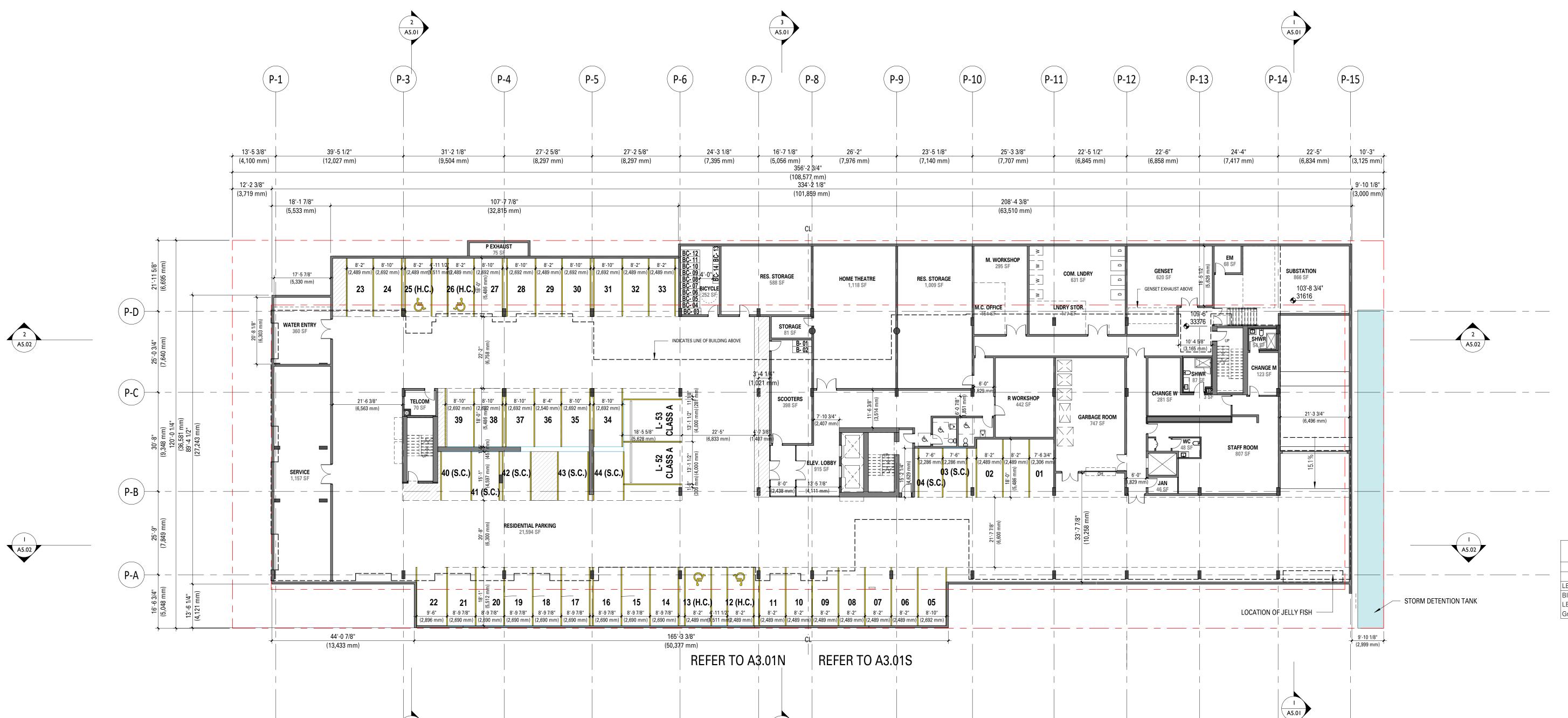
Sheet Number



= **27.202** m (AT SOUTHWEST CORNER PARAPET)







Description	Cour
	·
ACCESSIBLE STALL	4
LOADING	4
REGULAR STALL	33
SMALL CAR STALL	7
Grand total: 48	•
	· /DECIDENT
PARKING SCHEDULE	(RESIDENT
	E (RESIDENT
PARKING SCHEDULE	`
PARKING SCHEDULE	`
PARKING SCHEDULE Description	Cour
PARKING SCHEDULE Description ACCESSIBLE STALL	Cour 4

PARKING SCHEDULE (CAR SHARE)

Description

Description

PARKING SCHEDULE (VISITORS)

Count

PARKING SCHEDULE (LOADING) Description Grand total: 4

Description	Count
A COECOIDLE CTALL	
ACCESSIBLE STALL	4
Grand total: 4	

	PARKING SCHEDULE (BICY)	
Level	Description	Count
LEVEL P1	BICYCLE (HORIZONTAL)	14
BICYCLE (H	IORIZONTAL): 14	
LEVEL P1:	14	
Grand total: 14		

GARBAGE & RECYCLIN	G
TYPE	С

REQUIRED HEADROOM:

PROVIDE ACCESS ROUTE WITH MINIMUM CLEAR HEADROOM OF 2300mm (7'-6 1/2") TO ALL ACCESSIBLE PARKING SPACES AND ALL CLASS 'A' LOADING SPACES - ALL OTHER AREAS INCLUDING PARKING STALLS REQUIRE MINIMUM CLEAR HEADROOM OF 2000mm (6'-7").

PARKADE FINISHES GENERAL NOTES: 1. PARKADE WALLS AND COLUMNS TO BE PAINTED WHITE TO FULL HEIGHT - TYPICAL. OWNER TO PROVIDE ALTERNATE COLOURS FOR SPECIFIC ACCENT LOCATIONS.

BICYCLE PARKING ROOM TYPICAL NOTES: 1. A MINIMUM OF 20% OF BICYCLE PARKING STALLS TO BE BICYCLE LOCKERS.

2. A MAXIMUM OF 30% OF BICYCLE PARKING STALLS TO BE VERTICAL.

3. EACH TWO CLASS A BICYCLE SPACES MUST HAVE AN ELECTRICAL OUTLET.

4. METAL ENCLOSURES AND DOORS TO MEET THE MINIMUM REQUIREMENTS OF THE "VANCOUVER PARKING BYLAW" SECTIONS 6.3.14 AND 6.3.15.

STORAGE LOCKER GENERAL NOTES:

1. BULK STORAGE LOCKERS ARE REQUIRED TO MEET THE MINIMUM REQUIREMENTS OF THE "VANCOUVER BUILDING BYLAW 2014" AND THE CURRENT VERSION OF THE "BULK STORAGE -RESIDENTIAL DEVELOPMENTS " BYLAW ADMINISTRATION BULLETIN.

2. THE PERIMETER OF BICYCLE LOCKERS OR BANKS OF LOCKERS THAT DO NOT EXTEND TO THE CEILING ARE TO BE ENCLOSED WITH METAL MESH ENCLOSURES PREVENTING THE STORAGE OF ITEMS ON TOP OF THE STORAGE LOCKERS.

3. INDIVIDUAL SPRINKLERING OF STORAGE LOCKERS IS REQUIRED IF THE DISTANCE FROM THE U/S OF FINISHED CEILING TO THE TOP OF THE STORAGE LOCKER IS LESS THAN 24".

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No.	Date	Revision Notes
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No.	Date	Revision Notes

Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner **AMICA ARBUTUS NANTON** SENIORS INC. 1560-666 Burrard Street

Vancouver, B.C. V6C 2X8 Sheet Title

LEVEL P1 PLAN

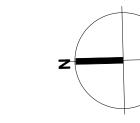
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Project Number 2101 Plot Date 2022/07/21

2022/07/21 Scale Issue/Revision

Issue Date

1/16" = 1'-0" Sheet Number





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No.	Date	Revision Notes
1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

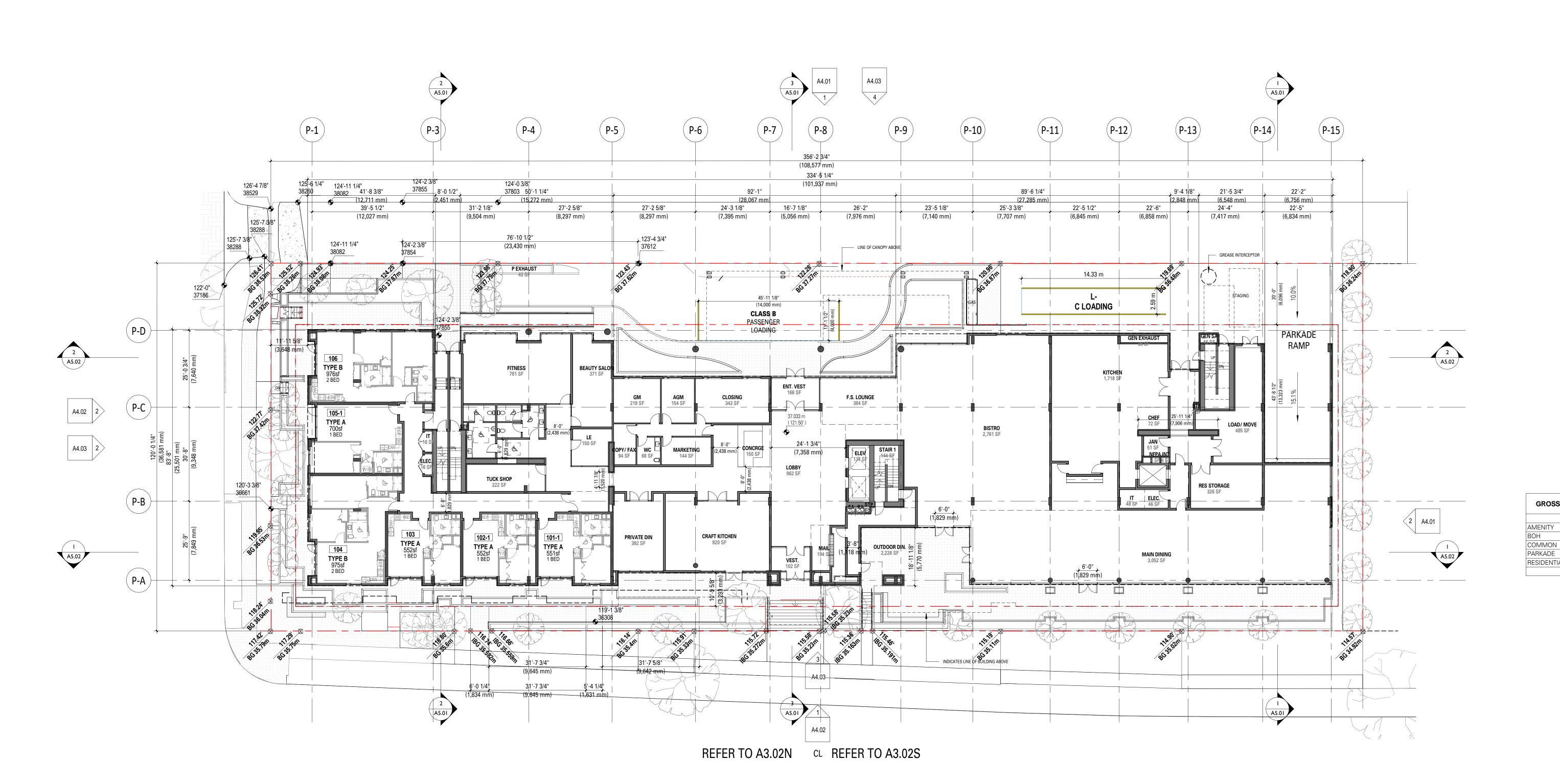
Sheet Title **LEVEL 1 PLAN**

Reviewed by Project Number 2101

Plot Date Issue Date 2022/07/21 2022/07/21

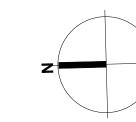
1/16" = 1'-0"

Sheet Number



GROSS FLOOR AREA LEVEL 1 3,201 SF 6,201 SF 115 SF RESIDENTIAL 4,318 SF

23,935 SF





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No.	Date	Revision Notes
	1	
1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

Project Title

AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON
SENIORS INC.
1560-666 Burrard Street
Vancouver, B.C. V6C 2X8

Sheet Title

LEVEL 2 PLAN

Drawn By
Reviewed by

Project Number
2101

2101

Plot Date

Sheet Number

2022/07/21 Scale

Scale 1/16" = 1'-0"

Δ2 03

Issue Date 2022/07/21



 GROSS FLOOR AREA LEVEL 2

 MENITY
 3,347 SF

 OH
 2,728 SF

 OMMON
 4,854 SF

 ESIDENTIAL
 17,343 SF

28,272 SF

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Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title **LEVEL 3 PLAN**

Drawn By Reviewed by

Project Number 2101 Plot Date

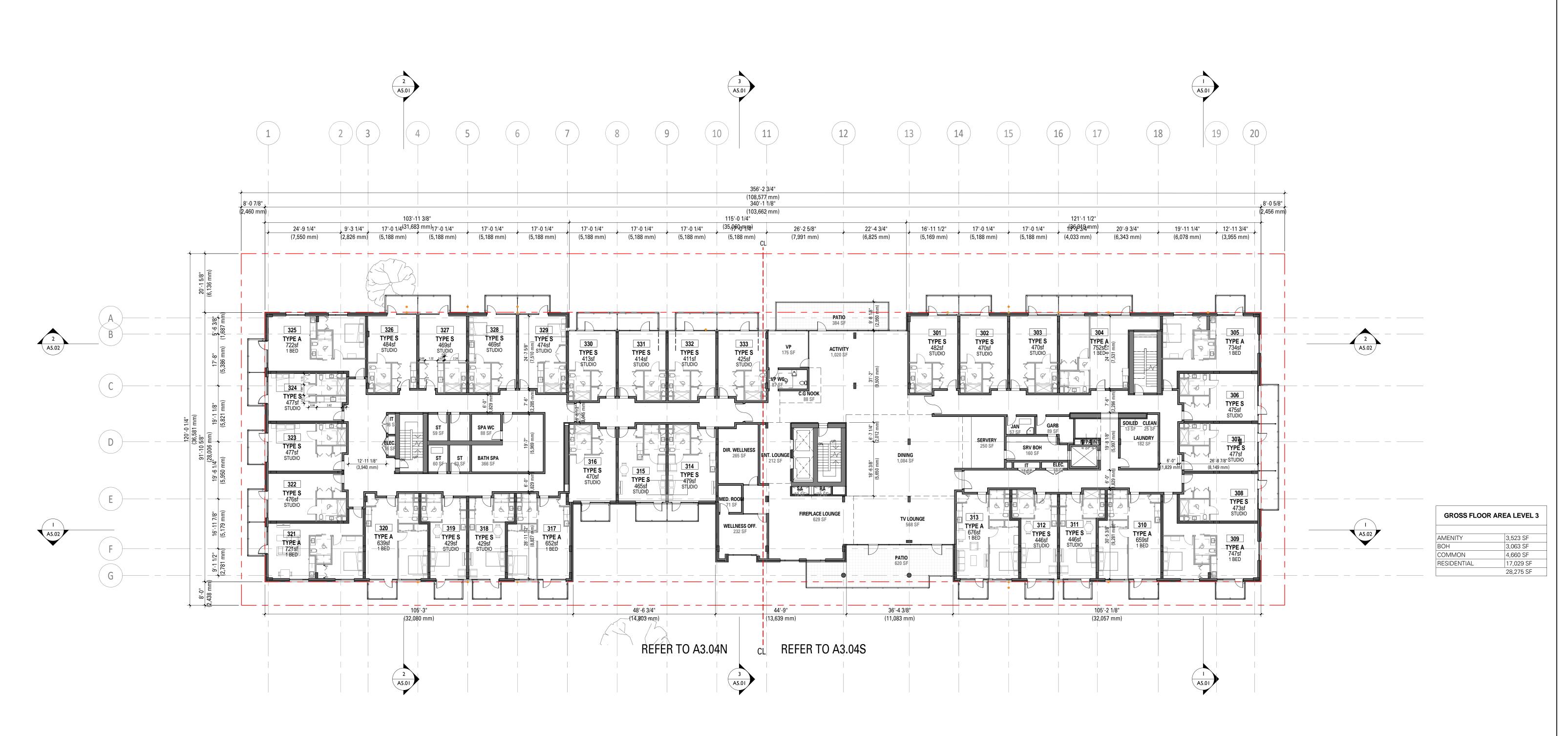
2022/07/21 Scale 1/16" = 1'-0"

Issue/Revision Sheet Number



Approver

Issue Date 2022/07/21



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No.	Date	Revision Notes
1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

