

# Arbutus & Nanton

4330 – 4408 Arbutus Street & 2092 Nanton Avenue

Rezoning Submission



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On behalf of Marcon / Amica, we are pleased to submit this rezoning application submission. In brief, the proposal is to rezone the sites located at 4330-4408 Arbutus Street & 2092 Nanton Avenue, for the purpose of developing a 6-storey Community Care Facility for seniors.

As part of Marcon’s “Building for Life” mission, we have been exploring the full spectrum of the housing continuum, including student housing, rental housing and seniors living. Recognizing the operational excellence required to provide a full complement of care to seniors, we felt a partnership with Amica, the leading provider of seniors housing in Canada, would help fulfill that commitment. We are confident that our shared experiences and values will result in a well designed and operated asset that will integrate seamlessly into the fabric of the community.

Fueled by demographic shifts, BC’s population of seniors aged 75+ is projected to more than double within the next 15-20 years. Therefore, it is critically important to facilitate the creation of additional care facilities to avoid acute shortages for our aging population. Arbutus Ridge has the second highest percentage of seniors and one of the largest total populations of seniors in any Vancouver neighbourhood. The significant supply gap in seniors housing that exists today will reach crisis levels over the next decade given the senior demographic growth rate unless more supply is built.

Elements key to this proposal, and in alignment with city and provincial policy statements, include the following design attributes:

- Creation of a Community Care Facility - Class B for seniors which provides a home for those who can no longer care for themselves and who require 24-hour access to professional nursing care.
- Large floor area designed to support resident safety, physical and cognitive health, and all aspects of their emotional well-being, including comprehensive recreational activities, amenities and programs.
- Pick-up and drop-off entry at the rear of the residence for privacy & accessibility and a dignified, accessible entrance on Arbutus.

We are excited to collaborate with Amica Senior Lifestyles on this project. Their innovative approach to seniors housing and the concept they have developed for the site is particularly sensitive to local policy context, the Arbutus streetscape, and the surrounding neighbourhood impacts. Design information prepared by Shift Architecture can be found in the enclosed document.

Nic Paoletta

Vice President  
Marcon Developments Ltd.



Buildings shape neighborhoods and change lives in infinite ways. Starting out as a construction company has made us a better developer. For more than 37 years, we've built a wide variety of properties across Metro Vancouver and know what it takes to develop beautiful homes for everyday life.

We pay attention to every detail, no matter how small. We walk through every floor plan of every building to ensure our homes don't just look good on paper, they're spaces that enhance lives. After construction is complete, each building must stand the test of time, and that's the commitment we make to the neighborhoods we serve.



Amica is Canada's leading provider in retirement and care residences for seniors who want more out of life. Since 1996, we've been empowering seniors to live with optimism and peace of mind by combining excellent service and amenities with the best senior care. You'll find more than 30 Amica senior living locations in British Columbia, Alberta and Ontario, and we continue to expand to serve the growing needs of an aging population. We aspire to be the best in providing safe and secure full-service care to seniors across Canada.



At Shift, we are passionate about enriching the urban environment. Collectively, we strive for architectural and urban design solutions that inspire pride and ownership in individual building occupants and the wider community. Through a collaborative process and a carefully considered approach, our solutions are practical, precedent-setting, and aesthetically exceptional.





AMICA

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SENIOR LIFESTYLES

# Rezoning Intent

The intent of this application is to consolidate and rezone the subject land assembly from RS-1 to CD-1 to allow for the development of a 6-storey seniors care facility. Careful consideration has been taken into the design and building form to adhere to local policy context as well as senior housing guidelines.

This project offers local residents and family members the ability to continue to live in the community as they age. The proposal includes a range of amenities and functional support spaces to ensure residents and care staff have the appropriate spaces for social engagement, healthy living, enriching leisure activities and appropriate delivery of care.

This full-service facility provides on-site management, housekeeping services, main and private dining, concierge services, and 24-hour emergency support care.



West Elevation

# Rezoning Rationale

The proposed development is located within the Arbutus Ridge Neighborhood and is bordered by Arbutus Street to the west, Nanton Avenue to the north, residential houses to the south and a laneway with single family residential beyond to the east.

The proposed rezoning is based on several city policies including the ARKS Community Vision and Community Care Facility - Class B and Group Residence Guidelines.

**Arbutus Ridge/Kerrisdale/Shanessy Community Vision Directions “ARKS Community Vision”**

ARKS Community Vision was approved by Council in 2005. The Vision supports the rezoning and development of low-rise seniors housing and care facilities with various levels of care in close proximity to parks, shopping, transit, and community services to allow seniors to stay in the community as their housing needs change.

*15.11 Developments designed for seniors should be considered near parks, transit and services to allow all seniors to stay in the community as their housing needs change.*

The proposed site is steps away from the new Arbutus Shopping Centre, Quilchena Park, and Hellenic Garden. The Arbutus Shopping Centre provides several amenities including retail, restaurants, services and a grocery store.

The site offers good access to transit and is well situated in Vancouver's network of bicycle routes. Arbutus Street is part of the Frequent Transit Network, serviced by bus every 15 minutes during key periods of the day. Nanton Avenue functions as a local street bikeway connecting the site to the Arbutus Greenway, which is part of the All-Ages-And-Abilities bike network.

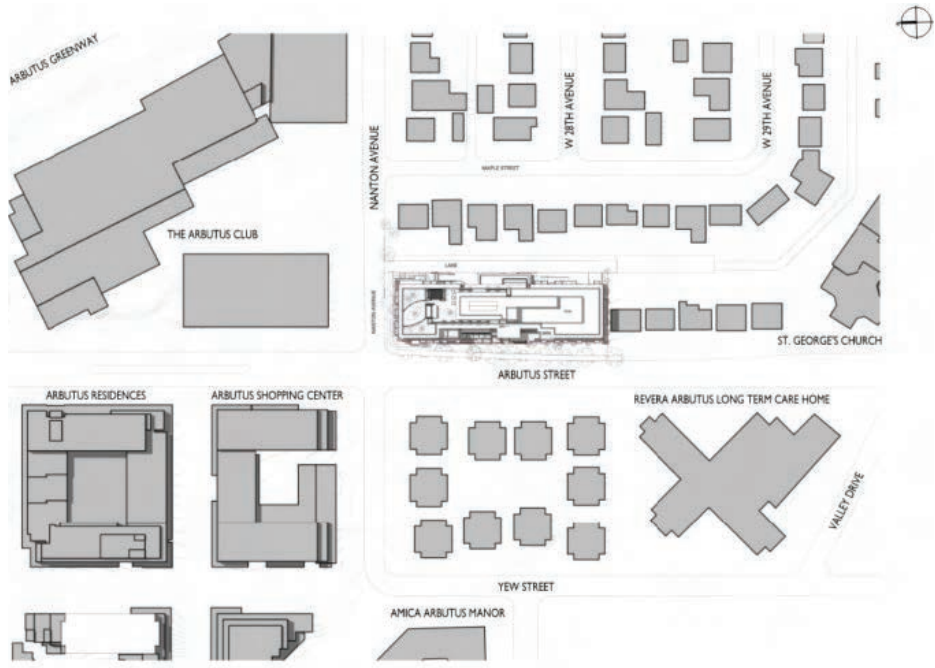
This proposal offers local residents and family members the ability to continue to live in the community as they age. The project includes a total of 162 licensed long-term care units with enhanced care for those with memory care requirements, chronic illnesses and mobility challenges.



Surrounding Context



Transit Routes & Stops



Context Plan

**Community Care Facility -  
Class B and Group  
Residence Guidelines**

The proposed development will follow the Community Care Facility – Class B and Group Residence Guidelines. These guidelines specify locational criteria and general design considerations for community care facilities to ensure the housing is compatible in density scale, architectural character and operation with the surrounding neighborhood.

Careful consideration has been taken into the design and building form to adhere to local policy, guidelines and neighborhood context. The proposed built form is similar in height and density to recently completed surrounding properties. In addition, amenity and loading facilities have been sited to mitigate visual and noise impacts and intrusion on adjacent uses.

This care facility will provide a home for those who can no longer care for themselves and who require 24-hour access to professional nursing care. The proposed development, with its full-service facilities and range of unit types will allow residents to age in place gracefully. This unique development will play a major role in strengthening the surrounding community with its high standard of design and sustainability, while adding to the diversity of the neighborhood.



Proposed Development

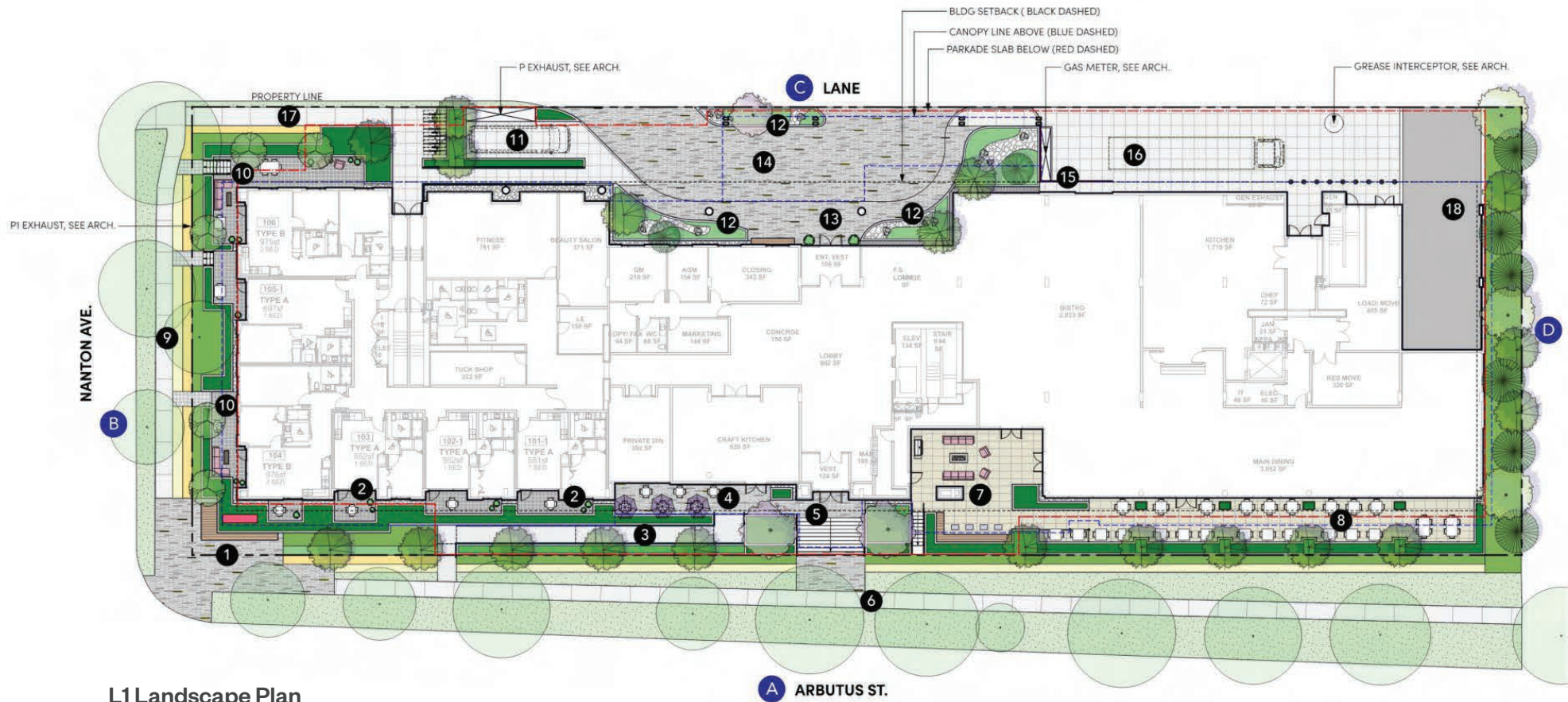
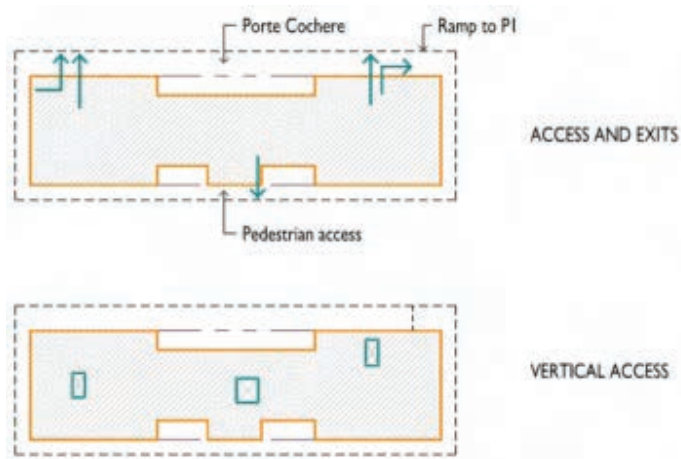


Arbutus Shopping Centre

# Design Rationale: Loading, Access, and Parking

The assembly slopes 3.61 meters (11.84 feet) diagonally from the northeast to the southwest corner. At the centre of the site, the slope falls by approximately 2 meters from the laneway to Arbutus Street. The resulting slope challenges limit the possible primary access points to the development.

On the west side of the building, access to the main entry is provided by way of a sloped ramp and set of feature stairs. On the east side of the building, vehicle and resident drop off is made via the porte cochere, while loading and parking ramp access is located towards the southwest of the site. Both weather protected access points lead to a generous lobby from which the resident amenities and the operational offices flow.

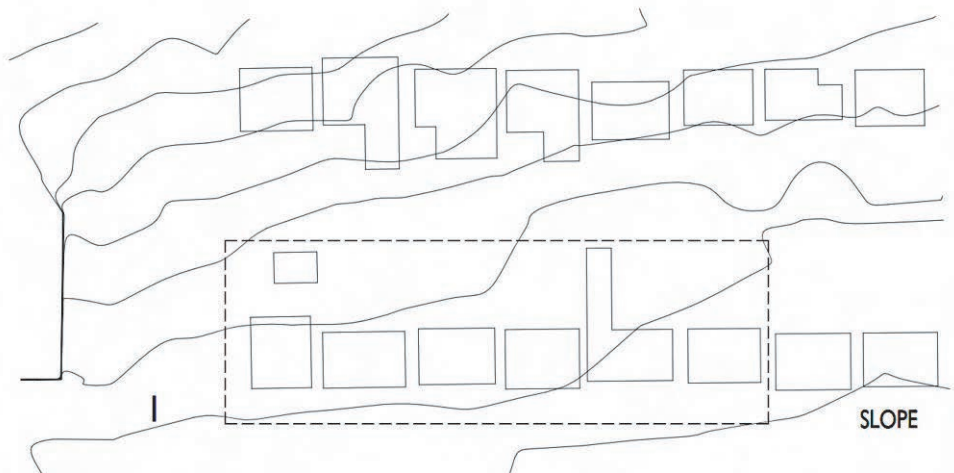


L1 Landscape Plan

Traffic impacts, parking demands, and servicing requirements are not expected to adversely affect the surrounding neighbourhood.

Goods loading (Class C) is positioned at the rear of the building with access via the lane. Passenger loading is provided at the porte cochere (Class B) and on PI (Class A), adjacent to the elevator lobby. A total of 44 parking stalls (4 accessible) have been provided for both resident and staff use within the underground.

In order to address resident mobility challenges, a large, designated scooter parking area has been provided to house scooters while not in use. The building will be served by two passenger elevators and one dedicated service type elevator for staff utilization.



# Design Rationale: Built Form

The form of development has been modified to ensure compatibility with the immediate context, improve livability, reduce the perception of the building length, and improve the expression of the building facade.

### Compatibility to the Immediate Context

The 6-storey building has been designed to fit contextually with other developments along the arterial corridor and respect neighbouring adjacencies. The resulting shadow impacts on existing homes and future redevelopment is limited.

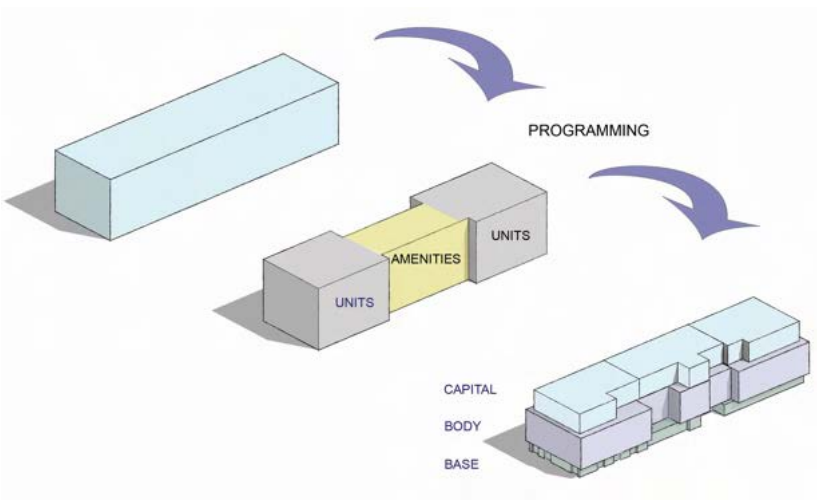
### Livability

The built form acknowledges the large floor plate required to support resident safety protocols, centralized health care functions and amenity programming for the physical, cognitive and emotional well-being of residents with chronic illnesses, memory challenges or mobility constraints. The typical floor plate is designed to accommodate an optimal ratio of licensed care units to staff members so that residents can obtain the care they need.

### Architectural and Vertical Expression

Vertically, the project is divided into three main sections (base, body and capital). These divisions correspond to the programmatic shifts within the building and serve to provide a softening of the height of the development.

Longitudinally, the east and west elevations are broken into smaller elements to minimize the perception of the building length. The development is bookended by projecting forms which serve to break up the massing and read as though the development is composed of smaller buildings. Similarly, the centre mass is recessed to accentuate the main pedestrian entry and further minimize the perception of the building length.



Built Form Expression



L2 Floorplate



West Elevation

# Design Rationale: Built Form

## Form of Development

The site plan includes a prominent landscape feature at the corner of Nanton and Arbutus, complete with seating bench, low planters and specialty pavers.

Given the urban importance of Arbutus Street, the west elevation includes an extended mass at the centre of the building that is punctuated by recesses in the facade to accentuate and emphasize the main pedestrian entry.

Similarly, the porte cochere identifies the laneway entrance to the building. It is also centered on the axis to permit resident and visitor drop off.

## Building Facade Expression

To emphasize the three sections of the structure, the ground floor (base) and upper two floors (capital) have been setback from the main body of the building. To accentuate the built form, the balconies have been purposely distributed in a manner which yields a varied expression for each facade and situated to ensure that the upper level balconies do not project beyond the main body.



Pedestrian Entry



West Elevation



East Elevation



Porte Cochere

# Design Rationale: Programming Overview

The proposed development is a 6-storey (162 unit) seniors living facility that provides a variety of housing options for residents. The ground floor houses the main resident amenities, operational offices and back of house operations including commercial kitchen which services the dining facilities.

Studio and one-bedroom units are provided on all levels while one bedroom plus den and two-bedroom residences are located on levels five and six. Balconies or roof decks are provided for the majority of homes.

Floor specific amenities serve to bridge together distinct residential nodes and create a shared communal space for residents. The amenities are open in plan, infused with natural light and provide views to both the east and west. A central lounge overlooking Arbutus Street is provided on each level, adjacent to the elevator core, to promote and develop community.

The building physical plant and building services including commercial laundry, maintenance workshop, staff rooms, end of trip facilities and resident storage lockers are located on P1. Additional operational rooms and ancillary support rooms are provided on each level.

### LEVEL TYPES

ROOF	ROOFTOP AMENITIES
LEVELS 5-6	CARE UNITS
LEVELS 3-4	CARE UNITS
LEVEL 2	CARE UNITS
LEVEL 1	MAIN AMENITIES, CARE UNITS
LEVEL P1	PARKING, BOH AND AMENITIES



# Design Rationale: Programming Overview



Resident amenities are provided below grade, on the lobby level, on residential floors and the rooftop.

Within the underground, residents will be able to watch sports and movies in the theater room or elevate pastimes in the workshop.

Ground level amenities include a formal dining room, an informal bistro, fireside lounge, private dining room, craft kitchen, fitness center, beauty salon, tuck shop, as well as outdoor dining areas. These integrated indoor and outdoor amenities serve to activate the urban edge of the development and provide a stronger connection to the Arbutus Ridge neighbourhood.

From levels two to four, generous patios extend the amenity spaces both to the east and west providing access to the outdoors for the residents. Amenities on these floors include activity spaces, dining rooms, and lounges.

At the roof level, a large resident amenity room is provided along with a generous outdoor landscape amenity. Outdoor programming includes walking loop, urban agricultural beds, dining and seating areas as well as contemplative gardens. These rooftop amenities, sited for privacy, provide views to the east, west and north.



Rooftop Amenity



Outdoor Dining & Seating Area at Grade



P1 Floorplan

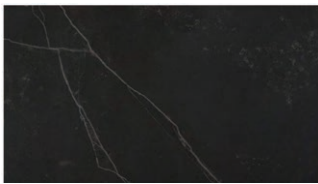
# Design Rationale: Materials

Materially, the masses are accentuated by altering the cladding of both the upper and lower levels further setting these masses apart from the remainder of the building.