Project Title

AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title

LEVEL 4 PLAN

Drawn By Author
Reviewed by Approver

Project Number

2101Plot Date

 Plot Date
 Issue Date

 2022/07/21
 2022/07/21

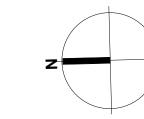
 Scale
 Issue/Revision

Scale 1/16" = 1'-0"

1/16" = 1'-0"

A2.05







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No.	Date	Revision Notes
	2022/07/24	ICCLIED FOR D7
1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner **AMICA ARBUTUS NANTON** SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title

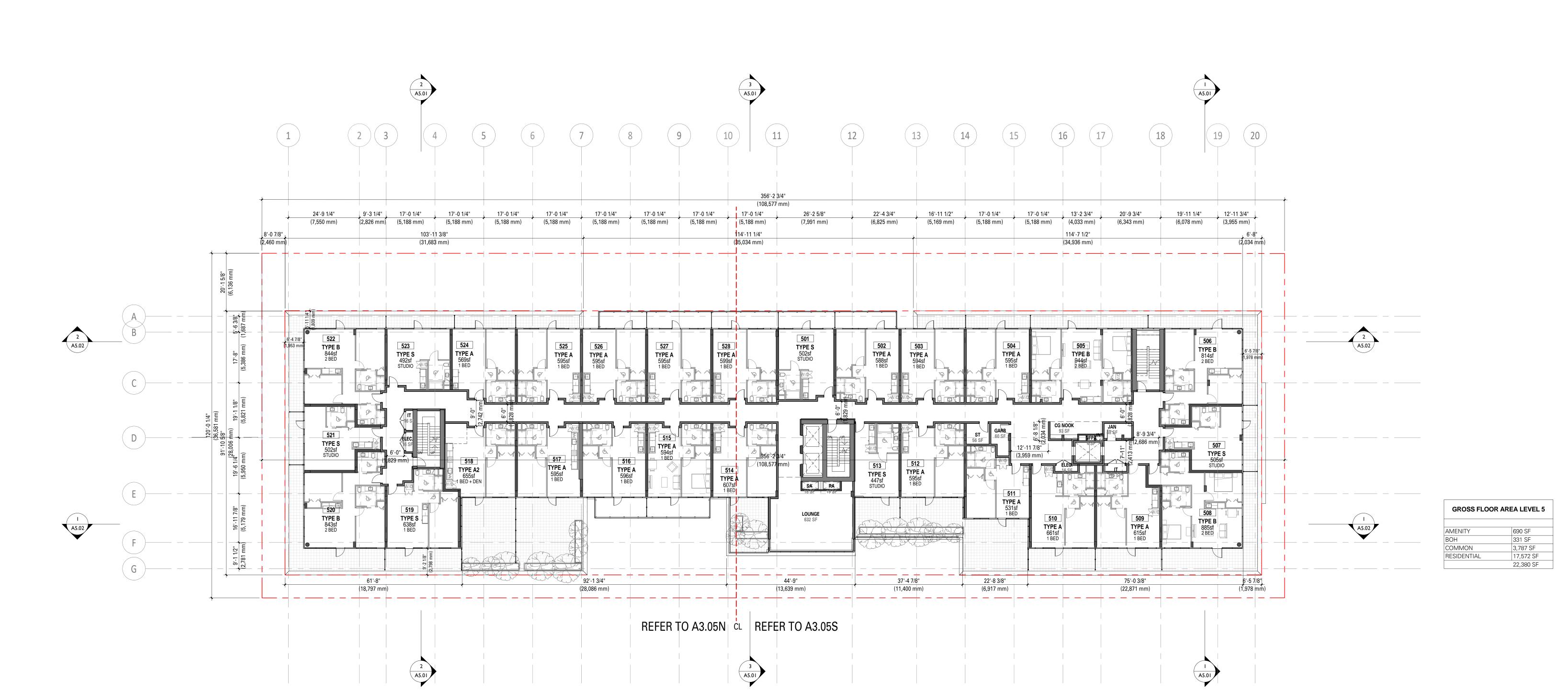
LEVEL 5 PLAN

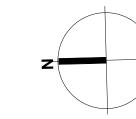
Reviewed by Project Number

2101 Plot Date

Issue Date 2022/07/21 2022/07/21 Scale

1/16" = 1'-0"







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No.	Date	Revision Notes
L	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

Project Title
AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

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1560-666 Burrard Street
Vancouver, B.C. V6C 2X8

Sheet Title **LEVEL 6 PLAN**

Drawn By Author
Reviewed by Approver

Project Number

Project Number
2101

Plot Date

 Plot Date
 Issue Date

 2022/07/21
 2022/07/21

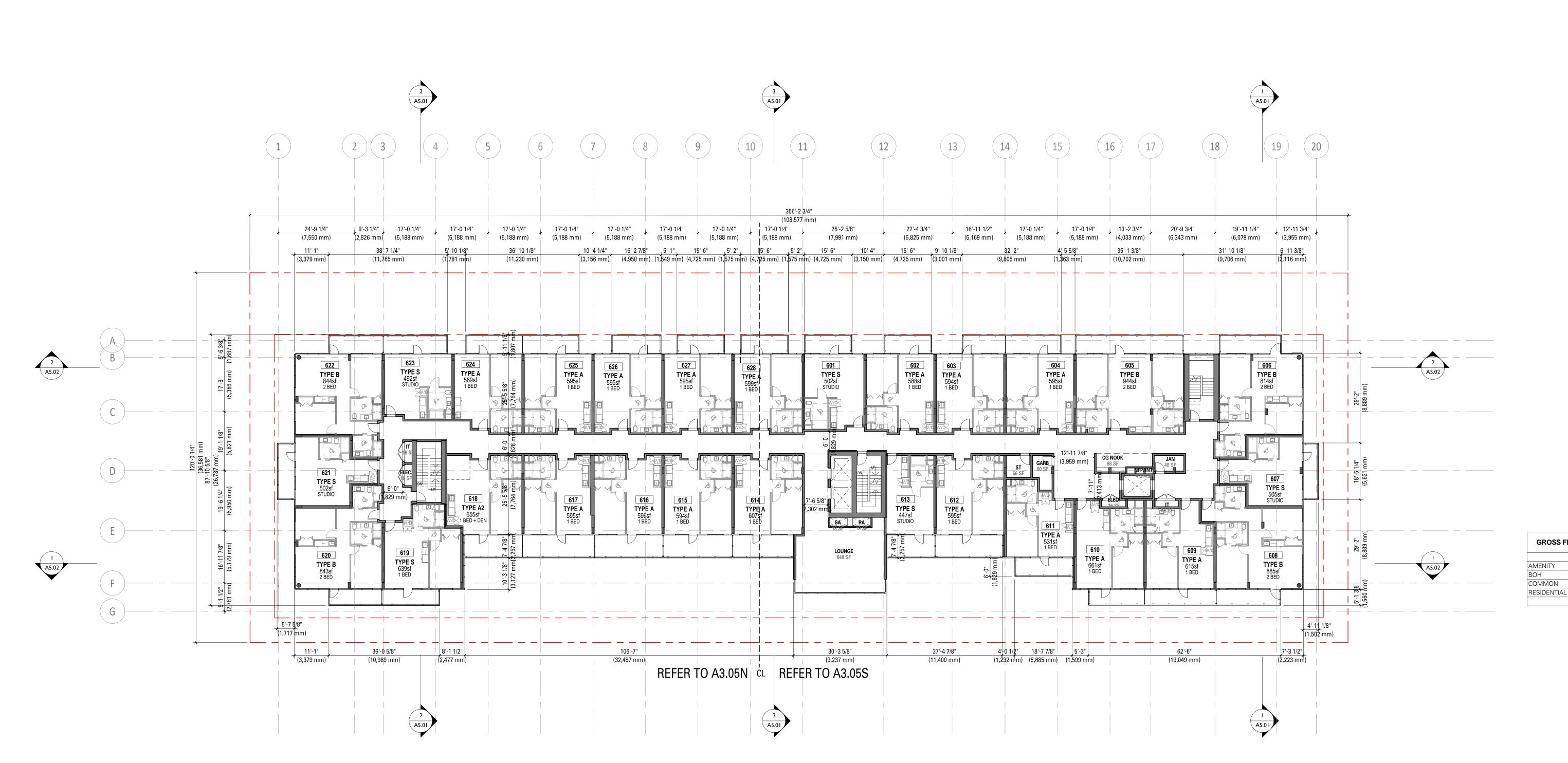
 Scale
 Issue/Revision

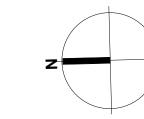
Scale
1/16" = 1'-0"

1/16" = 1'-0"

Sheet Number

AZ.U/







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No.	Date	Revision Notes
1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

1,328 SF

1,250 SF 4,731 SF

> **AMICA ARBUTUS NANTON** SENIORS INC. 1560-666 Burrard Street

Vancouver, B.C. V6C 2X8

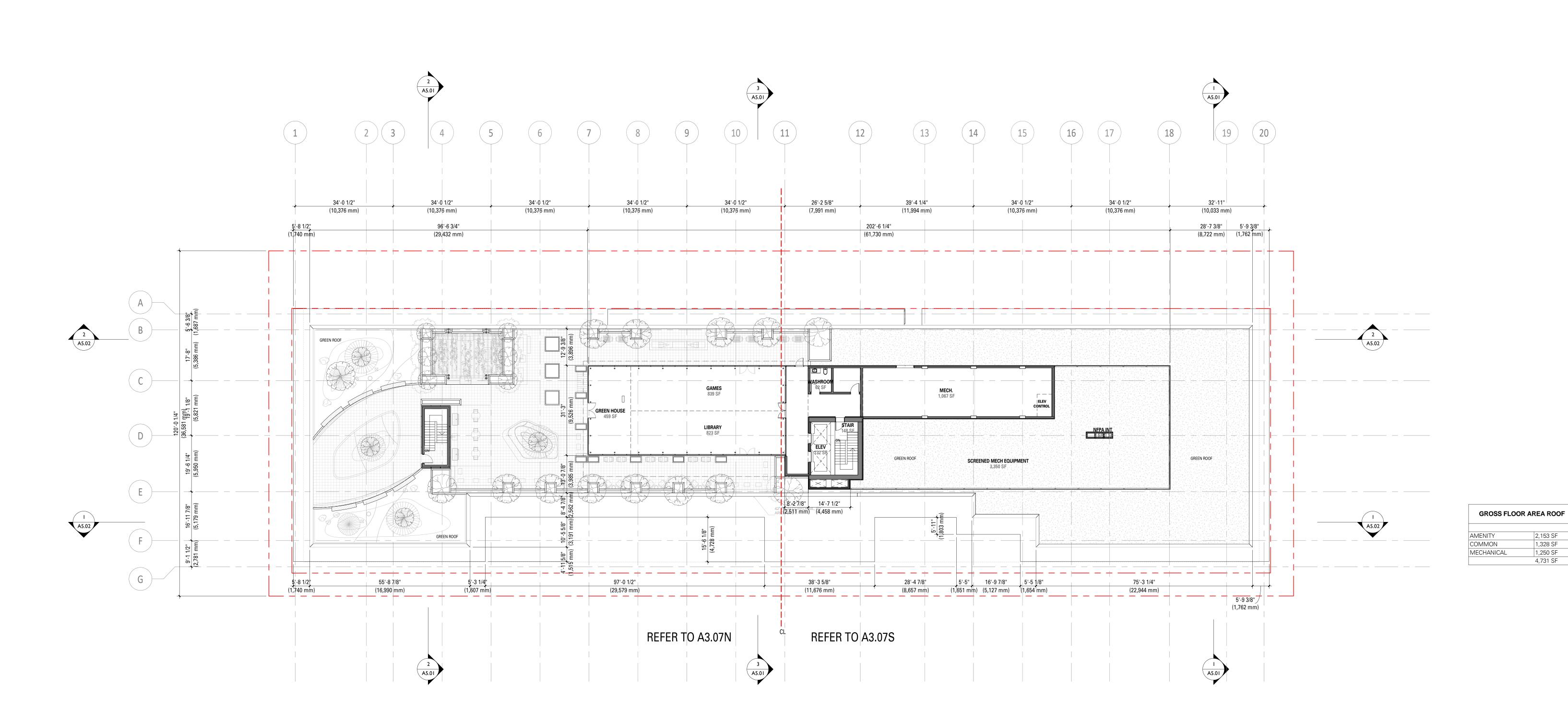
Sheet Title **ROOF PLAN**

Drawn By Reviewed by

Project Number 2101

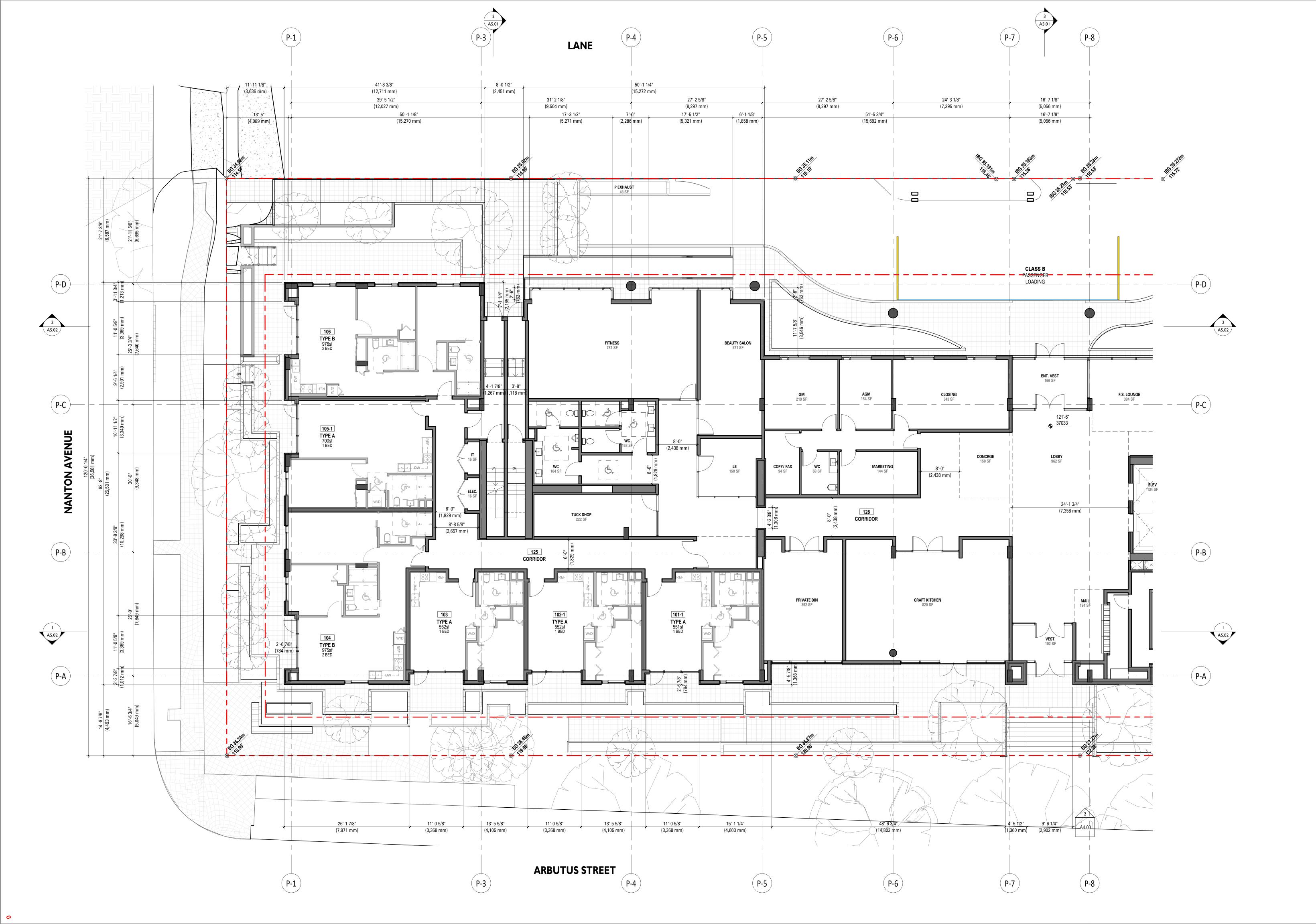
Plot Date Issue Date 2022/07/21 2022/07/21