The horizontal breaks in the facades have been amplified through change of material. The “base” is rendered in large format composite stone with wood panel accents and glass. The “body” features a white cementitious cladding while the “capital” is rendered in vision glass and metal grey glass spandrel. The material palate works in concert with the building massing to convey a sense of quality and timelessness.

Over the life of the building, this development will house many generations of seniors, so aesthetically it must also appeal to future generations of seniors, who are young or middle-aged today. To respond to this challenge, a simple contemporary language with clean lines and clear volumes has been chosen which can be deemed as “modern classic”.

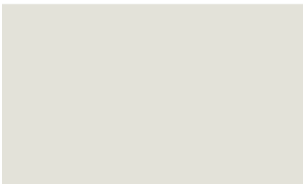
The combination of symmetry and the hierarchy of orders of classical architecture, with the post-modern base, body and capital division of facades, and simple elements of design, produces a building that can be appreciated by many generations to come.



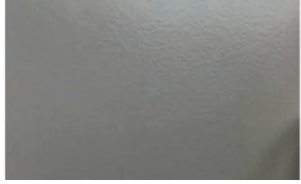
COMPOSITE STONE CLADDING  
KEYLA NATURAL  
Base of the Building at Level 1



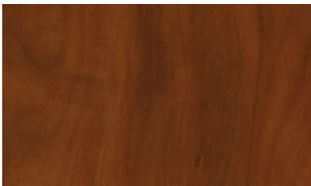
POWDER COATING STANDARD  
BROWN  
Level 1 Mullions  
Level 1 Handrails



BENJAMIN MOORE WHITE SILVER  
SATIN OC-26  
All Round Columns  
Roof Slab Extension



POWDER COATING METAL  
SHAVING GREY  
Level 2 and Up Mullions,  
Gaurdrails & Handrails  
All Spandrel Panels  
All balconies traffic coating and  
matching underside of slab at  
balcony



COMPOSITE WOOD VENEER  
CLADDING - COPPER  
Level 1 Residential Units  
Entrances & Soffit



COMPOSITE STONE CLADDING -  
WHITE PEARL 24" x 21 1/2"  
Level 2, 3 & 4 Masonry

The development will meet the CoV’s Green Buildings Policy for Rezoning – May 2022. The policy consists of the following requirements:

1. Integrated Rainwater Management and Green Infrastructure:

A Rainwater Management Plan, developed in accordance with the Citywide Integrated Rainwater Management Plan has been completed. The redevelopment of the site will cause a decrease in site imperviousness from 0.55 to an estimate 0.46. Tier 1, 2 and 3 strategies are proposed for the site to limit its impact on the City’s infrastructure and to preserve water quality

2. Reporting of Green and Resilient Building Measures:

- Energy and Emissions Performance Limits: The building is designed to meet the Vancouver Building Bylaw (VBBL) energy and emissions performance limits. A whole-build-ing energy performance simulation was completed, and the proposed design produces 53% less green-house gas intensity than that of the baseline.
- Embodied Carbon Limits: The building is on track to meet the VBBL life-cycle equivalent carbon dioxide emissions expected to be in force at the time of the building’s first building permit application.
- Resilient Buildings Planning Worksheet: A resiliency workshop was conducted with the project team on May 5, 2022 and identified strategies to meet required targets.

Performance	Proposed	Baseline
Annual Energy Consumption (kWh)	2,402,378	2,647,192
Annual Greenhouse Gas Emissions (kgCO <sub>2</sub> e/year)	87,971	189,174
Greenhouse Gas Intensity (kgCO <sub>2</sub> e/m <sup>2</sup> .year)	5.65	12.15
Comparison (%)	-53.50%	
Result	Compliant	

3. Enhanced Commissioning:

All building energy systems will be commissioned in accordance with ASHRAE Guideline 0-2005 and 1.1-2007. A commissioning authority will be onboarded during design development and will work with the Project Team to develop the Owner’s Project Requirements and Basis of Design.

4. Energy System Sub-Metering:

The building will sub-meter each energy source utilized in the development.

The Project is planning to include the following sustainable features:

- High-performance glazing and building envelope
- High-efficiency in-suite ERVs
- Low carbon air-source heat pump hydronic system
- High-efficiency DHW boilers and
- Low-flow water fixtures

Anticipated Resident Profile

With a range of suite sizes, amenities, care, and services, the resident profile of this project is diverse. The anticipated age of a resident is 80+, primarily living alone or some with their spouse. Most residents do not drive nor own a car.

The project provides a continuum of care which allows residents to age-in-place. Residents will move into the property after downsizing from a single-family home; some may have previously downsized into a nearby condominium. Most residents will have previously lived within a few kilometers of the property and desire to stay within their existing community.

Unit Mix and Tenure

Approximately 162 units are proposed in a variety of unit types and levels of care.

Given the age of residents and the continuum of care provided, there is no average turn-over rate. Some residents have shorter stays while others receive care for over ten years.

Meal Service

Meals are provided in a variety of ways in several dining areas. Open dining is available from 7am-7pm on the main floor and dedicated dining areas. Bistro service is available 24/7 providing snacks and hydration stations. In-suite dining is also available for breakfast, lunch and dinner.

Other Services Provided On Site

Areas are provided for socializing, fitness, activities, cooking, private dining, meetings, and theatre. The beauty salon and multi-use spaces are tailored based on the residents’ needs. Daily on-site and off-site activities are provided.

Residents will be provided with professional care and supervision tailored to their individual needs which includes 24-hour professional nursing, personal care, medication management, laundry and recreational activity programs.

How the Common Spaces will be Used and Programmed

Spaces are designed to meet the needs of residents to host events, special meetings, fitness, and intergenerational programming. An activity calendar is published monthly with 5-7 daily programs for design to meet the mental, physical, spiritual, and vocational needs of our residents.

Hours of Operation

The facility is open 24/7, 365 days a year. The concierge team is available for personalized services between 7am-11pm or 8am-8pm, depending on the residence volume and needs.

Number of Staff and Level of Supervision

Staffing is based on the needs of residents in care; typically, an average ratio of 4-6 residents per team member is provided. With the proposed 174 residents at 100% occupancy, approximately 73 staff members will be on site at peak times.

Additionally, 8-10 leaders provide daily coverage with a Manager on Duty program for additional support. All other departments are staffed based on occupancy.

Level of Supervision for an Average Residence

Licensed Long Term Care - Memory Care: average 10-12 Resident Care Partners (RCP) during the day + 2 overnight

Licensed Long Term Care: average 8-10 Resident Care Partners during the day + 1 overnight. Plus 24/hr nursing

Number of Staff

Total Headcount: 126  
Peak Daily: 73

How 24-hour On Site Emergency will be Achieved

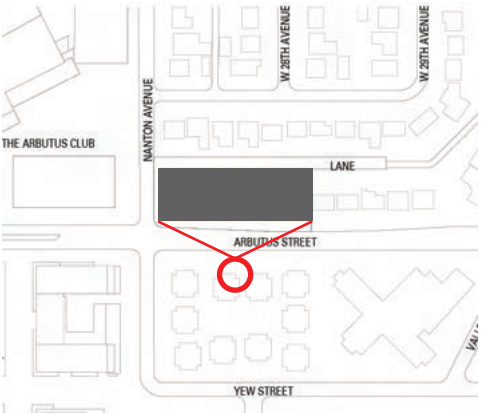
Team members are available for emergency response with a Licensed Practical Nurse (LPN) and Resident Care Partner per care department, at a minimum. For emergencies requiring 9-1-1 ambulatory care, such as a head injury, heart attack, or respiratory challenge, team members would be able to provide CPR, oxygen, airflow assessment, breathing and color assessment while waiting for emergency responders to arrive.

All residents are provided with a GPS call pendant which triangulates their location in an emergency. Emergency call buttons are also provided in bathrooms.

	Licensed Long Term Care	Licensed Long Term Care - Memory Care
Description	Residents require a variety of services to maintain their health or personal care, thereby allowing them to age in place.	Residents have Alzheimer’s and/or other forms of dementia and require a dedicated environment and support to meet their own daily needs.
Units	129 Units	33 units
Allocation	80%	20%
Studio	61	23
1 Bedroom	54	10
1 Bedroom + Den	2	0
2 Bedroom	12	0

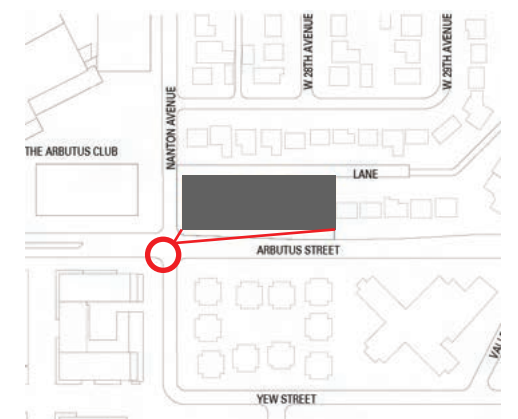


West Elevation



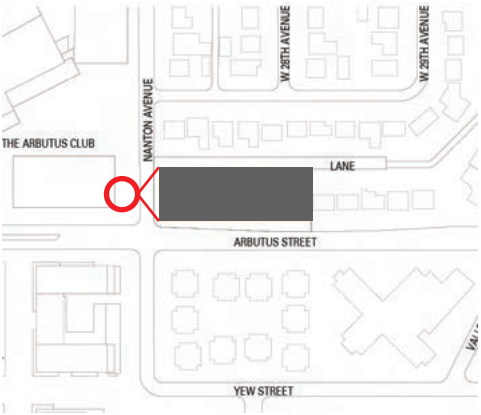


North West Elevation



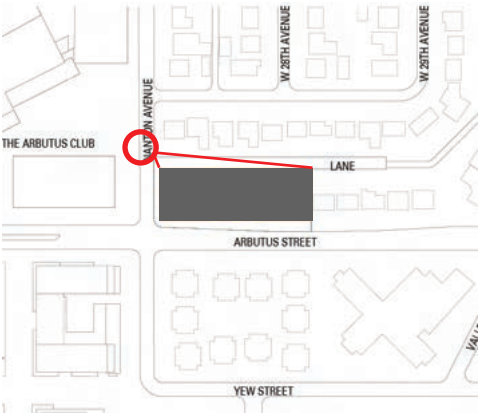


North Elevation



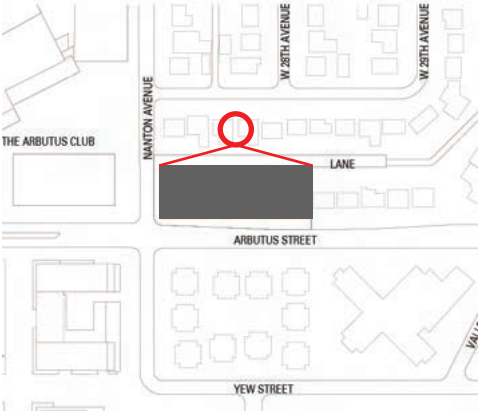


North East Elevation



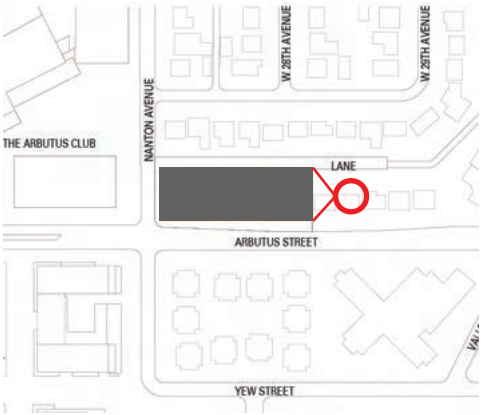


East Elevation



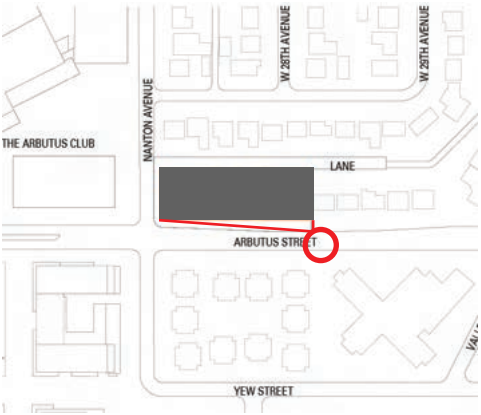


South Elevation



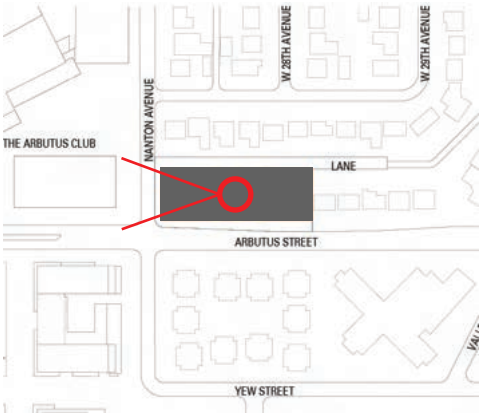


South West Elevation





Rooftop Amenity



# Architectural Drawings

A0.00 - A9.00

FSR 1.01 - FSR 1.04



A panoramic view of a street scene in Seattle. The image shows a wide road with a yellow crosswalk, a green median with trees, and a building in the background. The scene is captured from a low angle, looking down the street. The road is paved with asphalt and has white lane markings. The median is planted with various trees and shrubs. In the background, there is a large, light-colored building with a dome-like roof. The sky is overcast, and the overall lighting is soft.