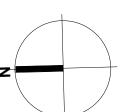
Scale 1/16" = 1'-0"











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No.	Date	Revision Notes
1	2022/07/21	ISSUED FOR RZ
No	Dato	Revision Notes

Project Title

AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title

LEVEL 1 PLAN NORTH

Project Number 2101

Drawn By

Project Number
2101

Plot Date

 Plot Date
 Issue Date

 2022/07/21
 2022/07/21

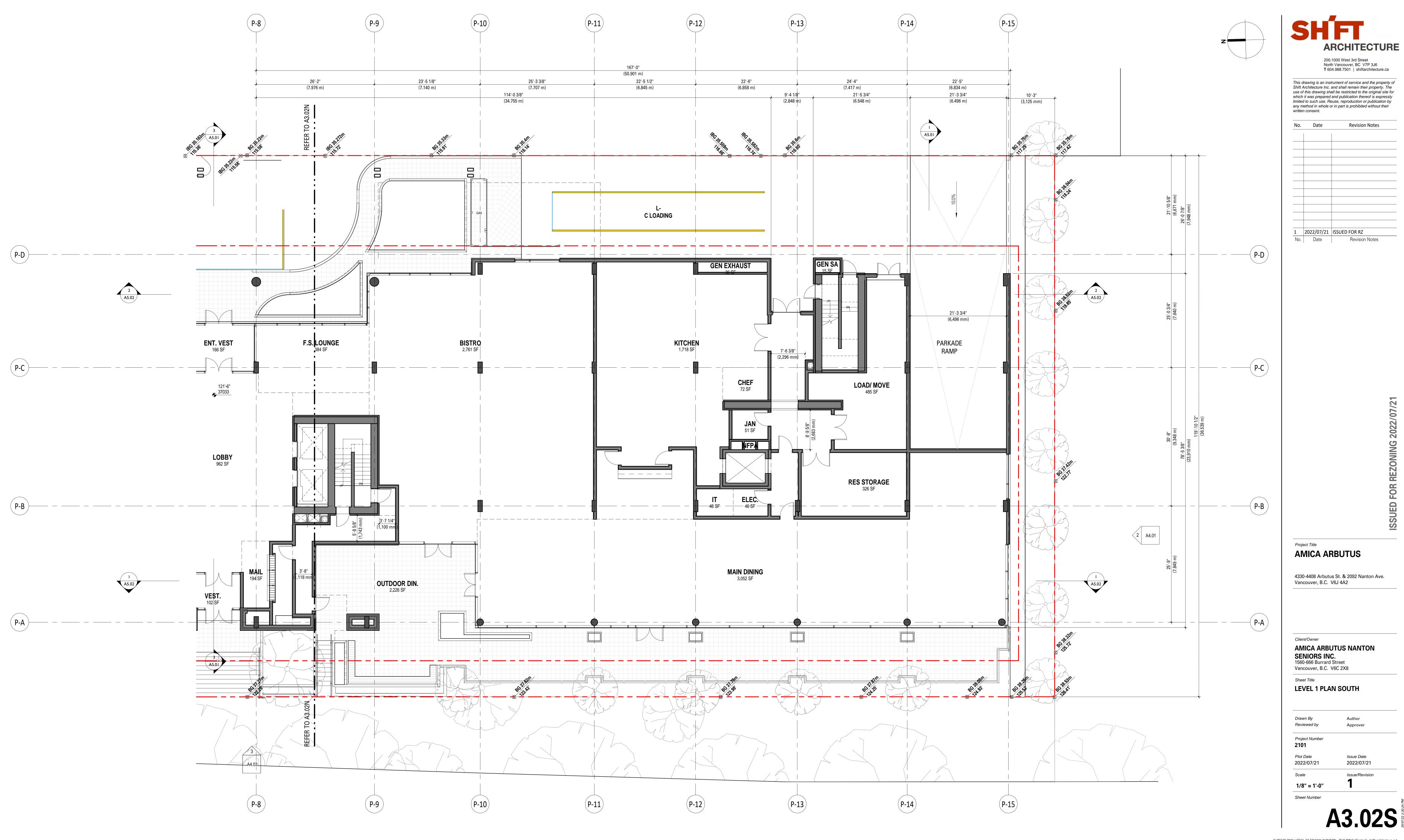
 Scale
 Issue/Revision

Scale

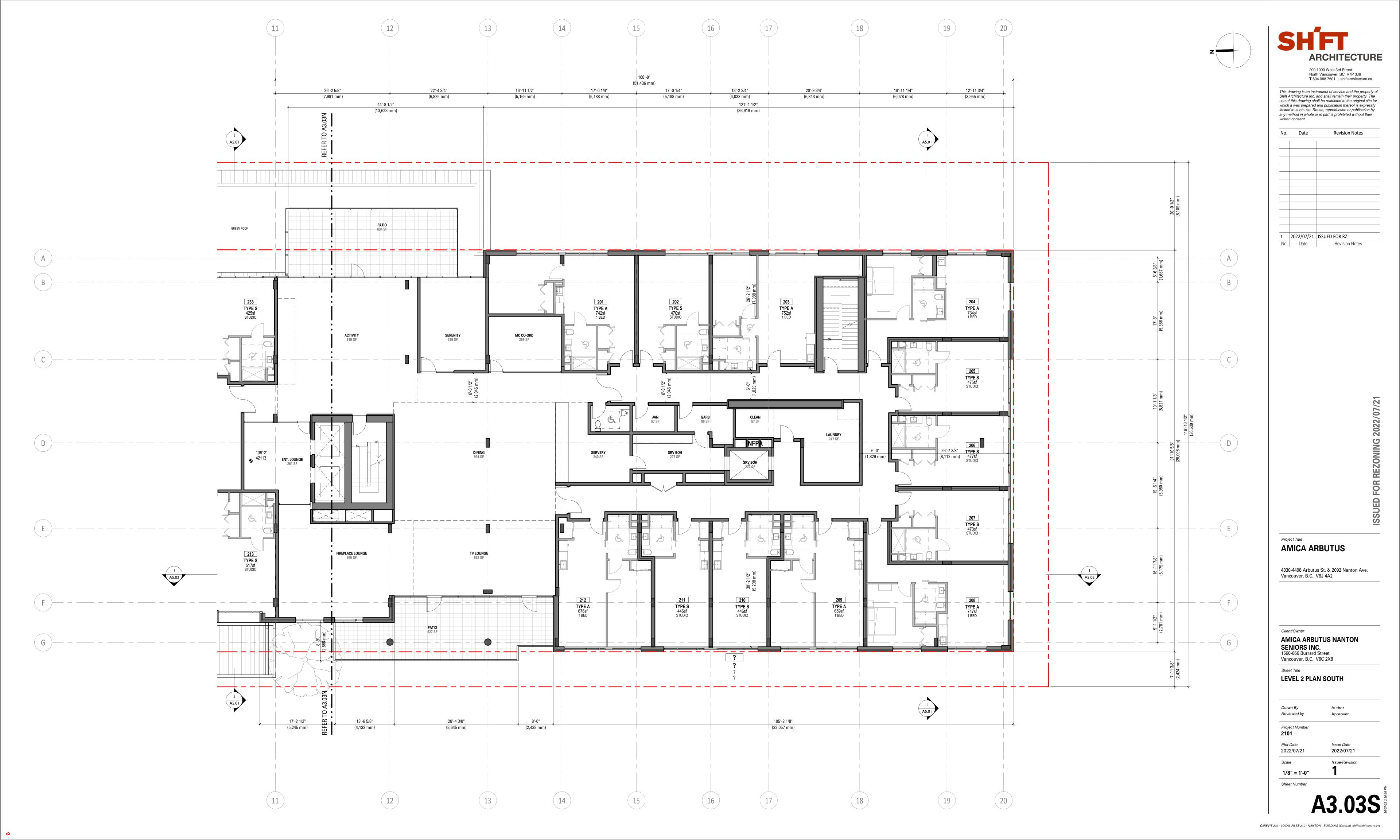
1/8" = 1'-0"

Sheet Number

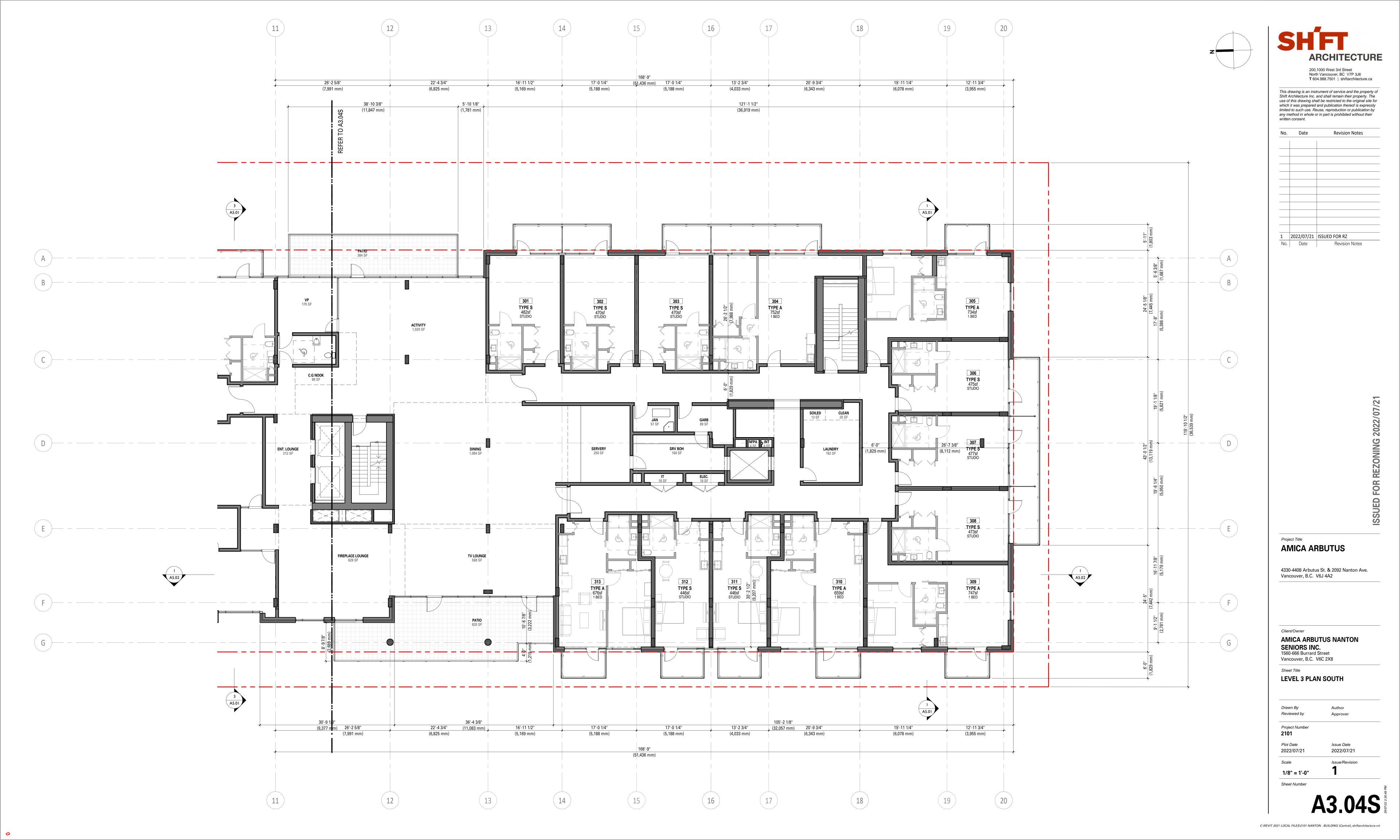
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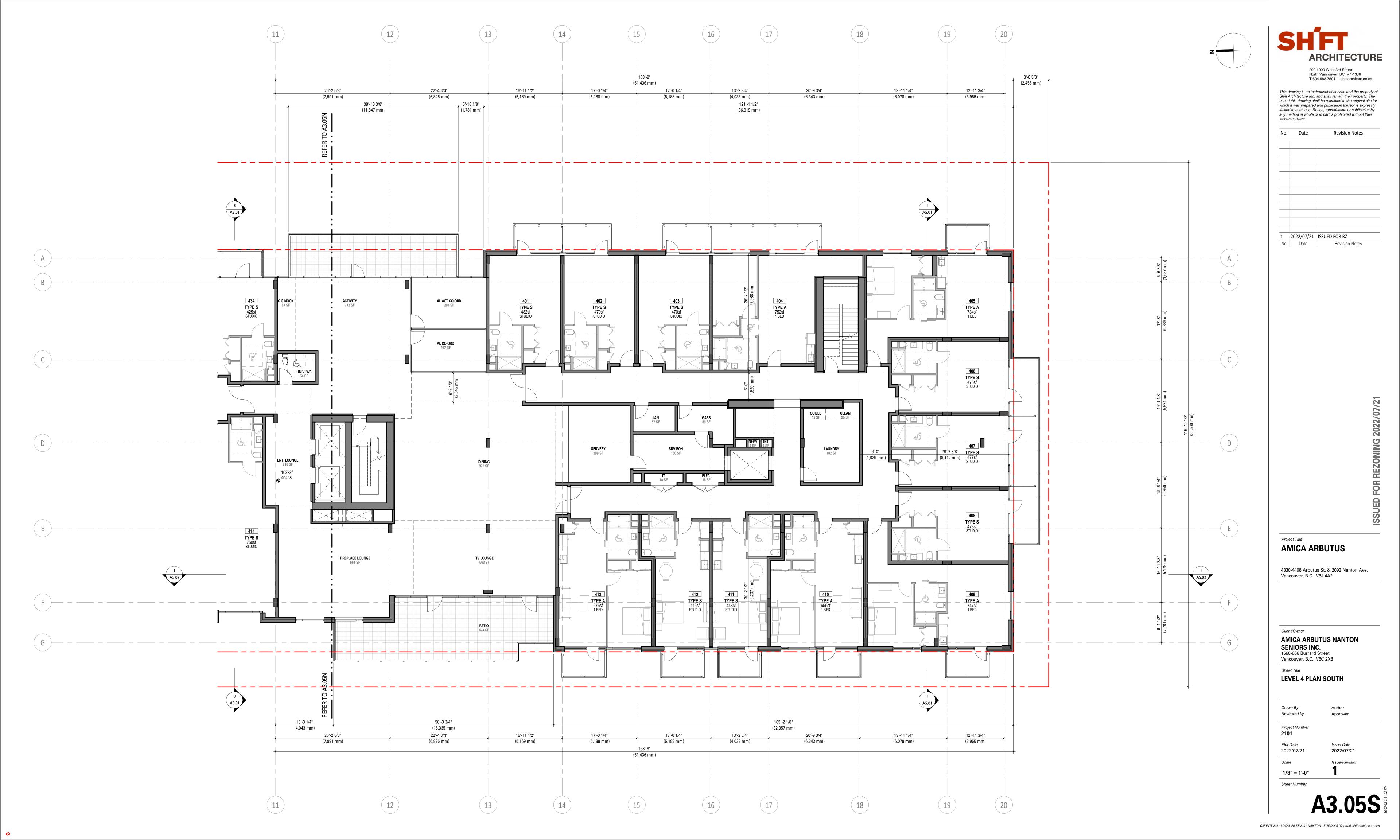