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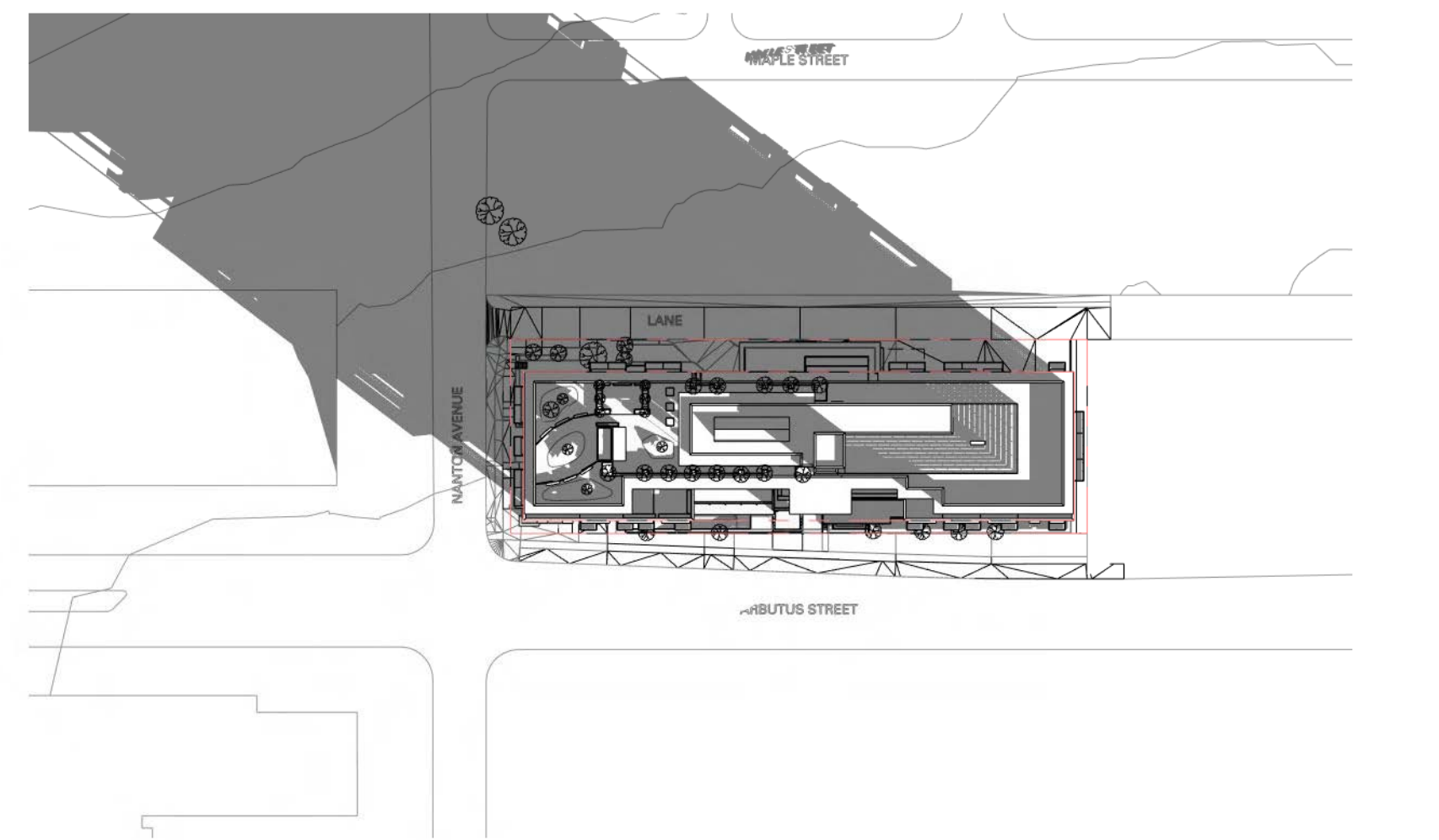
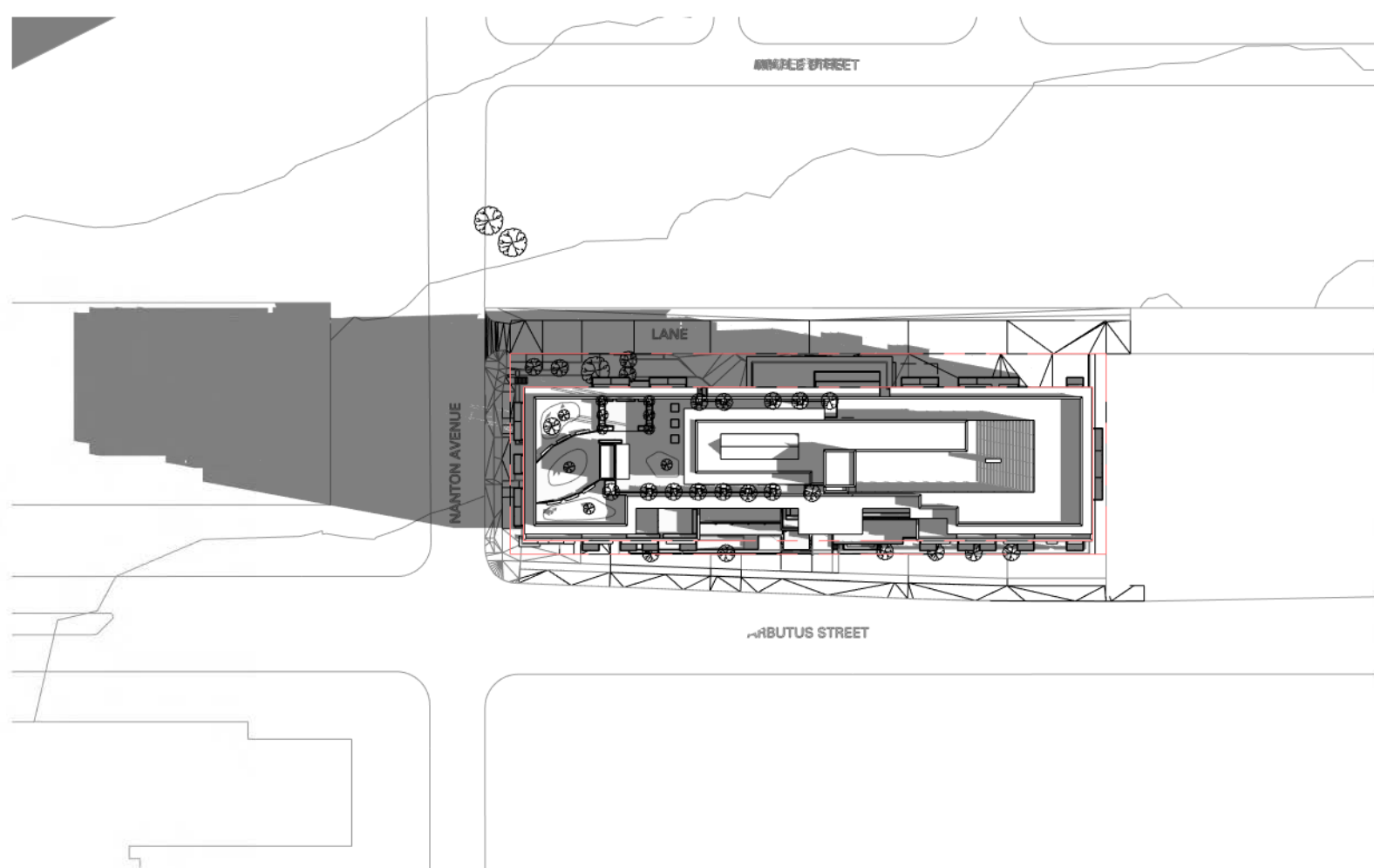
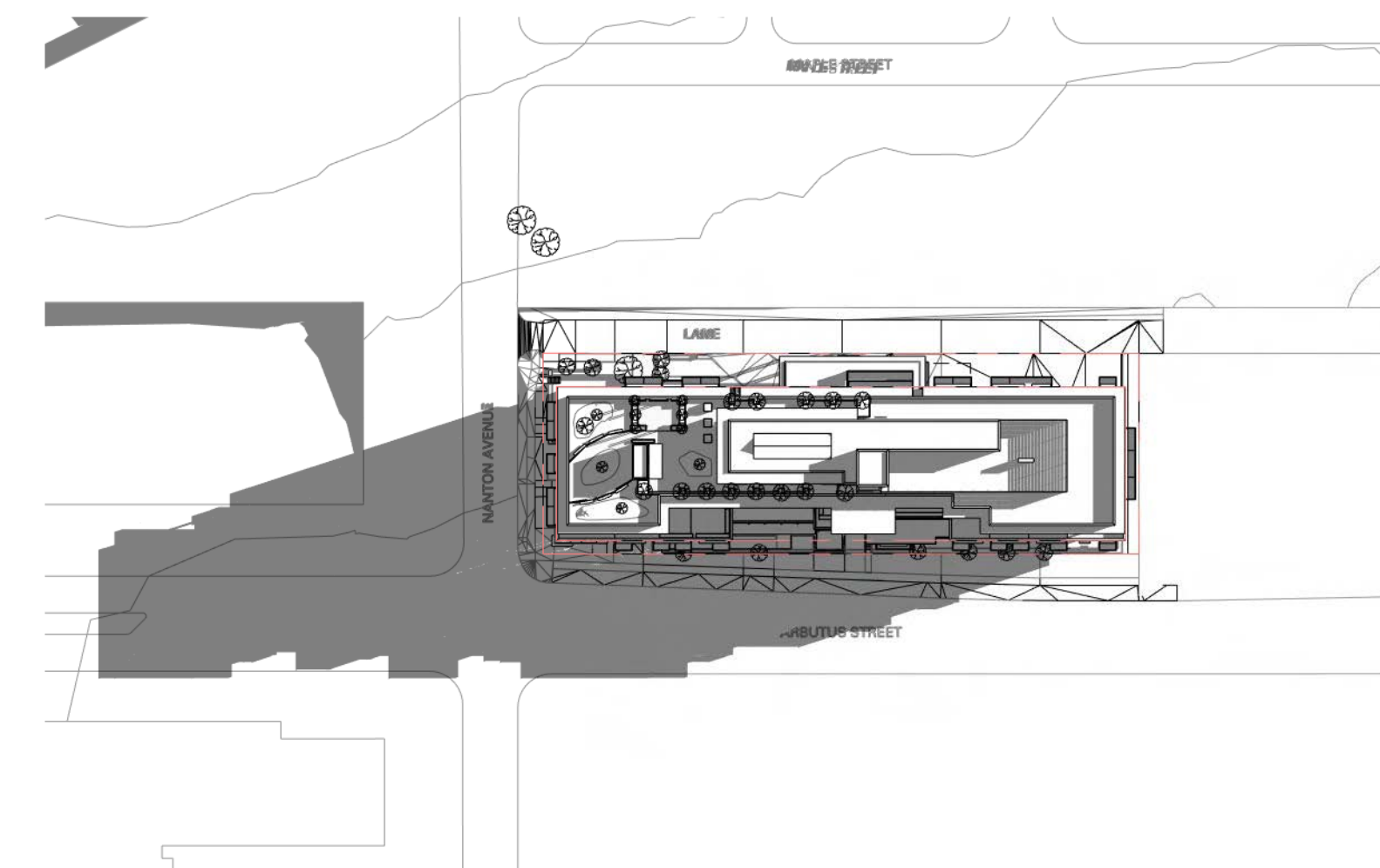
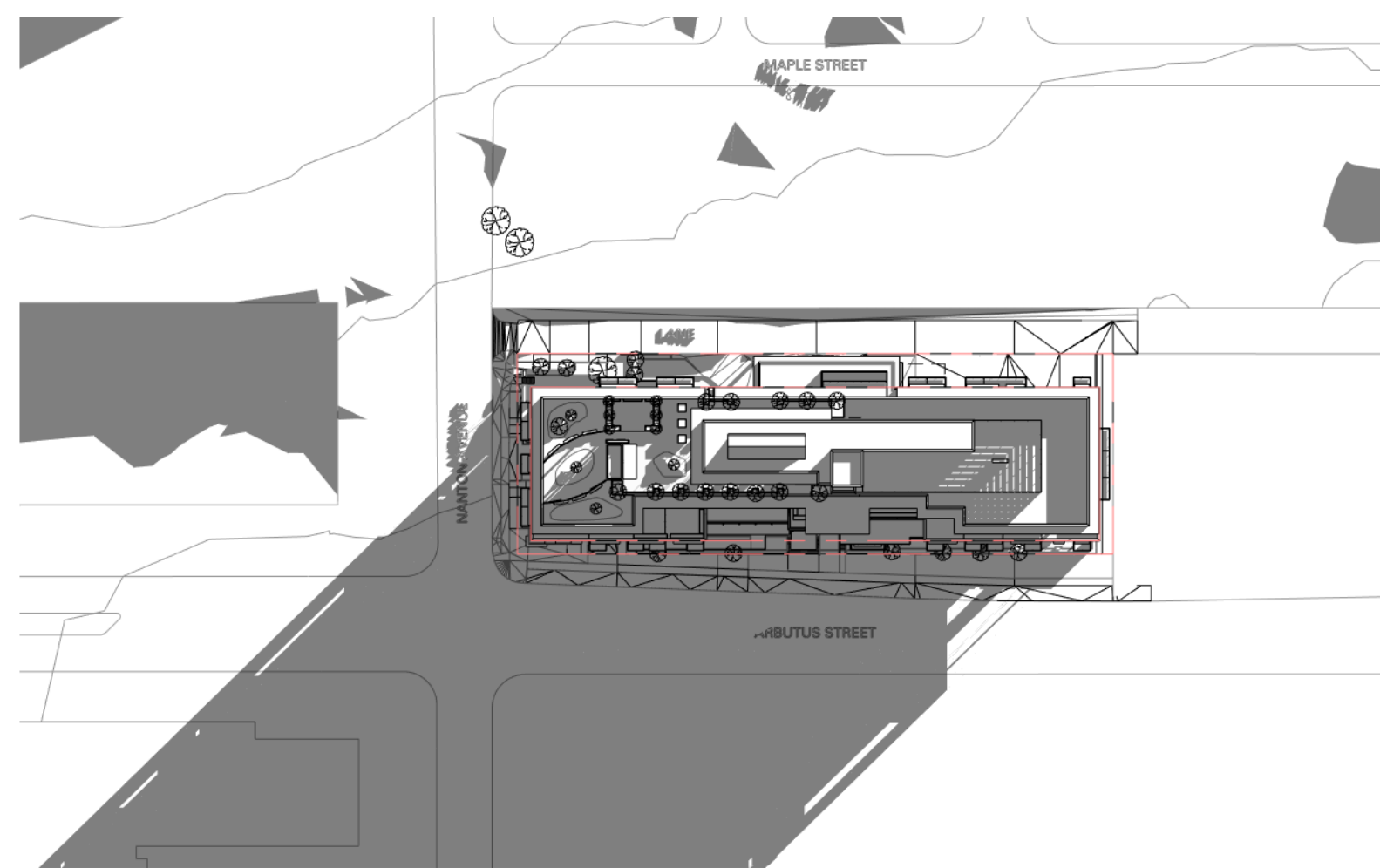
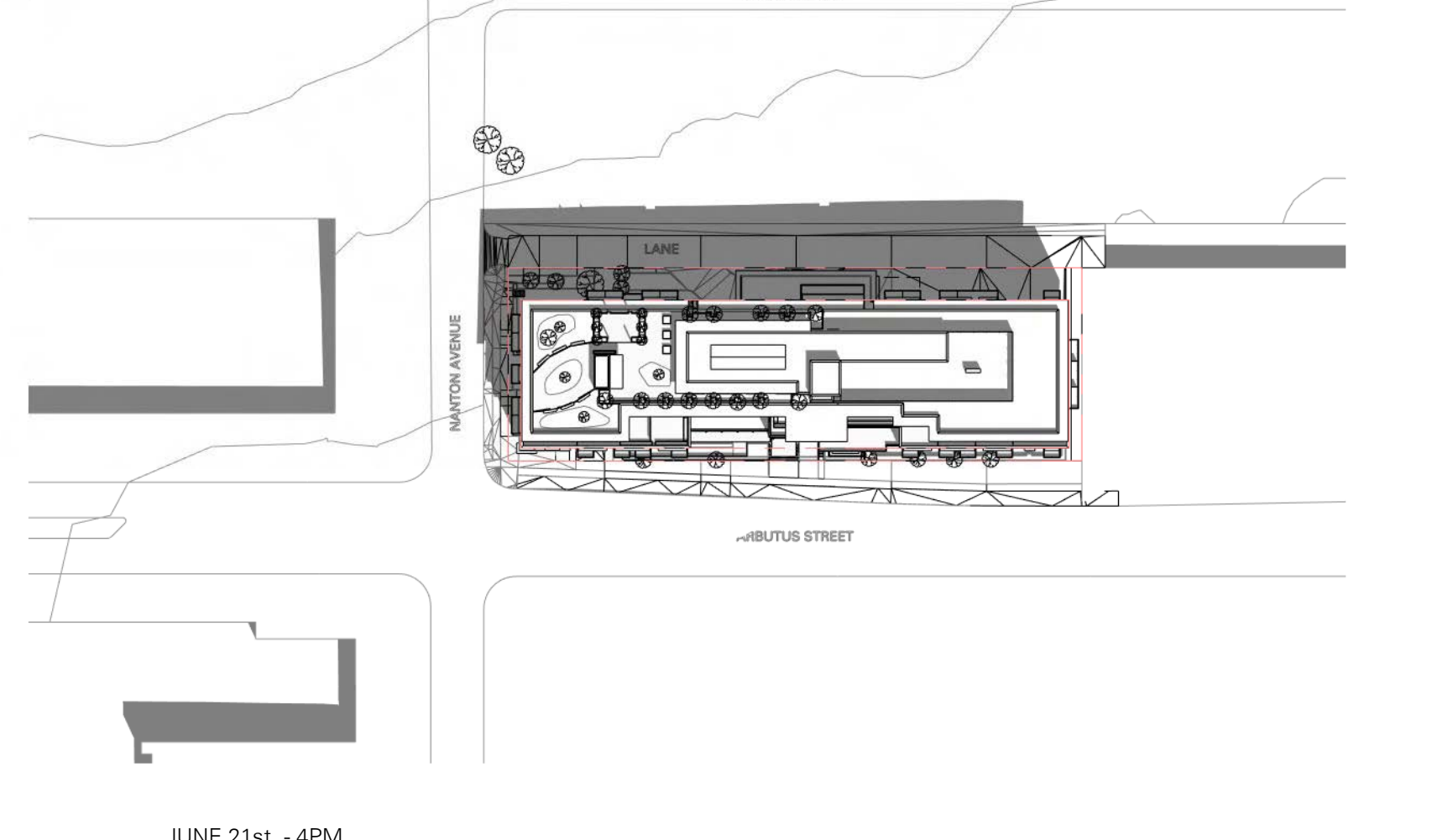
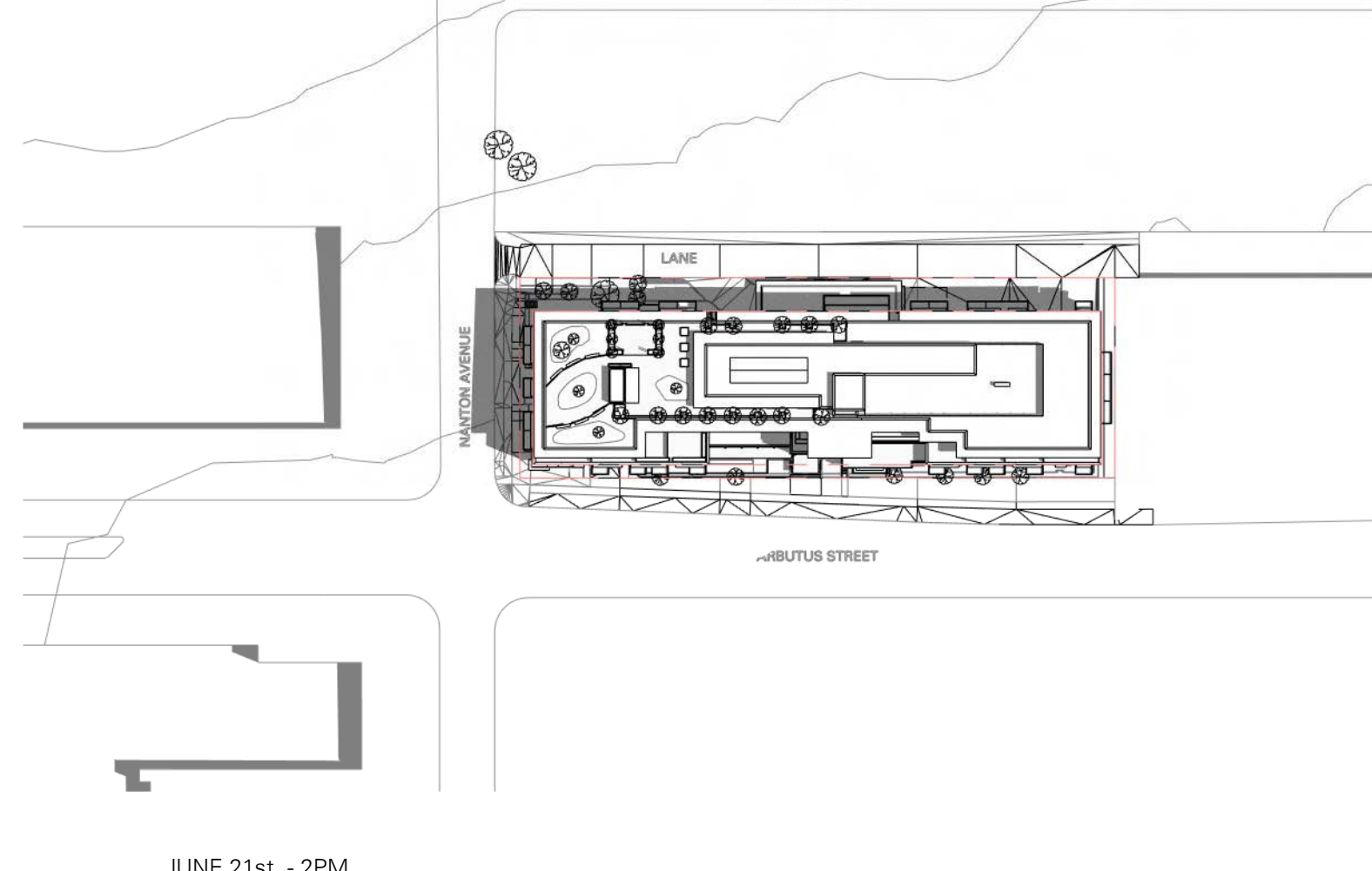
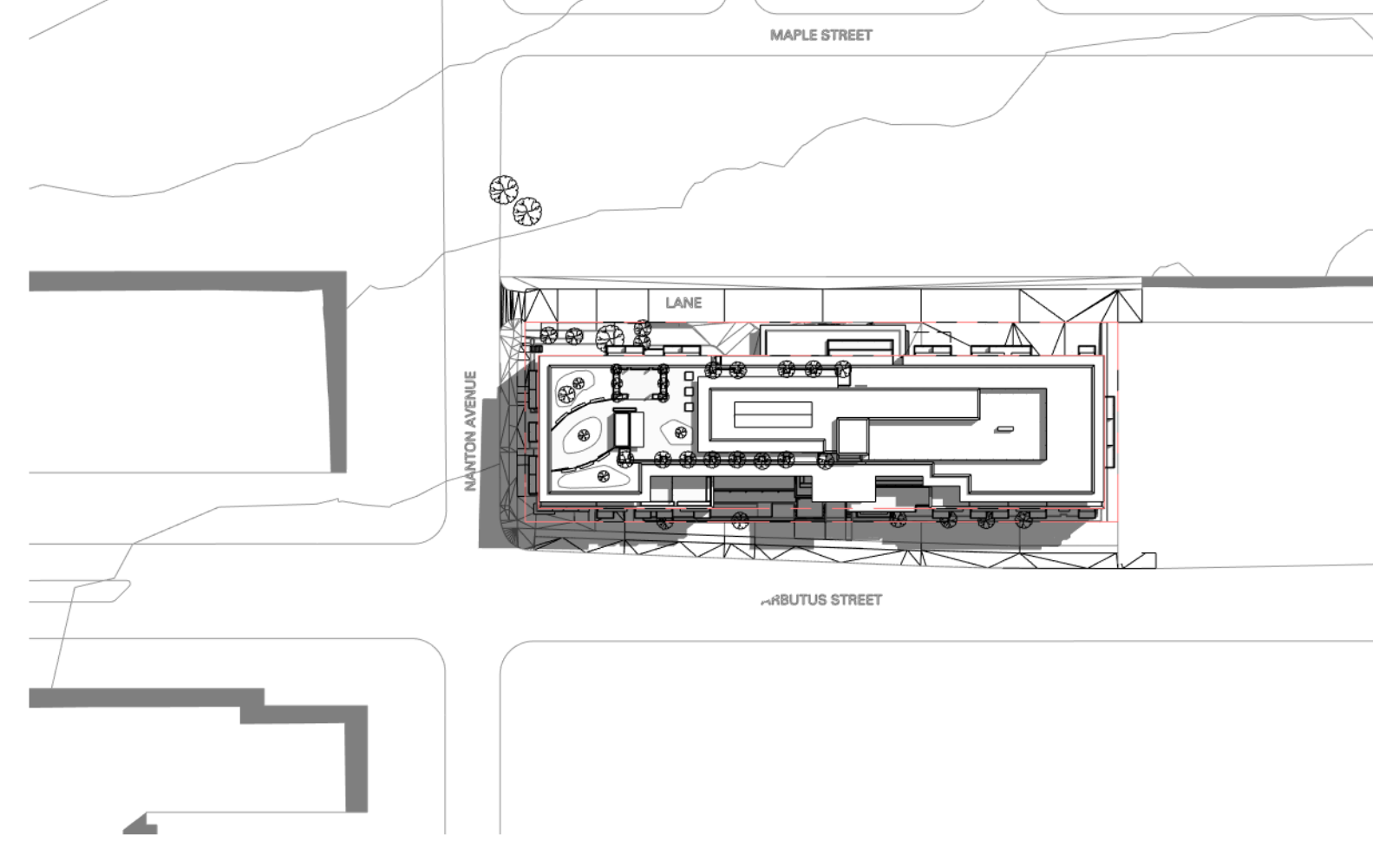
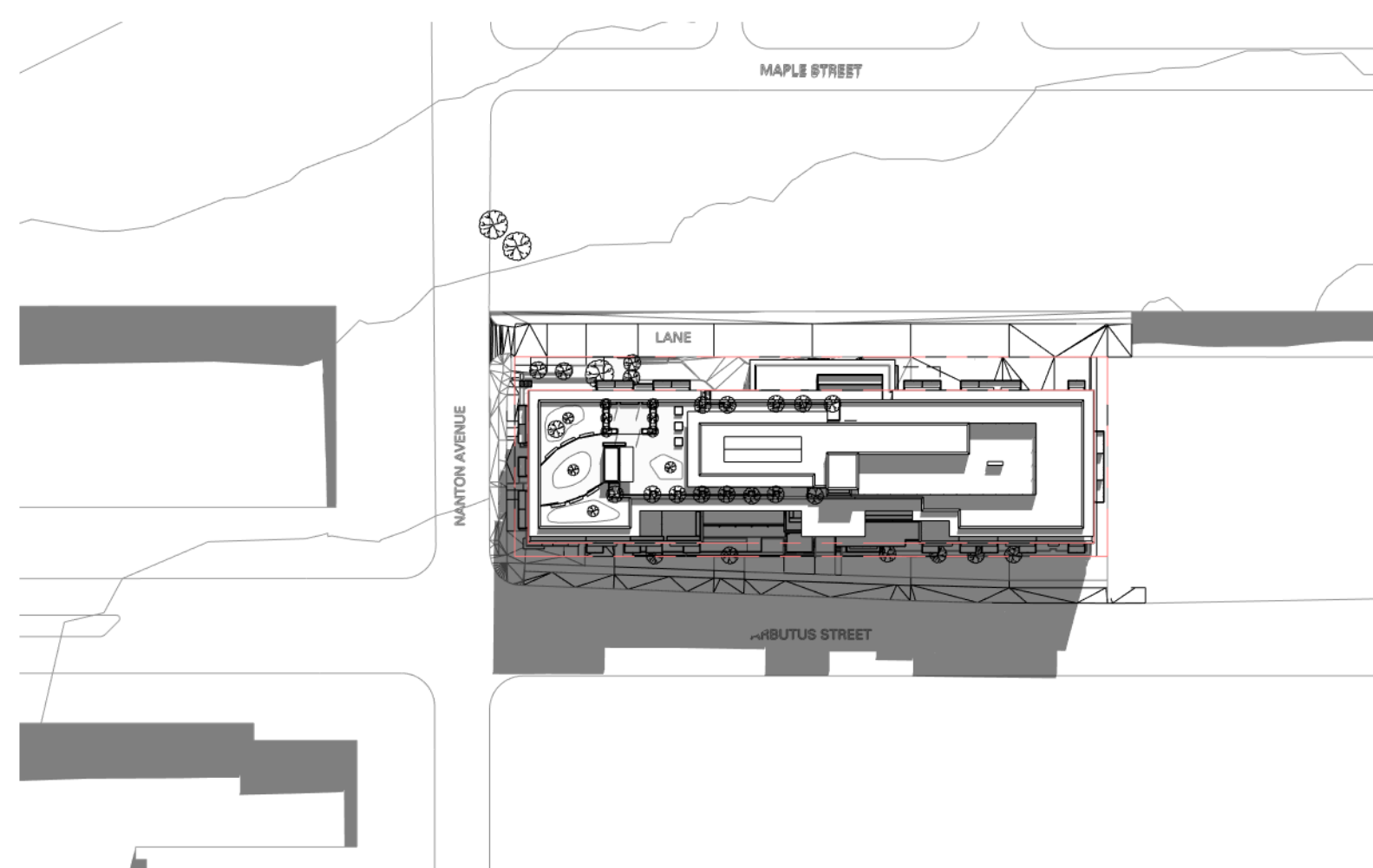
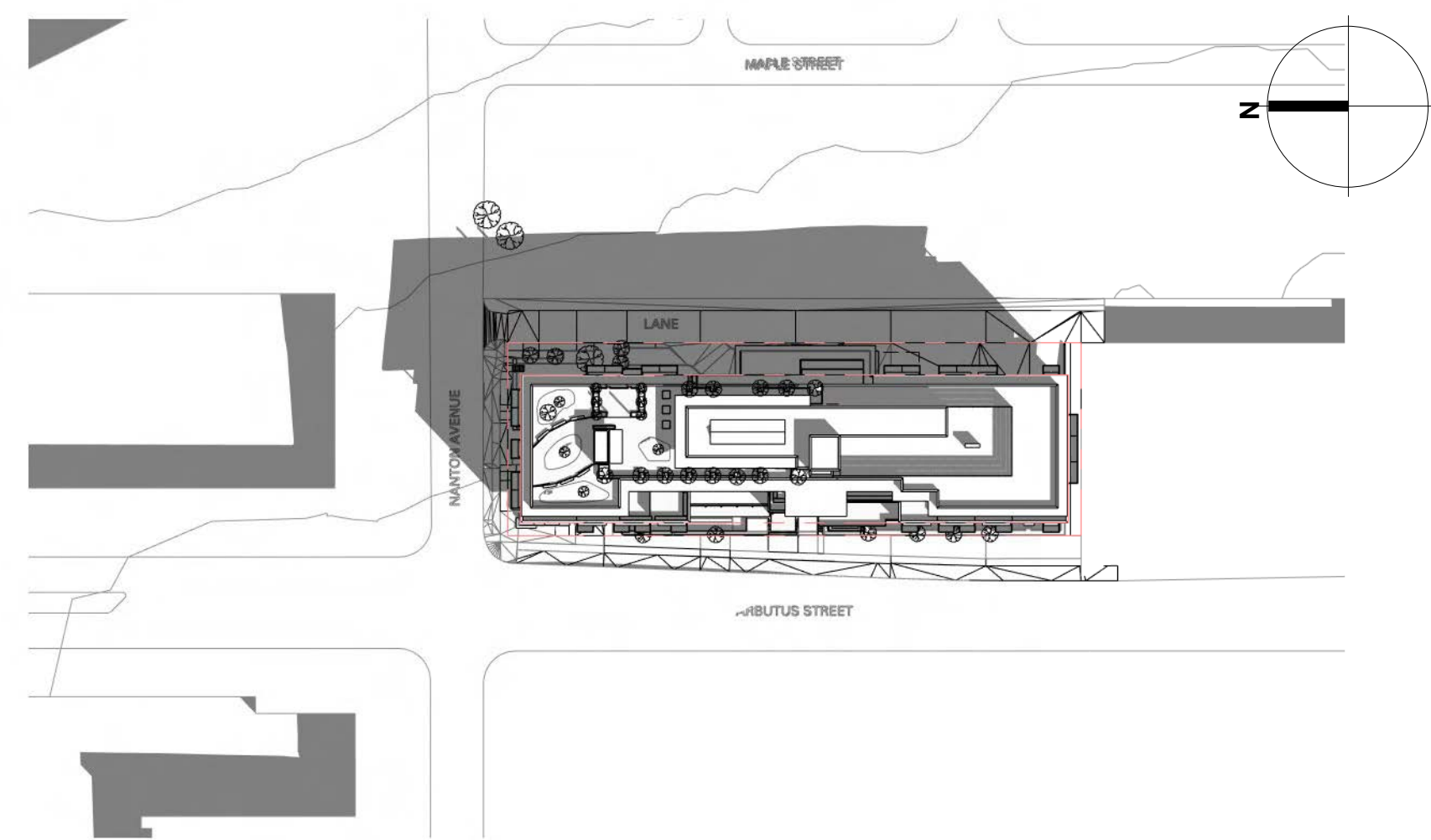