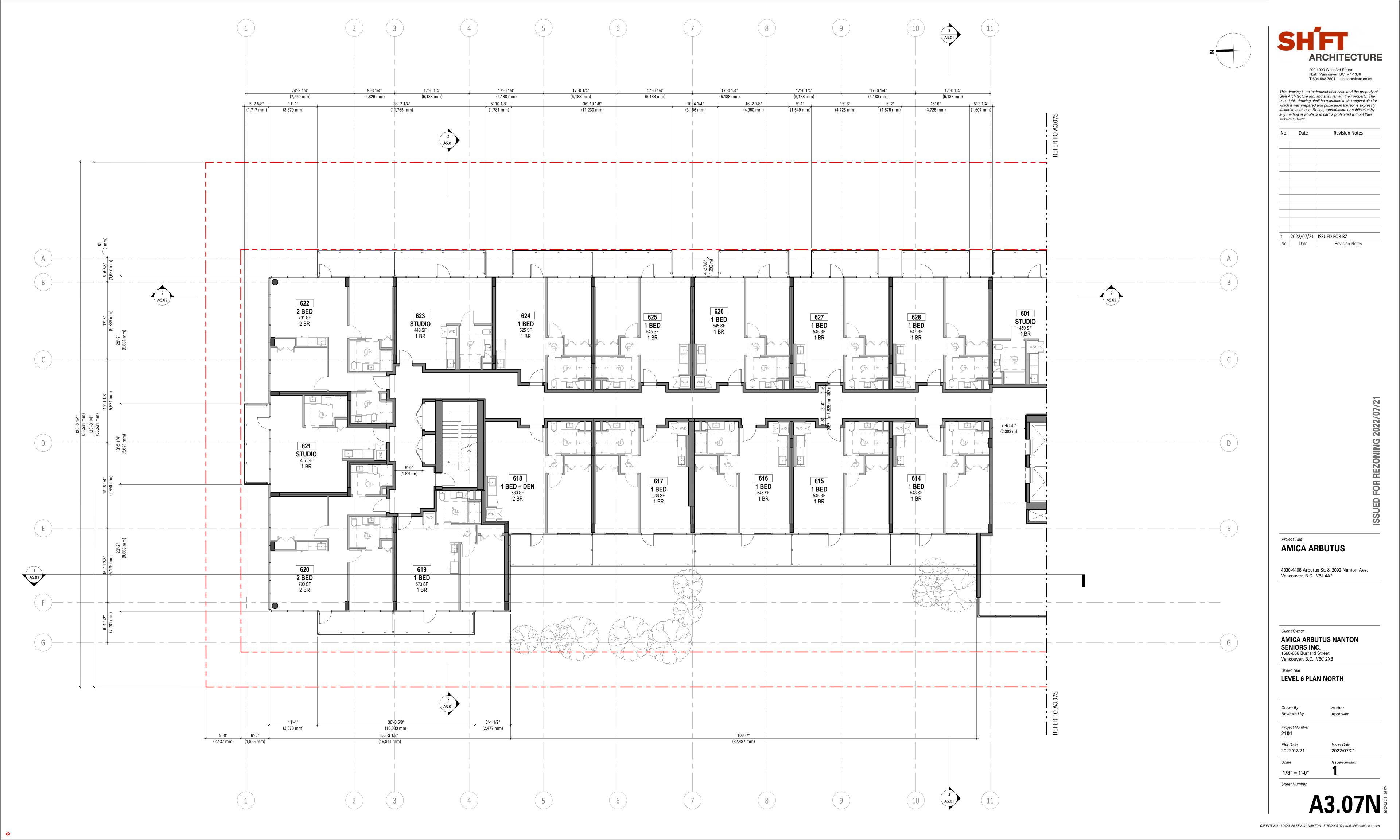




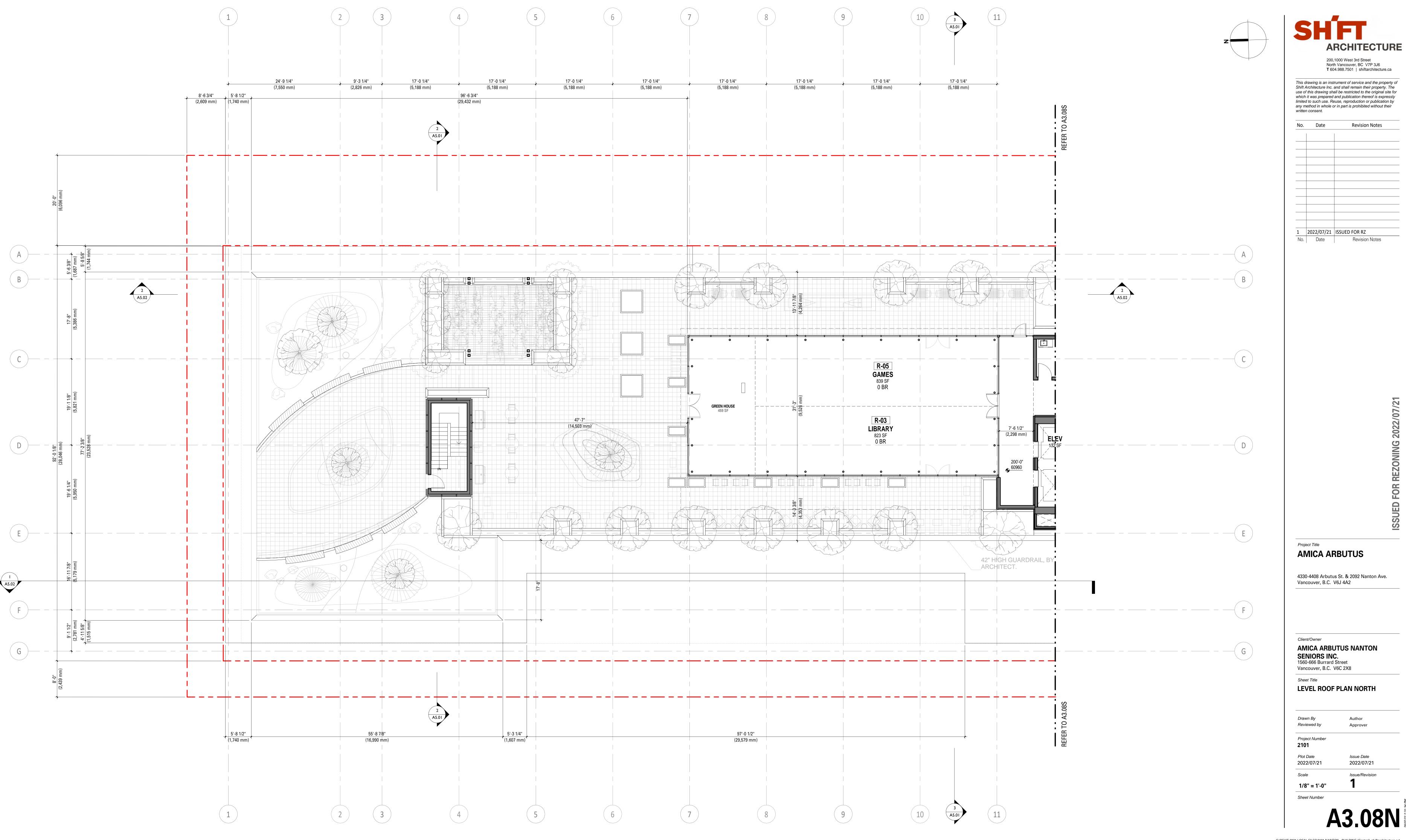


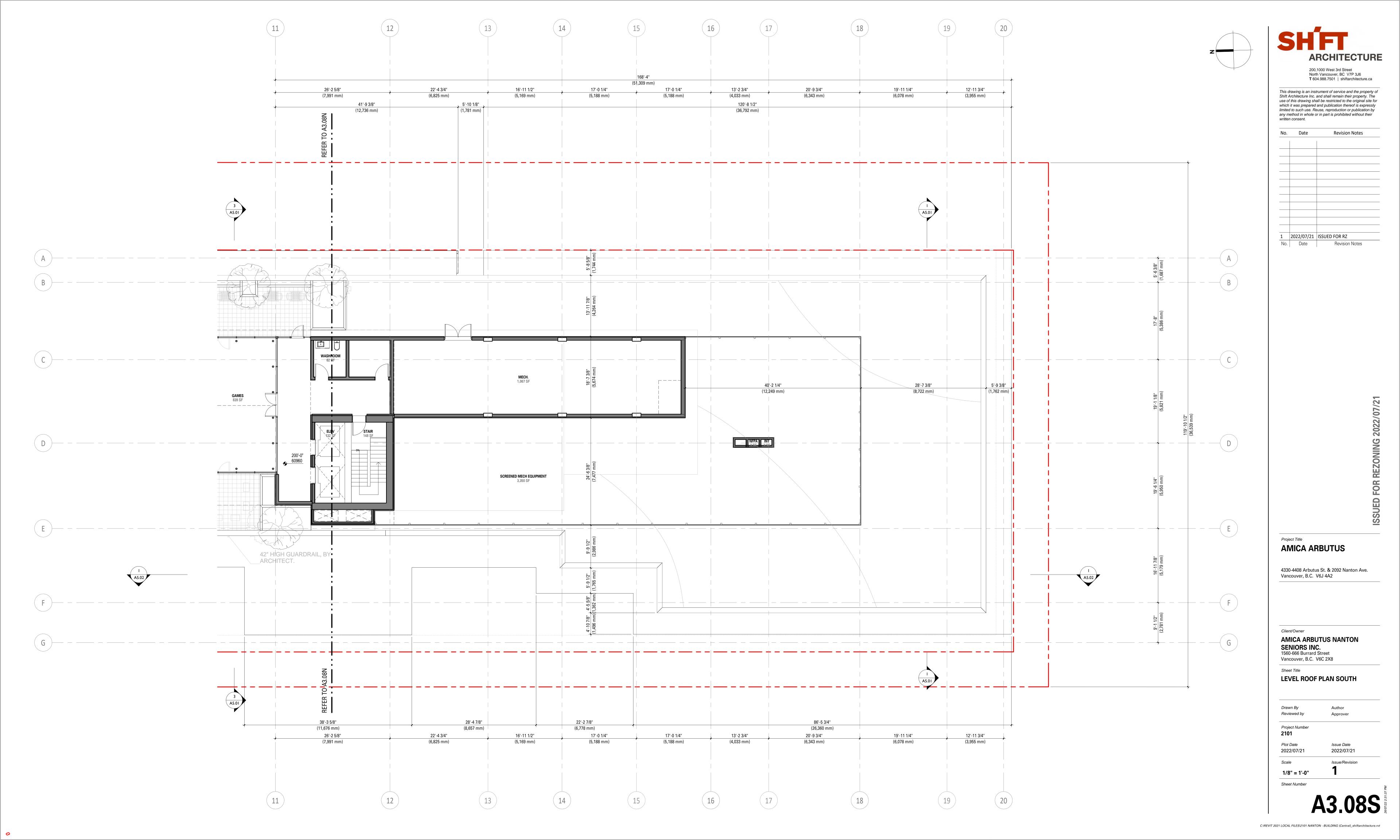












(GEODETIC)

(GEODETIC)

MATERIALS LEGEND **Keynote Text** Key Value COMPOSITE STONE TILE - KEYLA NATURAL CL-02 COMPOSITE CLADDING WITH WOOD VENEER FINISH - COPPER CO-01 ARCHITECTURAL CONCRETE ELASTOMERIC PAINT - TO MATCH BM #OC-26 SILVER SATIN WINDOW WALL SYSTEM - FRAME - POWDER COATING METAL SHAVING GREY WINDOW WALL SYSTEM - SPANDREL PANEL - TO MATCH POWDER COATING METAL SHAVING GREY COMPOSITE STONE MASONRY - WHITE PEARL - 3 5/8" X 2 1/4" X 23 5/8" PAINTED STEEL CANOPY - STEEL - POWDER COATING STANDARD BROWN PRIVACY SCREEN ALUMINUM C/W FROSTED GLASS - POWDER COATING METAL SHAVING GREY GUARDRAIL (ALUMINUM & GLASS) - POWDER COAT- POWDER COATING METAL SHAVING GREY HANDRAIL (ALUMINUM) - POWDER COAT- POWDER COATING STANDARD BROWN STONE WALL- REFER TO LANDSCAPE DRAWINGS

(GEODETIC)

2 SOUTH ELEVATION 1/16" = 1'-0"

CO-01

A5.01 NANTON AVE. PL MM-01---(GEODETIC) CO-01----DW-02---(GEODETIC) DW-01----— DW-01 MA-01 (GEODETIC) (GEODETIC) (GEODETIC) _ DW-02____ (GEODETIC) CL-01---(GEODETIC) 33.38 m LEVEL P1

1 EAST ELEVATION
1/16" = 1'-0"

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No.	Date	Revision Notes
1	2022/07/21	ISSUED FOR RZ
	Doto	Parisian Natas

AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

Project Title

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street

Vancouver, B.C. V6C 2X8

Sheet Title

ELEVATIONS

Drawn By Author
Reviewed by Approve

Project Number

2101

 Plot Date
 Issue Date

 2022/07/21
 2022/07/21

Scale 1/16" = 1'-0"

1/16" = 1'-0"

Sheet Number

A4.01

Issue/Revision

	MATERIALS LEGEND				
Key Value	Value Keynote Text				
CL-01	COMPOSITE STONE TILE - KEYLA NATURAL				
CL-02	COMPOSITE CLADDING WITH WOOD VENEER FINISH - COPPER				
CO-01	ARCHITECTURAL CONCRETE ELASTOMERIC PAINT - TO MATCH BM #OC-26 SILVER SATIN				
DW-01	WINDOW WALL SYSTEM - FRAME - POWDER COATING METAL SHAVING GREY				
DW-02	WINDOW WALL SYSTEM - SPANDREL PANEL - TO MATCH POWDER COATING METAL SHAVING GREY				
MA-01	COMPOSITE STONE MASONRY - WHITE PEARL - 3 5/8" X 2 1/4" X 23 5/8"				
MM-01	PAINTED STEEL CANOPY - STEEL - POWDER COATING STANDARD BROWN				
PS-01	PRIVACY SCREEN ALUMINUM C/W FROSTED GLASS - POWDER COATING METAL SHAVING GREY				
RG-01	GUARDRAIL (ALUMINUM & GLASS) - POWDER COAT- POWDER COATING METAL SHAVING GREY				
RG-02	HANDRAIL (ALUMINUM) - POWDER COAT- POWDER COATING STANDARD BROWN				
ST-01	STONE WALL- REFER TO LANDSCAPE DRAWINGS				

NORTH ELEVATION 1/16" = 1'-0"

1/16" = 1'-0"



ARCHITECTURE

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No.	Date	Revision Notes
	1	
1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title

ELEVATIONS

Drawn By Reviewed by Approver Project Number 2101 Issue Date

Plot Date 2022/07/21

> Scale 1/16" = 1'-0"

Sheet Number

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2022/07/21

Issue/Revision







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No.	Date	Revision Notes

Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

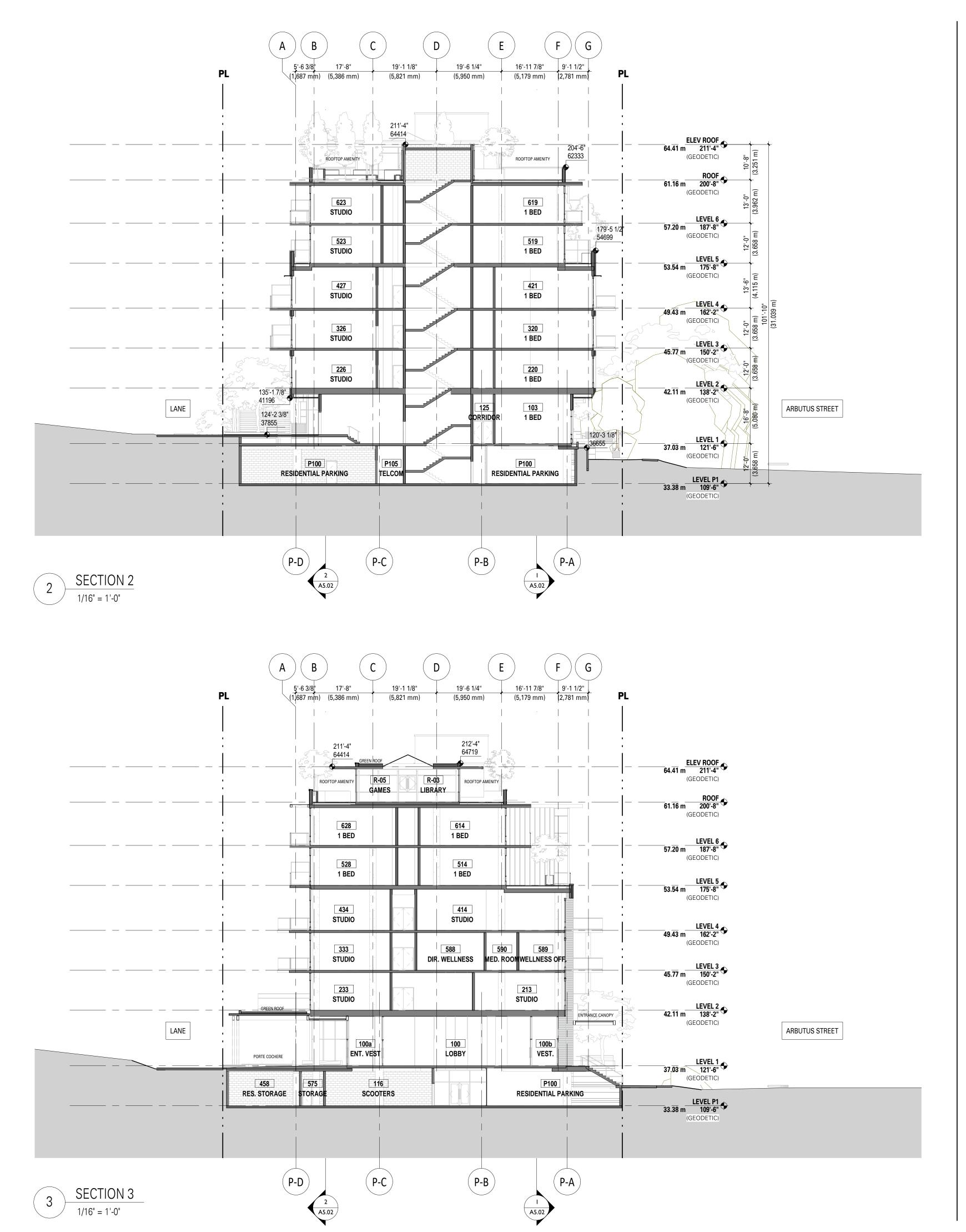
AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