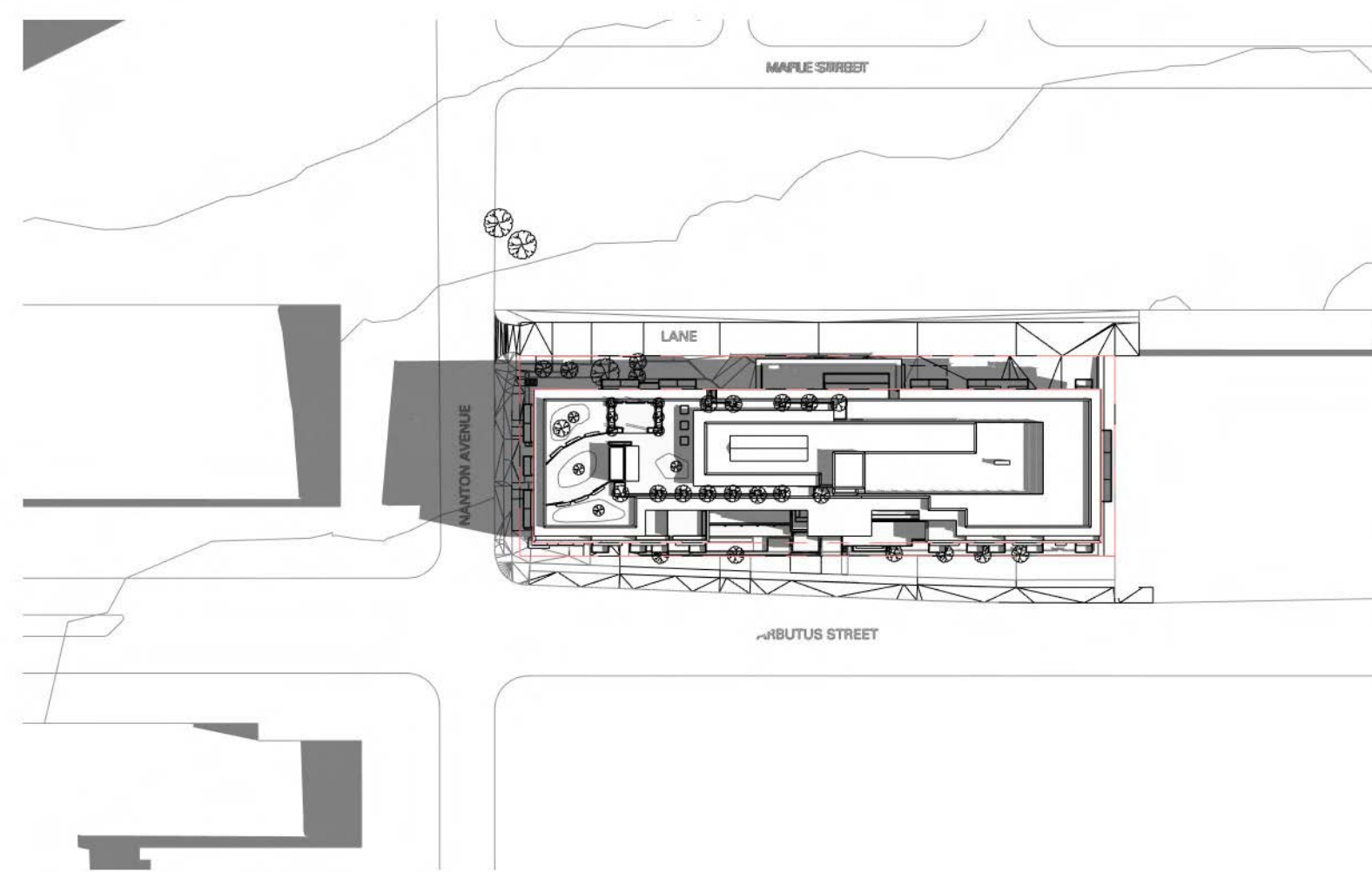
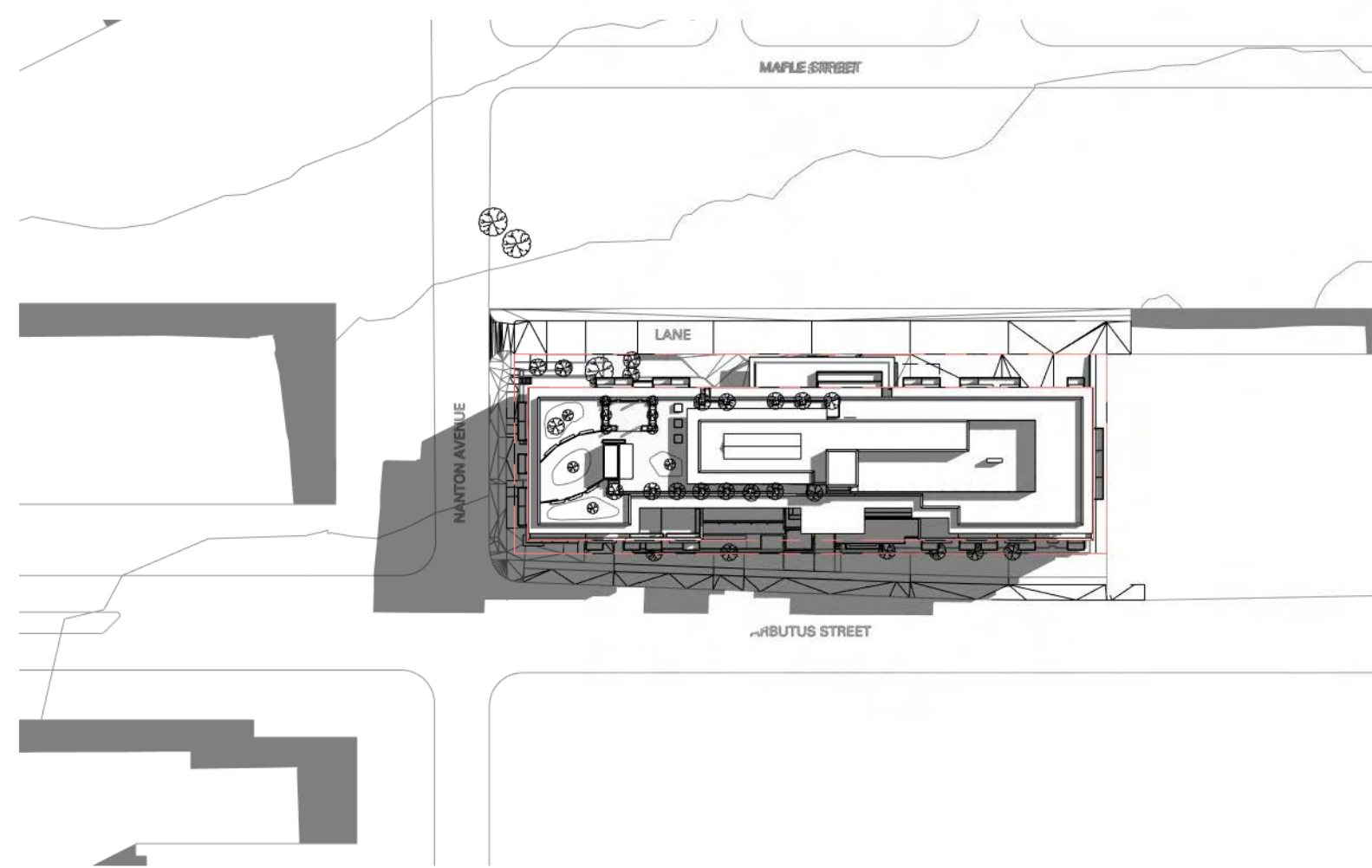
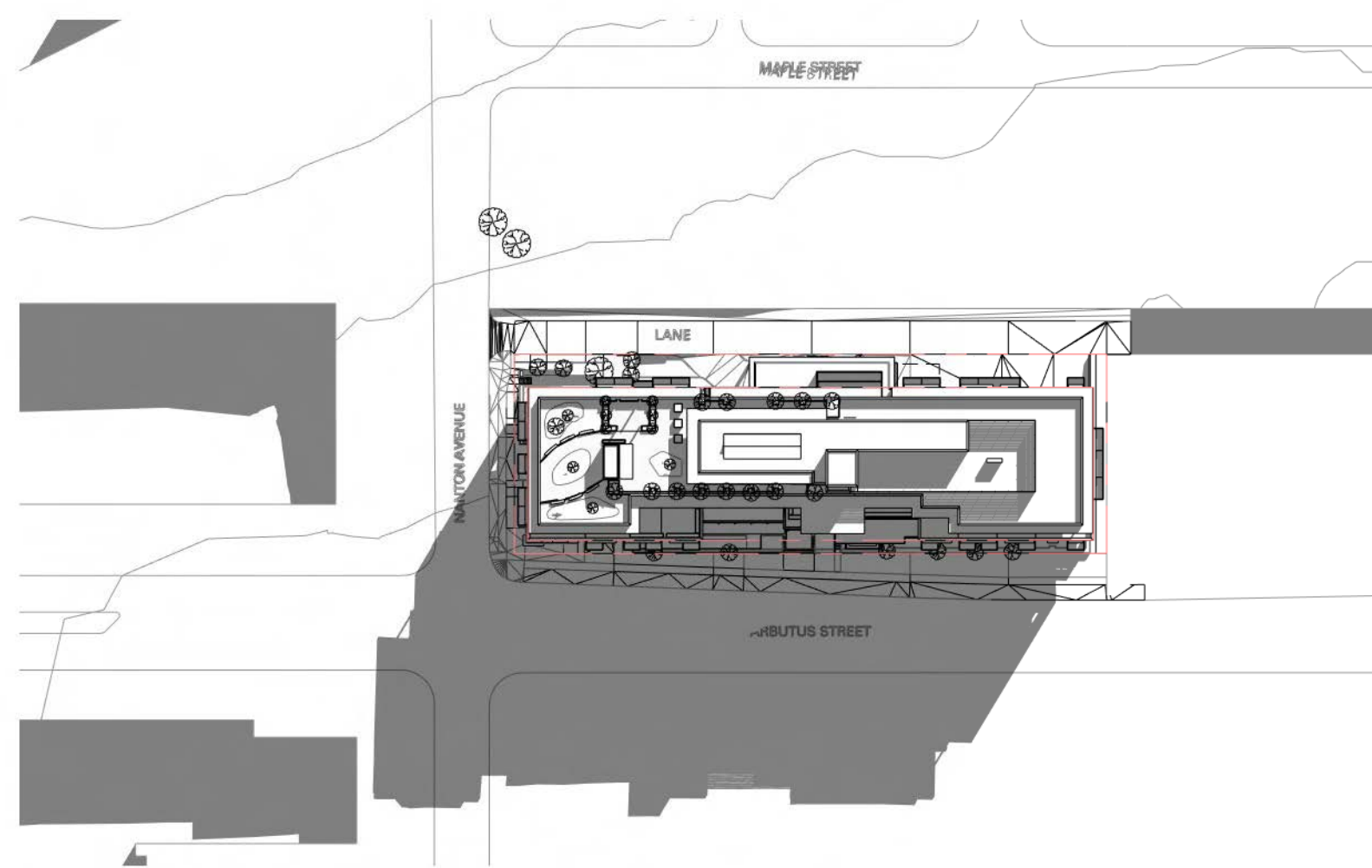
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No.	Date	Revision Notes