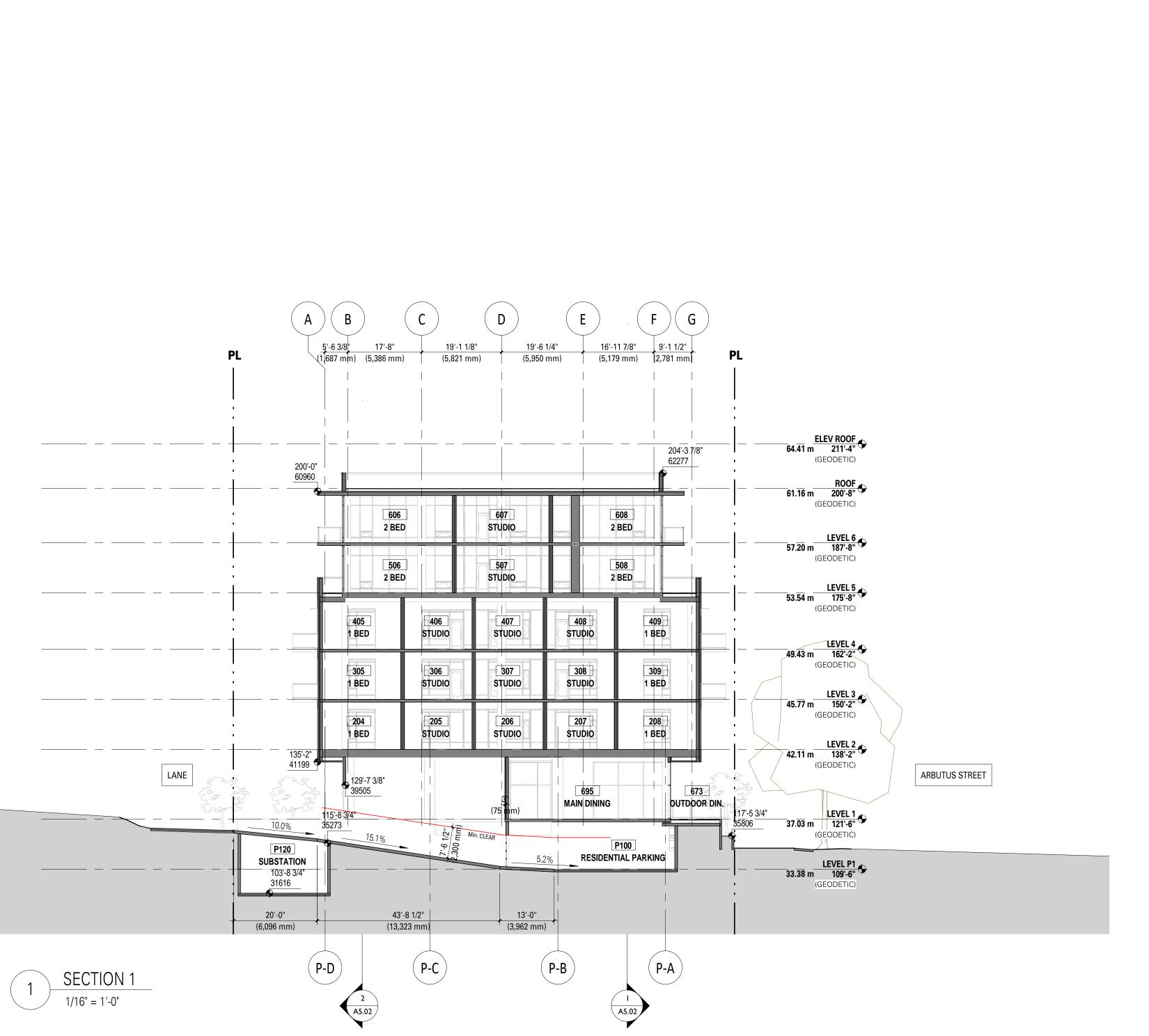
STREETSCAPE ELEVATIONS

Reviewed by Project Number 2101 Issue Date

Plot Date 2022/07/21 2022/07/21

Scale Issue/Revision 1" = 30'-0"





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No.	Date	Revision Notes

Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC.

1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title **BUILDING SECTIONS**

Drawn By Reviewed by Approver

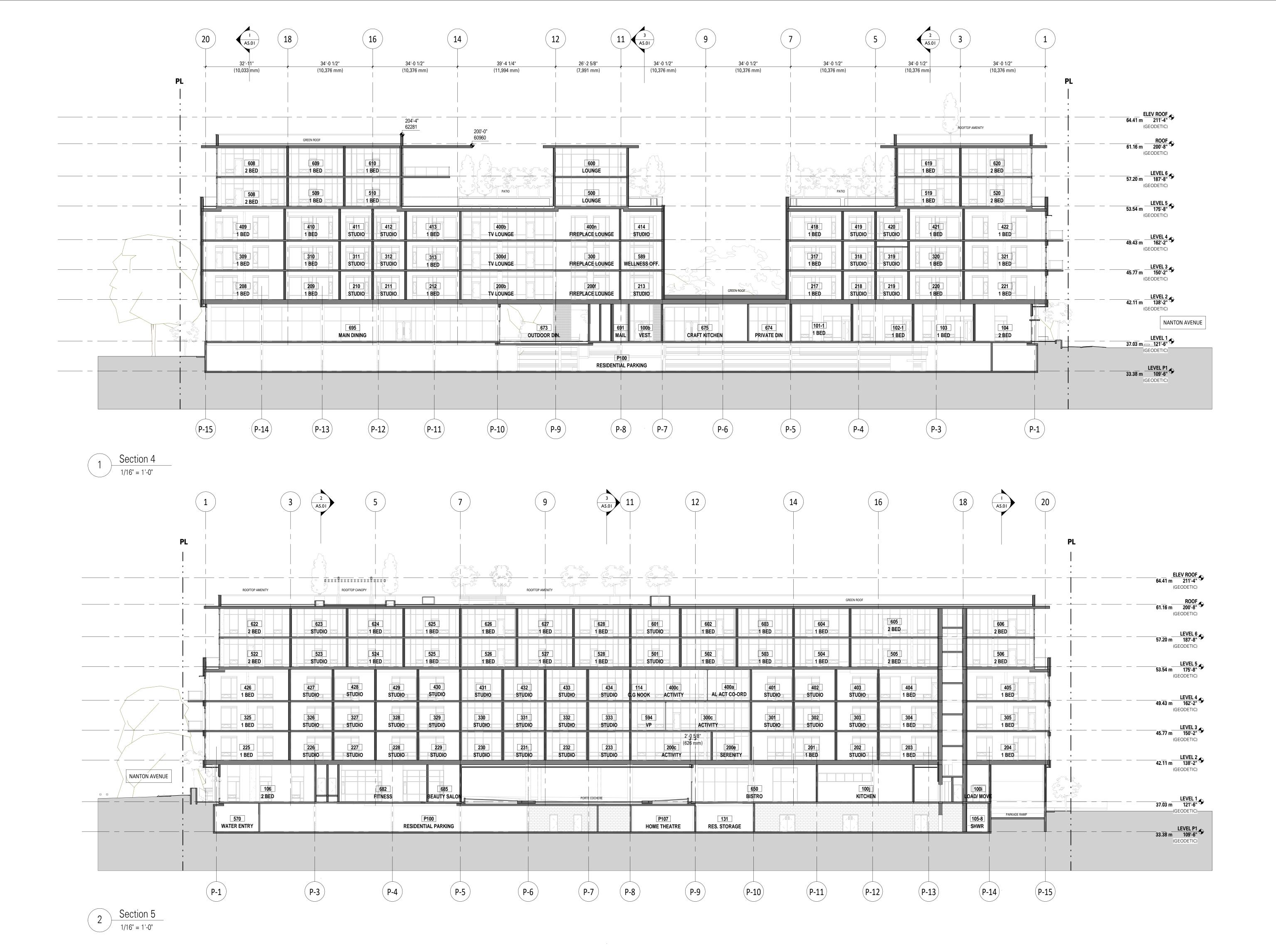
Project Number 2101 Plot Date Issue Date

Scale 1/16" = 1'-0"

2022/07/21

Sheet Number

2022/07/21



ARCHITECTURE

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No.	Date	Revision Notes
	1	1
1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street

Sheet Title **BUILDING SECTIONS**

Vancouver, B.C. V6C 2X8

Project Number 2101

Drawn By

Reviewed by

Plot Date Issue Date

Author

Approver

2022/07/21

Scale

2022/07/21

Issue/Revision 1/16" = 1'-0"

Sheet Number

1 | 2022/07/21 | ISSUED FOR RZ

No. Date

ARCHITECTURE

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

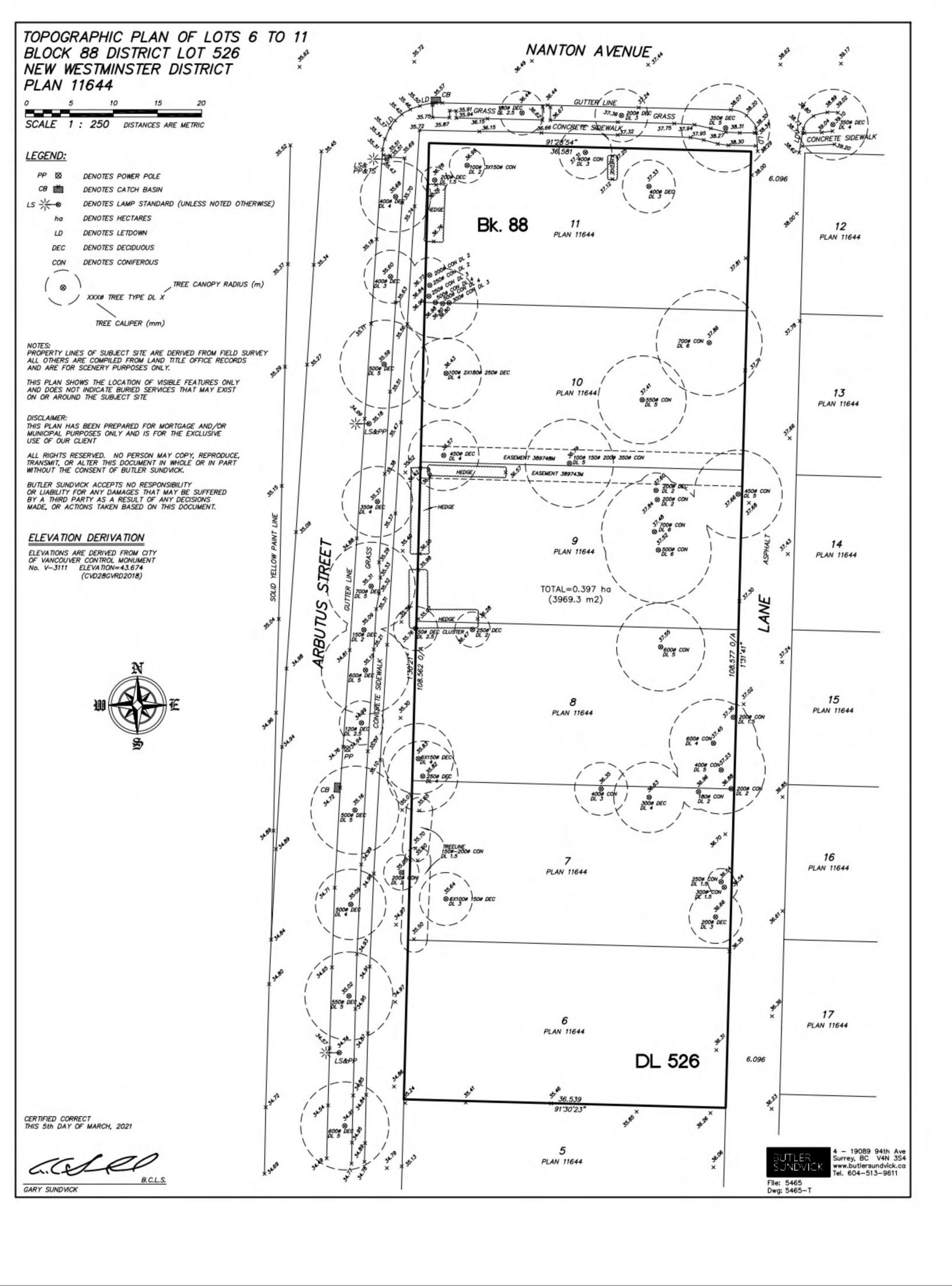
Sheet Title

SURVEY

Reviewed by Project Number

2101 Plot Date

Issue Date 2022/07/21 2022/07/21 Scale



ARCHITECTURE

Revision Notes

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1 2022/07/21 ISSUED FOR RZ

No. Date

written consent.

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

AMICA ARBUTUS

Project Title

Client/Owner AMICA ARBUTUS NANTON **SENIORS INC.** 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

FSR OVERLAY L1 & L2

Drawn By Reviewed by

Project Number 2101 Plot Date

2022/07/21

2022/07/21 1/16" = 1'-0"

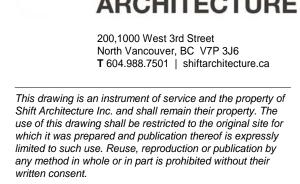
Sheet Number

Approver

Issue Date







Project Title
AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

AMICA ARBUTUS NANTON SENIORS INC.

SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

Sheet Title
FSR OVERLAY L3 & L4

Drawn By Author
Reviewed by Approve

Project Number **2101**

Plot Date | Issue Date | 2022/07/21 | 2022/07/21

Scale
1/16" = 1'-0"

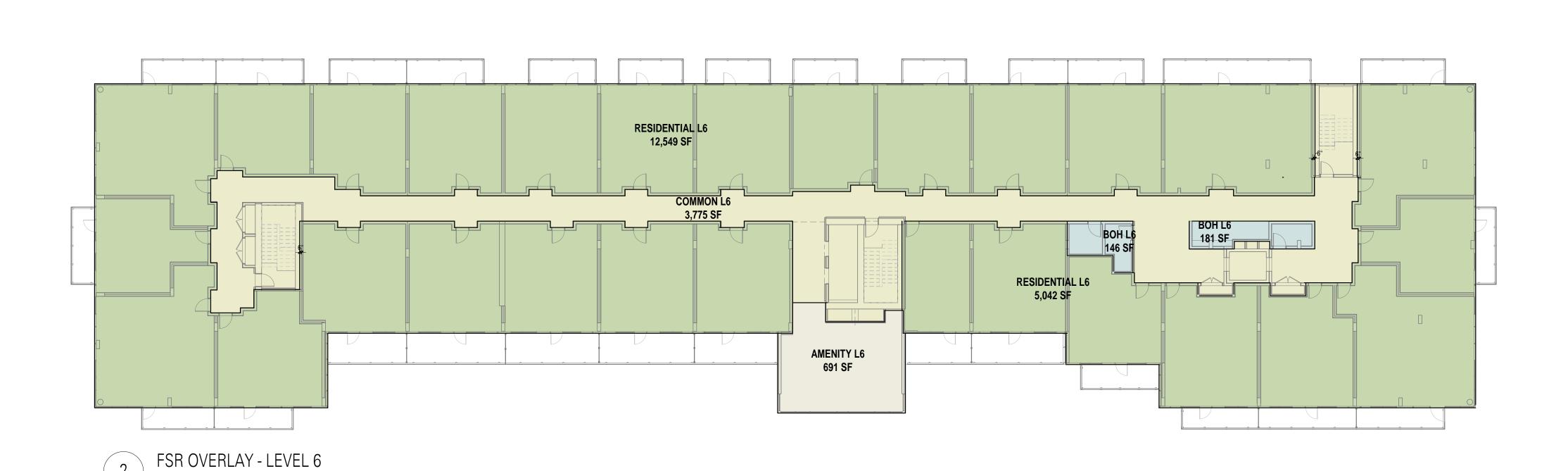
Sheet Number

5" = 1'-0"

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FSR 1.02





1/16" = 1'-0"



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	1	
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Project Title **AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON SENIORS INC. 1560-666 Burrard Street Vancouver, B.C. V6C 2X8

FSR OVERLAY L5 & L6

Drawn By Reviewed by Approver

Project Number 2101 Plot Date

Issue Date 2022/07/21 2022/07/21 Issue/Revision

Scale 1/16" = 1'-0"

Sheet Number

ARCHITECTURE

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Sheet Title
FSR OVERLAY P1 & ROOF

Drawn By

Project Number
2101

Plot Date | Issue Date | 2022/07/21 | 2022/07/21

Scale
1/16" = 1'-0"

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ASENTY PI
1.355 FF
1.270 SF

ASENTY PI
1.355 FF
1.370 SF

ASENTY PI
1.370

OUTDOOR
AMENTY ROOF
8,997 SF
2,153 SF
227 SF

2 FSR OVERLAY - ROOF

1/16" = 1'-0"

Landscape Drawings

LO - L10

AMICA ARBUTUS

ŅVVŤTĚJŮŲĚŎŤYŮŪŪŦ

AMICA ARBUTUS NANTON SENIORS INC. // OWNER

ĻTŠÜĚŐÜÜÛÜŪ ŠVÜÜÛÜÜLÜŠŲSŬŪHŞŠ ĬìïĦĨìĦĬïĬ

SHIFT ARCHITECTURE // ARCHITECT

ŐUŠT**ŬĬŊŠ**ŪŢŠŲ VUŠTÙL VUĊŢVŠŲSUÙVŤŞWŴŲŤĦŞŠ ĬìïĦIJĮĦĪÌÍ

LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN // LANDSCAPE ARCHITECT

Ó WÌŤĚNŪŪMĚLĿŐÒ, Ě·ŐÒ, ĚIĚÒŲŪŞŮŮŠŨ ÜWŤĽŨĬŞÒTŤVÒFŪHŞŠ ĬÌÏĦĬĨĦĮĮĬ

ŊŠŪĖČYŤŤĚIĖČŲŬŰŢŞMŽĿŬŬŲŢŪŪŠMŇŲ ČŠŪĽŪŬŞĊŦŤVĖŦŪĦŞŠ ĬÌÏĦĨĮIJĦĮĨĨIJ

LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
LO	COVER SHEET
L1	GROUND LEVEL - LANDSCAPE CONCEPT PLAN
L2	GROUND LEVEL - PRECEDENT IMAGES
L3	LEVEL 2 - LANDSCAPE CONCEPT PLAN
L4	LEVEL 3 - LANDSCAPE CONCEPT PLAN
L5	LEVEL 4 - LANDSCAPE CONCEPT PLAN
L6	LEVEL 5 - LANDSCAPE CONCEPT PLAN
L7	UPPER LEVELS - PRECEDENT IMAGES
L8	ROOF DECK LEVEL - LANDSCAPE CONCEPT PLAN
L9	ROOF DECK LEVEL - PRECEDENT IMAGES
L10	ROOF TOP LEVEL - LANDSCAPE CONCEPT PLAN



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AMICA ARBUTUS NANTON SENIORS INC.

Issue		
No.	Description	Da
D	Issued for Client Review	22-05-
Е	Issued for Rezoning (Draft)	22-06-0
F	Issued for Rezoning	22-06-

Project Stamp

Drawn By

Rev. A

DESIGN RATIONALE- GROUND LEVEL

The landscape design for this project aims to create a series of welcoming frontages and on-site social spaces that promote social interaction and healthy living for the residents. The programming and materiality of these spaces, in turn, are based closely on Amica's guidelines for Retirement Living: creating areas that provide a pedestrian-rich, full spectrum of experience - beautiful functional areas for social gatherings, intimate nooks, walking paths, and sheltered spaces. Specifically on the ground level: a feature corner at the intersection of Nanton and Arbutus is proposed with signage, seating, and feature paving. The front entry along Arbutus Street is framed with feature trees, planting, and a grand staircase to welcome visitors and residents. The rear entry/port cochere features a "West Coast-themed" garden, with decorative river rock and boulders interlaced with sculptural trees and feature planting. Further, all private and common outdoor spaces weather-protected with safe visiting areas (e.g. outdoor bistro lounge with firepit + seating), and are screened from offsite and neighbouring properties with layered planting, terraced planter walls and ornamental trees, providing colour and texture year-round.

KEY LEGEND

- ARBUTUS STREET FRONTAGE
- FEATURE CORNER: LOW PLANTER WITH SEATING, FEATURE PAVING + SIGNAGE
- INDEPENDENT LIVING PRIVATE UNIT PATIOS
- 8.3% RAMP WITH HANDRAILS + BUFFER PLANTING
- MOVEABLE TABLES + CHAIRS AT PRIVATE DINING
- MAIN ENTRY AREA WITH FEATURE PAVING + STAIRS
- SIDEWALK + BOULEVARD TO COV STANDARDS; PROTECT **EXISTING TREES**
- OUTDOOR BISTRO LOUNGE WITH FIREPIT + BBQ + SEATING
- OUTDOOR DINING SPACE WITH MOVEABLE TABLES + CHAIRS
- NANTON AVENUE FRONTAGE
- SIDEWALK + BOULEVARD TO COV STANDARDS; PROTECT EXISTING TREES
- INDEPENDENT LIVING PRIVATE UNIT PATIOS WITH GATE ACCESS TO NANTON AVE.
- LANE FRONTAGE + PORTE COCHERE
- AMICA BUS PARKING STALL
- WEST-COAST THEMED FEATURE PLANTER BEDS: NATIVE SHRUBS + TREES, RIVER ROCK, BOULDERS, LIGHTING
- ENTRY WITH FEATURE PAVING + SEATING AREA
- PORT COCHERE + DRIVE COURT WITH FEATURE PAVING
- ARCHITECTURAL SCREEN + GAS METER
- LOADING BAY
- SIDEWALK
- PARKADE RAMP
- MIXED FOREST AT SOUTH PROPERTY LINE

PLANTING TYPOLOGY LEGEND

SYMBOL **DESCRIPTION**

SODDED GRASS LAWN TO CoV STANDARDS

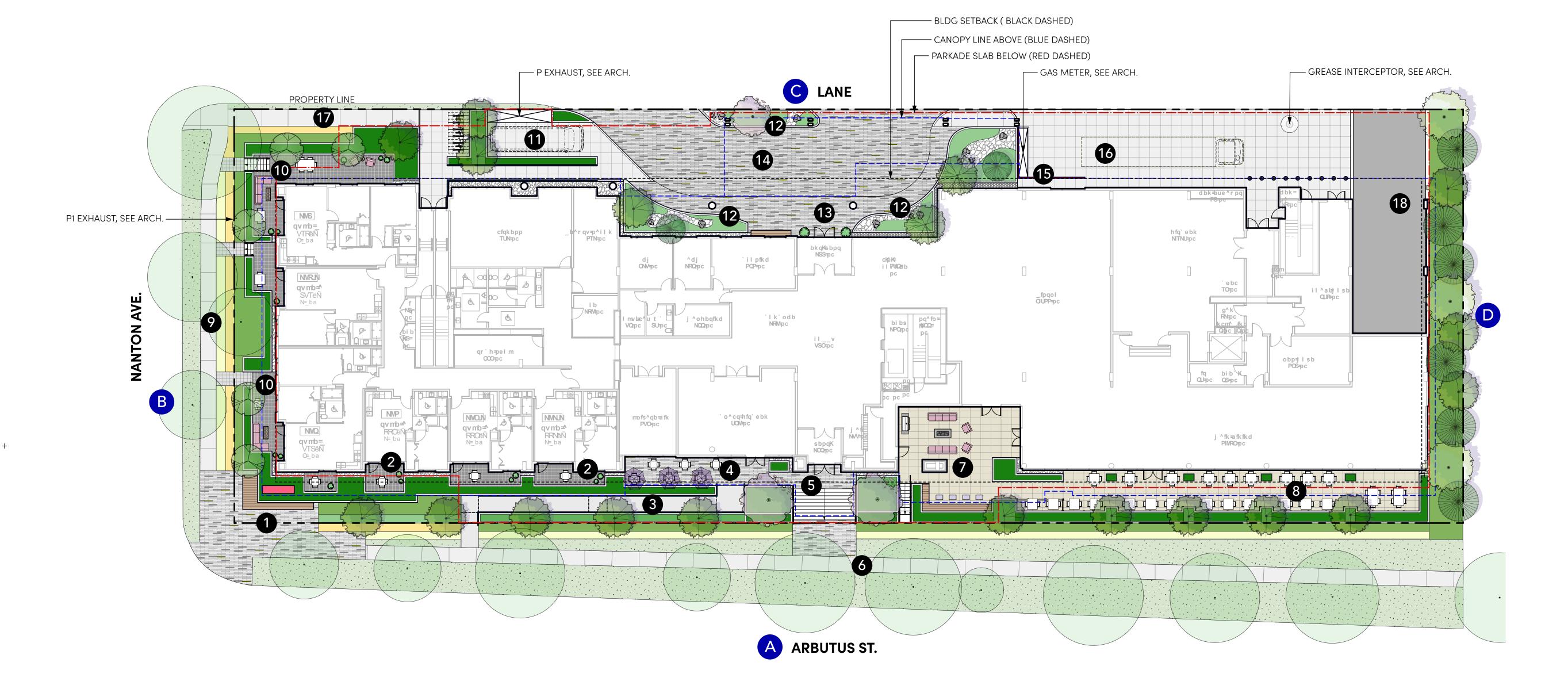
LAYERED PLANTING -SHRUB/PERENNIALS/ORNAMENTAL GRASSES

FOUNDATION PLANTING -EVERGREEN SHRUBS + HEDGES

WEST-COAST THEMATIC PLANTING - SCULPTURAL TREES, GROUNDCOVERS, RIVER

ROCK + BOULDERS

LAYERED GREENROOF PLANTING -SEDUM MATS / ORNAMENTAL GRASSES



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1 GROUND LEVEL- LANDSCAPE CONCEPT PLAN | Scale: 1/16" = 1'-0"





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F	Issued for Rezoning	22-06-15	

4330-4408 Arbutus St. & 2092 Nanton Ave.

Vancouver, BC





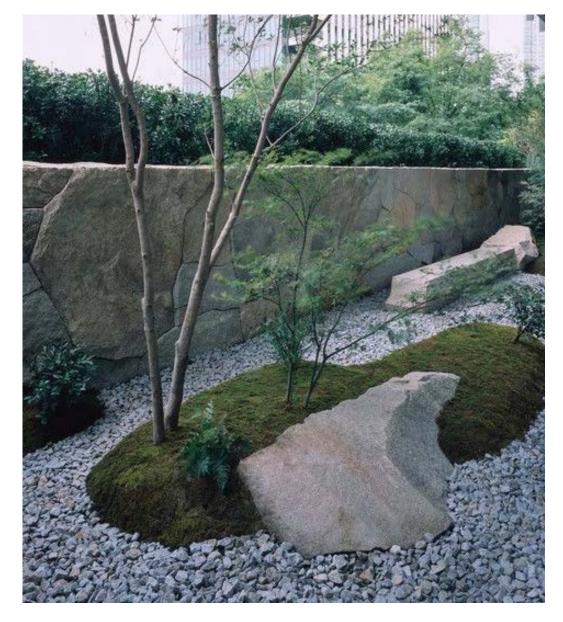














Project Stamp





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F	Issued for Rezoning	22-06-15

Project Info 22060 Amica Arbutus

4330–4408 Arbutus St. & 2092 Nanton Ave. Vancouver, BC

Drawn By	JL
Checked By	ME
Rev. A	revision

DESIGN RATIONALE- LEVEL 2 -6

Levels 2-4 include outdoor common patios with moveable tables and chairs, and moveable pots for accent/sensory plants. Private patios are similarly programmed with moveable furnishings and planter pots to cater to each unit. Augmenting these patios are numerous feature green roofs, planted with sedum mats and ornamental grass plugs, on the various levels in highly-visible areas to help create a relaxing and calm environment for the residents.

KEY LEGEND

A EAST COMMON-AREA PATIO

1 60" HT. GUARDRAILS BY ARCH.

2 MOVEABLE FURNISHING BY OWNER

3 MOVEABLE PLANTERS FOR GARDENING ACTIVITIES

B WEST COMMON-AREA PATIO

60" HT. GUARDRAILS BY ARCH.

5 MOVEABLE FURNISHING BY OWNER

6 MOVEABLE PLANTERS FOR GARDENING ACTIVITIES

GREEN ROOF

7 SEDUM MAT / ORNAMENTAL GRASSES

PLANTING TYPOLOGY LEGEND

SYMBOL DESCRIPTION

SODDED GRASS LAWN TO CoV STANDARDS

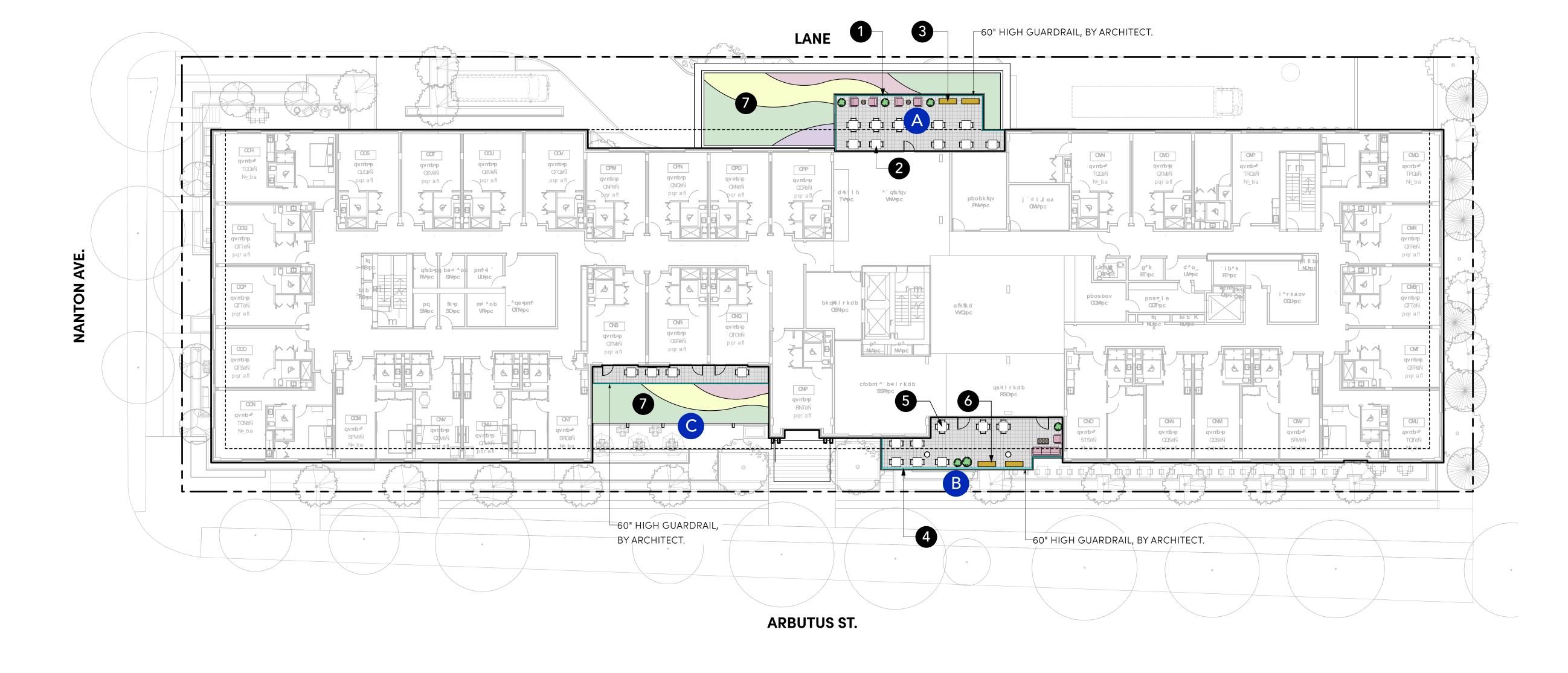
LAYERED PLANTING
-SHRUB/PERENNIALS/ORNAMENTAL GRASSES

FOUNDATION PLANTING
-EVERGREEN SHRUBS + HEDGES

WEST-COAST THEMATIC PLANTING
- SCULPTURAL TREES, GROUNDCOVERS, RIVER

ROCK + BOULDERS

LAYERED GREENROOF PLANTING
-SEDUM MATS / ORNAMENTAL GRASSES



1 LEVEL 2 - LANDSCAPE CONCEPT PLAN | Scale: 1/16" = 1'-0"





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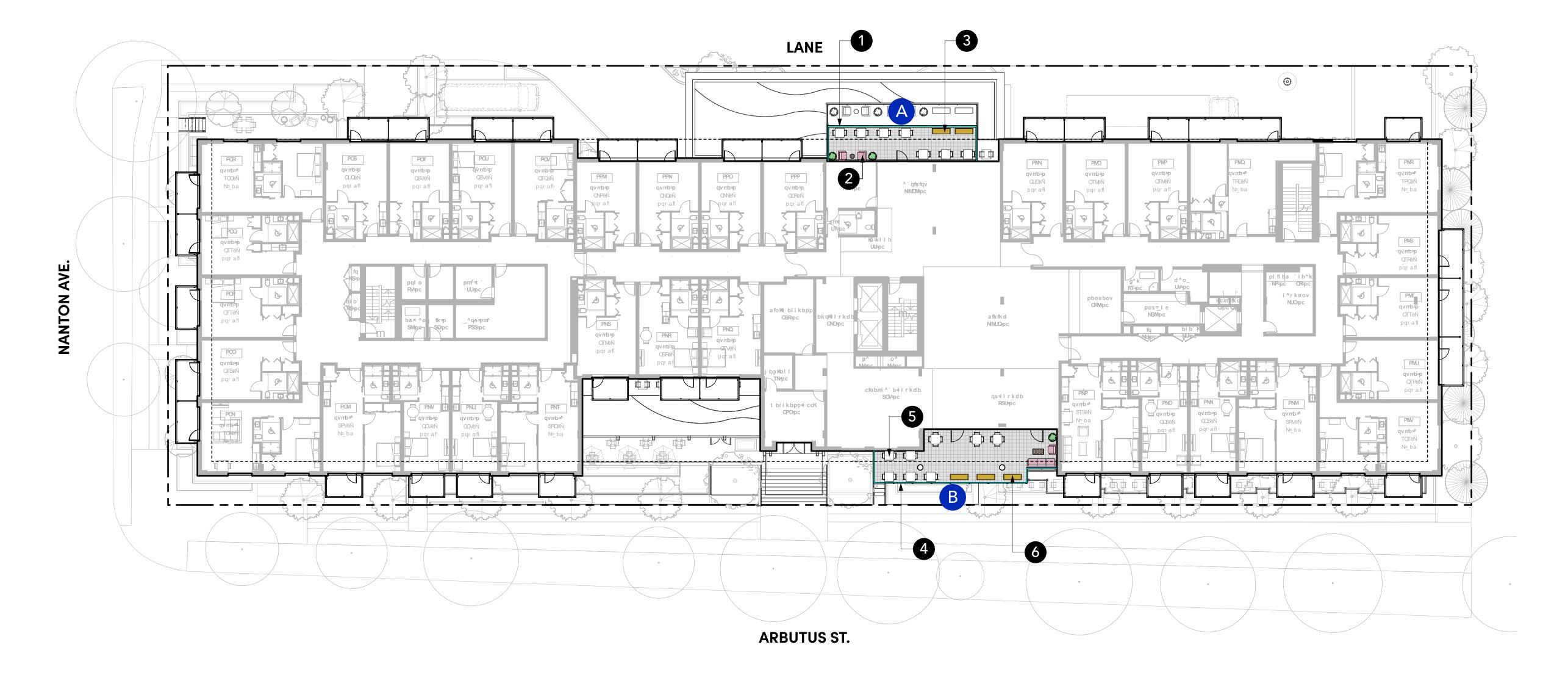
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4330-4408 Arbutus St. & 2092 Nanton Ave.

Vancouver, BC

KEY LEGEND

- A EAST COMMON-AREA PATIO
- 42" HT. GUARDRAILS BY ARCH.
- MOVEABLE FURNISHING BY OWNER
- MOVEABLE PLANTERS FOR GARDENING ACTIVITIES
- B WEST COMMON-AREA PATIO
- 42" HT. GUARDRAILS BY ARCH.
- MOVEABLE FURNISHING BY OWNER
- MOVEABLE PLANTERS FOR GARDENING ACTIVITIES



Vancouver, BC

1 LEVEL 3 - LANDSCAPE CONCEPT PLAN | Scale: 1/16" = 1'-0"





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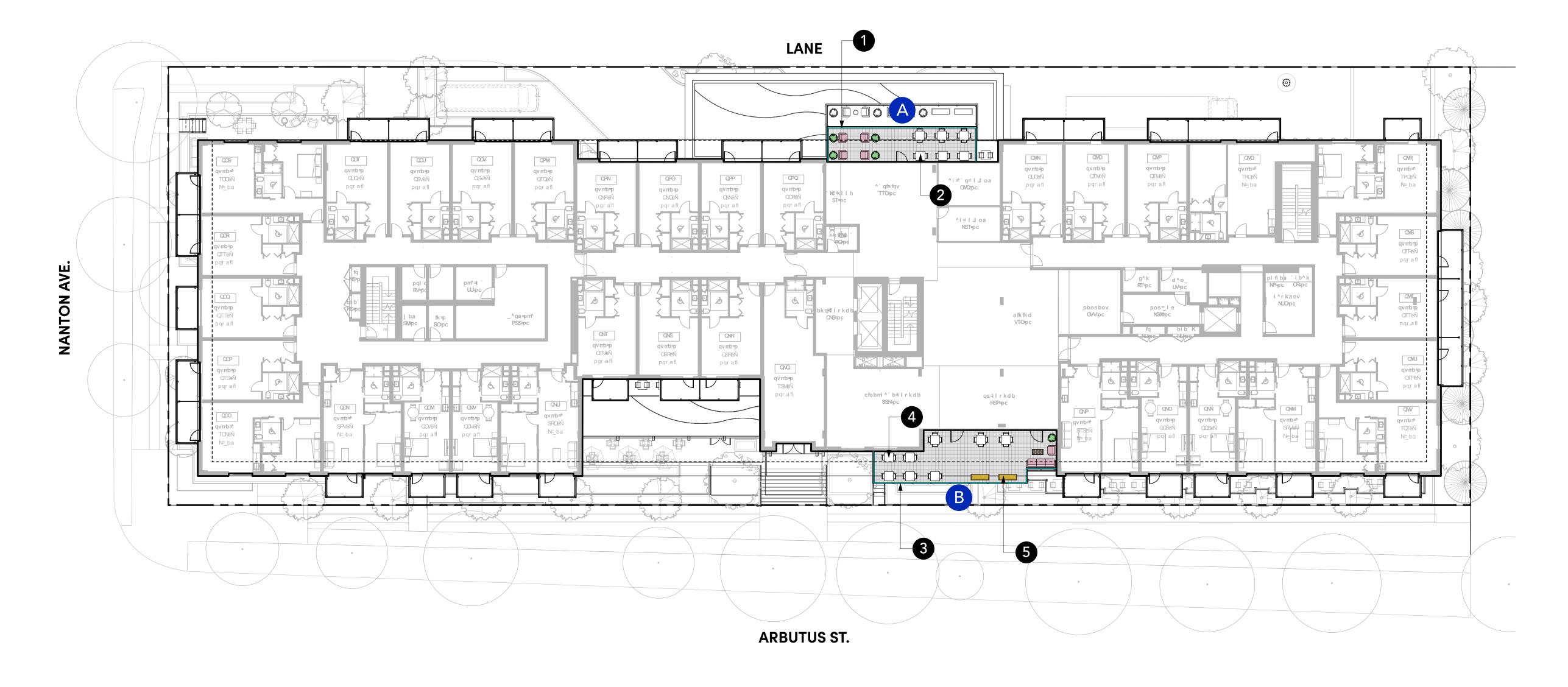
AMICA ARBUTUS NANTON	SENIORS	INC.

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Project Info		
22060 Amica Arbutus	Drawn By Checked By	
4330-4408 Arbutus St. & 2092 Nanton Ave.	Rev. A	rev

KEY LEGEND

- A EAST COMMON-AREA PATIO
- 42" HT. GUARDRAILS BY ARCH.
- MOVEABLE FURNISHING BY OWNER
- B WEST COMMON-AREA PATIO
- 42" HT. GUARDRAILS BY ARCH.
- 4 MOVEABLE FURNISHING BY OWNER
- 5 MOVEABLE PLANTERS FOR GARDENING ACTIVITIES



Vancouver, BC

1 LEVEL 4 - LANDSCAPE CONCEPT PLAN Scale: 1/16" = 1'-0"





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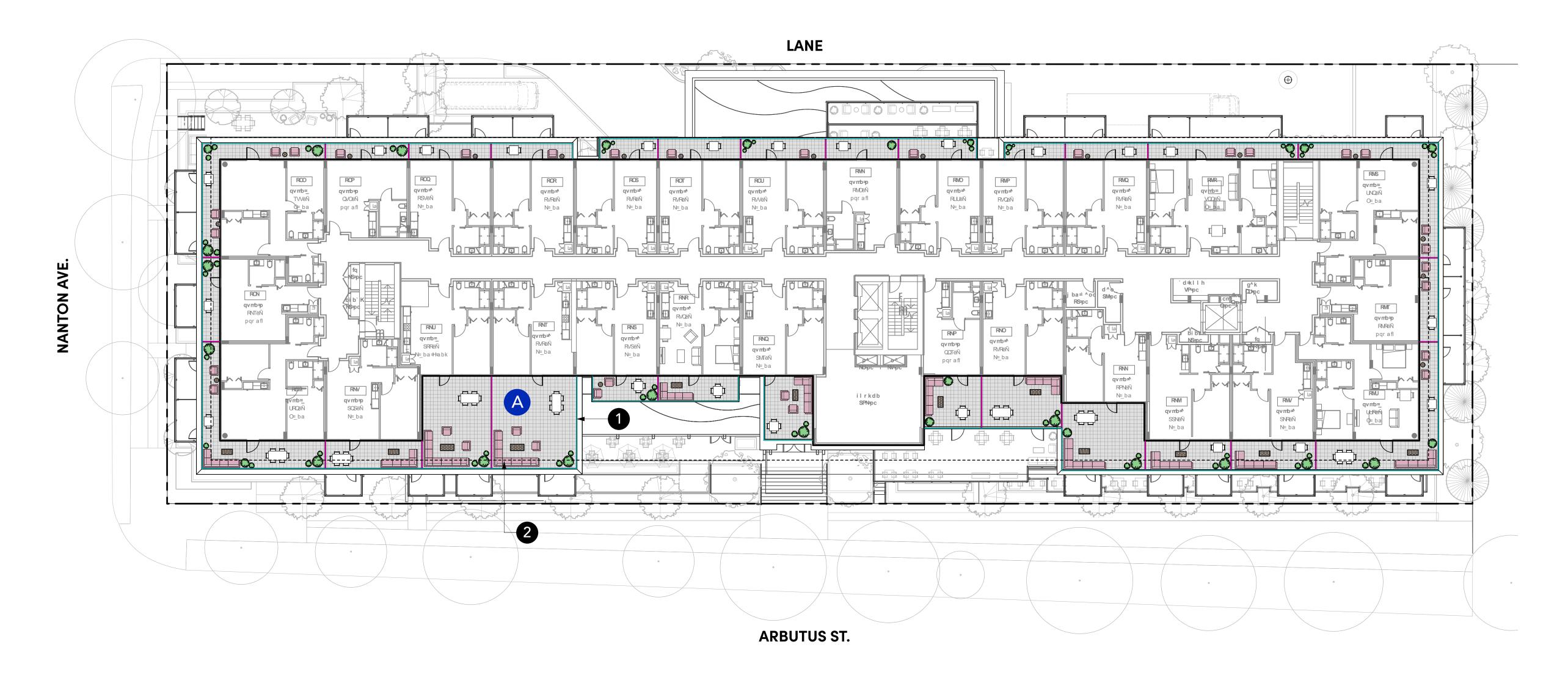
Project Info		
22060	Drawn By	
Amica Arbutus	Checked By	١
	Rev. A	revisi
4330-4408 Arbutus St. & 2092 Nanton Ave.		

KEY LEGEND

A PRIVATE UNIT PATIOS

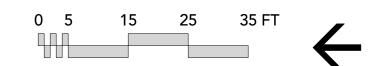
42" GUARDRAIL BY ARCH.

2 MOVEABLE FURNISHING BY RESIDENTS



1 LEVEL 5 - LANDSCAPE CONCEPT PLAN

Scale: 1/16" = 1'-0"





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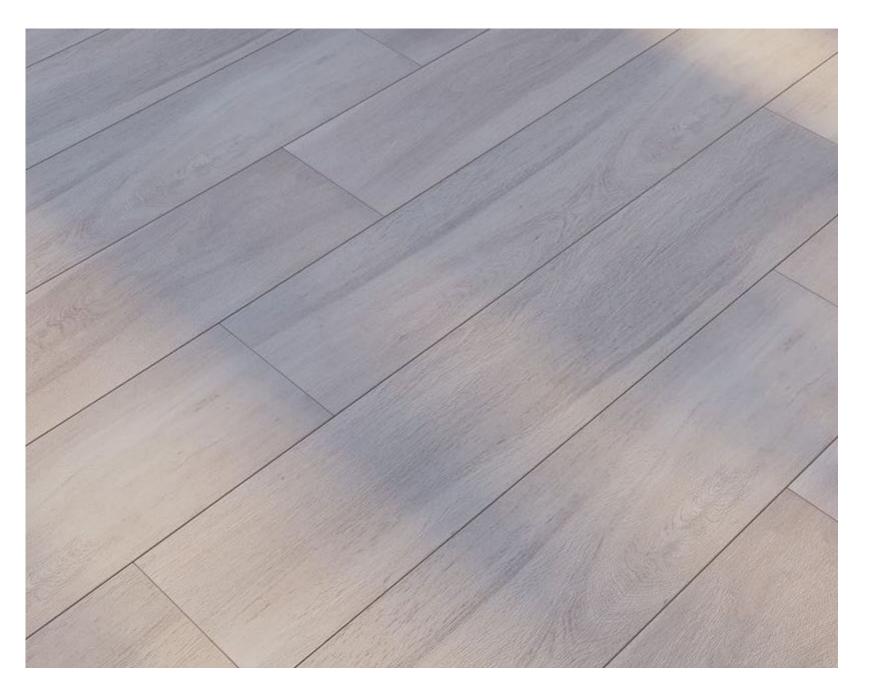
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Project Info 22060	Drawn By	Drawn By Checked By	
Amica Arbutus			
4330-4408 Arbutus St. & 2092 Nanton Ave.	Rev. A	rev	

Vancouver, BC



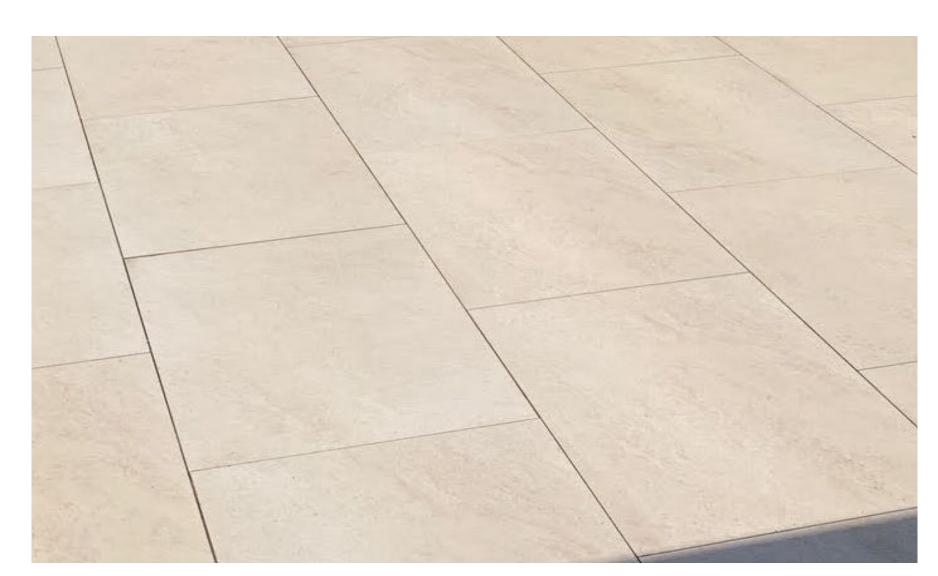


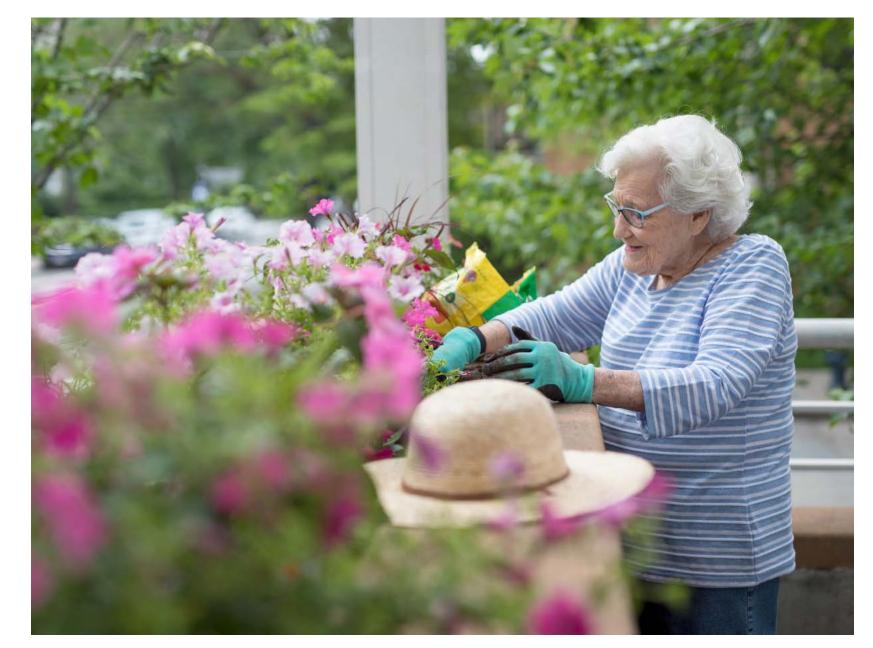
















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Project Info 22060 Amica Arbutus

Project Stamp

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, BC

Drawn By	JL
Checked By	ME
Rev. A	revision

DESIGN RATIONALE - ROOF DECK AMENITY

The roof deck allows for a variety of activities while adhering to Amica's guidelines: seating nodes for intimate gatherings or quiet reading, raised urban agriculture planters with potting tables and harvest tables, a games area with chess tables and shuffleboard, large social gathering areas by the covered sofa lounge, and outdoor dining with moveable tables/chairs and BBQ. Covered areas are proposed to allow for heating and lighting integration to maximize the useability of outdoor space for all-season use. Spaces also allow for open circulation and walking loop for users to explore and exercise. Bird attractions help bring nature to the roof deck for residents to enjoy.

KEY LEGEND

CONTEMPLATIVE GARDEN

MOUNDED SEDUM PLANTING, BOULDERS, + SCULPTURAL PINES

BENCH SEATING

SOCIAL LOUNGE

OVERSIZED SOFA SEATING

OVERHEAD PERGOLA WITH FLOWERING VINES

COVERED OUTDOOR BBQ + DINING

GLASS CANOPY COVER WITH LIGHTING + HEATING

MOVEABLE TABLES + CHAIRS

URBAN AGRICULTURE / GARDEN

RAISED PLANTERS

TOOL SHED

HARVEST / POTTING TABLE

MOUNDED FEATURE PLANTER

GAMES DECK

CHESS TABLES + SEATING

SHUFFLE BOARD

INTIMATE SEATING NOOKS

MOVEABLE TABLES + CHAIRS

SEATING BENCH + TABLES

BIRD HOUSE + BIRD BATH

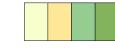
GREEN ROOF

SEDUM MAT + ORNAMENTAL GRASS PLUGS

PLANTING TYPOLOGY LEGEND

DESCRIPTION SYMBOL

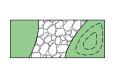
SODDED GRASS LAWN TO CoV STANDARDS



LAYERED PLANTING -SHRUB/PERENNIALS/ORNAMENTAL GRASSES



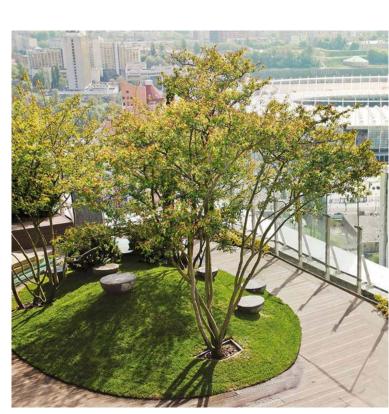
FOUNDATION PLANTING -EVERGREEN SHRUBS + HEDGES



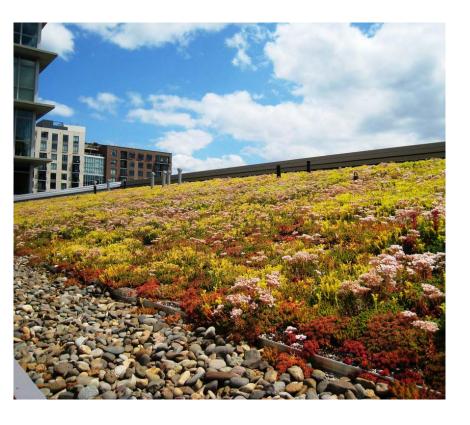
WEST-COAST THEMATIC PLANTING - SCULPTURAL TREES, GROUNDCOVERS, RIVER ROCK + BOULDERS

LAYERED GREENROOF PLANTING -SEDUM MATS / ORNAMENTAL GRASSES

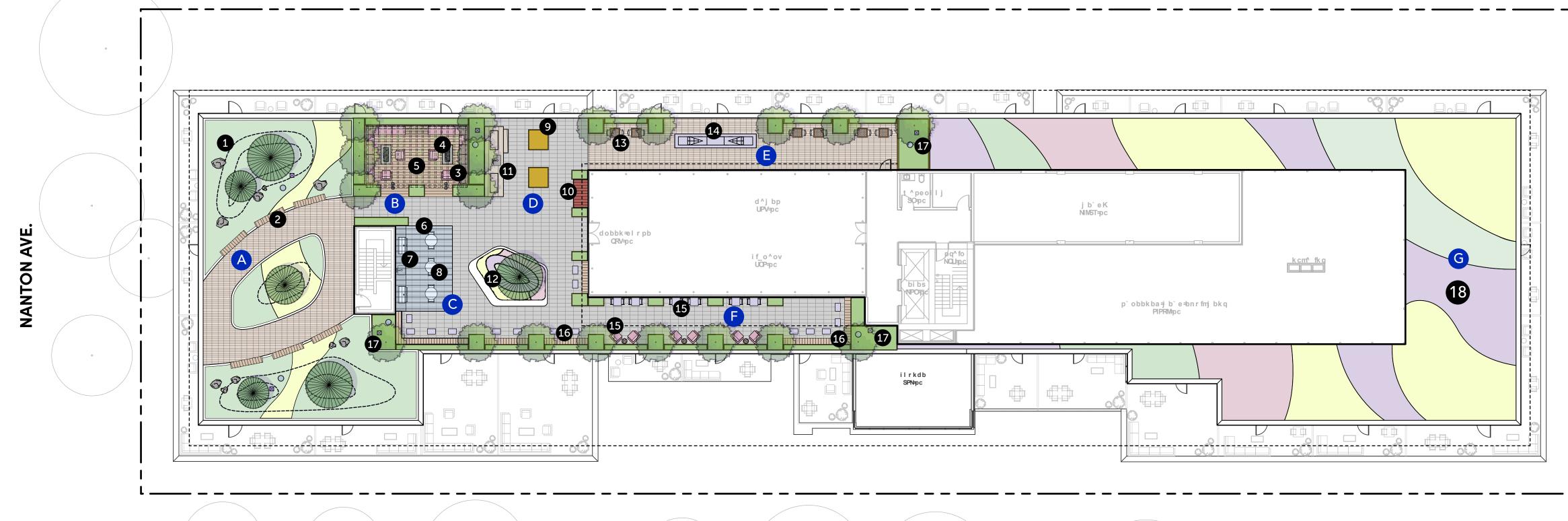




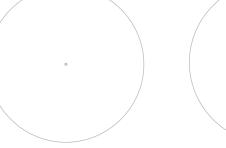


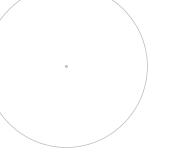


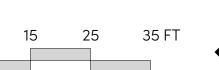
LANE



ARBUTUS ST.











Project Info Amica Arbutus

Vancouver, BC

Drawn By **Checked By** Rev. A



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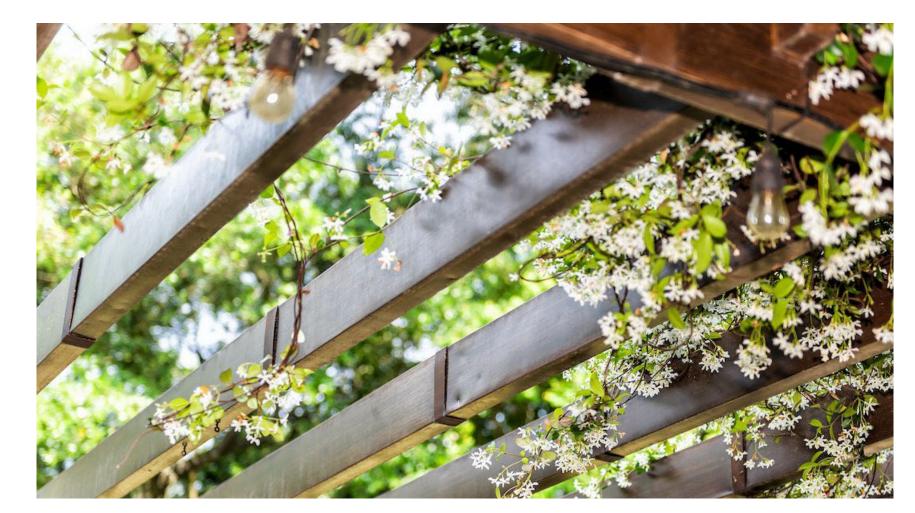
22-05-31 22-06-08 22-06-15

Project Stamp

Date

4330-4408 Arbutus St. & 2092 Nanton Ave.

ROOF DECK LEVEL - LANDSCAPE CONCEPT PLAN





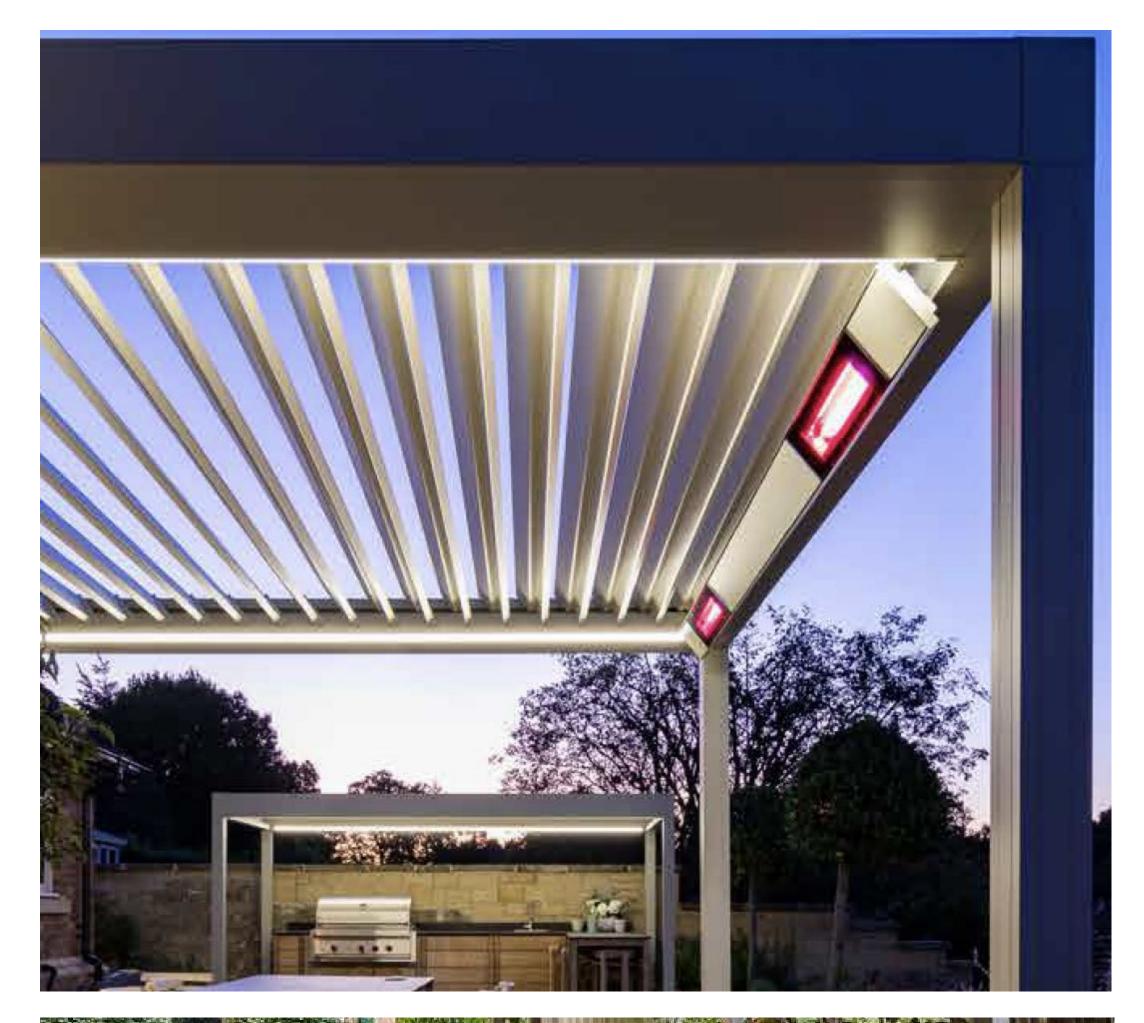
















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Project Info **Amica Arbutus**

4330-4408 Arbutus St. & 2092 Nanton Ave. Vancouver, BC

Drawn By	IL
Checked By	WE
Rev. A	revision



DESIGN RATIONALE- ROOF TOP

Green roofs have been incorporated at the top of the stair overrun and roof amenity space, comprised of gentle arcs of sedum mats and ornamental grass plugs.

KEY LEGEND

A GREEN ROOFS

SEDUM MAT / ORNAMENTAL GRASS PLUGS

PLANTING TYPOLOGY LEGEND

SYMBOL DESCRIPTION

SODDED GRASS LAWN TO CoV STANDARDS

LAYERED PLANTING

-SHRUB/PERENNIALS/ORNAMENTAL GRASSES

FOUNDATION PLANTING -EVERGREEN SHRUBS + HEDGES

WEST-COAST THEMATIC PLANTING - SCULPTURAL TREES, GROUNDCOVERS, RIVER ROCK + BOULDERS

LAYERED GREENROOF PLANTING -SEDUM MATS / ORNAMENTAL GRASSES

PROPERTY LINE

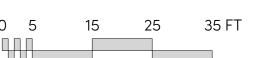
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LANE

ARBUTUS ST.

Project Info

1 ROOF TOP LEVEL- LANDSCAPE CONCEPT PLAN | Scale: 1/16" = 1'-0"







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