ISSUED FOR REZONING 2022/07/21

Sheet Number

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Project Title

## AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, B.C. V6J 4A2

Client/Owner

AMICA ARBUTUS NANTON

**SENIORS INC.**  
1560-666 Burrard Street  
Vancouver, B.C. V6C 2X8

Sheet Title

## SHADOW STUDIES

Drawn By CH / SJ / HK  
Reviewed by CH

Project Number  
**2101**

Plot Date	Issue Date
2022/07/21	2022/07/21

Scale	Issue/Revision
1" = 100'-0"	1

Sheet Number







[illegible]



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[illegible]

ISSUED FOR REZONING 2022/07/21

Project Title

## AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, B.C. V6J 4A2

Client/Owner

**AMICA ARBUTUS NANTON  
SENIORS INC.**  
1560-666 Burrard Street  
Vancouver, B.C. V6C 2X8

Sheet Title

## CONTEXT PLAN

Drawn By

Reviewed by

Project Number  
**2101**

Plot Date  
2022/07/21

Scale	Issue/Revision
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Sheet Number

## A1.01

2025/07/22 3:30:36 PM





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No.	Date	Revision Notes



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Sheet Title

## INTERPOLATED ROOF CALCULATIONS

Drawn By

Reviewed by

Project Number  
**2101**

Plot Date  
2022/07/21

Scale	Issue/Revision
1/16" = 1'-0"	1

Sheet Number

## A1.03

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No.	Date	Revision Notes
-----	------	----------------

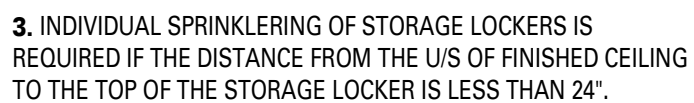
GARBAGE & RECYCLING	
TYPE	COUNT
	2

4330-4408 Arbutus St. & 2092 Nanton Ave.  
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Sheet Numbers

## A2.01

302.977/22 2-20-24 00.4



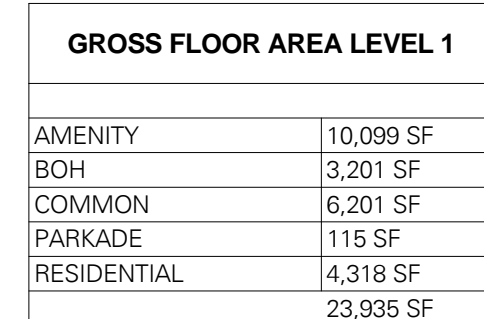


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[illegible]

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No.	Date	Revision Notes



REFER TO A3.02N      CL      REFER TO A3.02S

ISSUED FOR REZONING 2022/07/21

Project Title

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Sheet Title

## LEVEL 1 PLAN

Drawn By

Drawn By	Author
Reviewed by	Approver

Project  
2101

Plot Date  
2022/07/21

Scale	Issue/Revision
-------	----------------

$$1/16'' = 1'-0'''$$

Sheet Number

## A2.02

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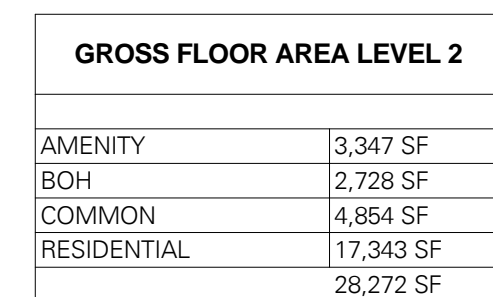


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[illegible]

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No.	Date	Revision Notes



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Sheet Title

**LEVEL 2 PLAN**

Drawn By HK  
Reviewed by

Project  
2101

Plot Date	Issue Date
2022/07/21	2022/07/21

Scale	Issue/Revision
	<b>1</b>

Sheet Number

## A2.03

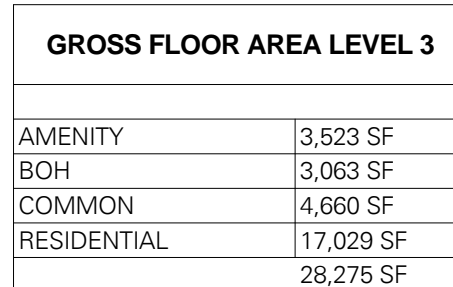
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No.	Date	Revision Notes



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Drawn By	Author
Reviewed by	Approved

Project Number  
**2101**

Plot Date  
**2022/07/21**

Issue Date  
**2022/07/21**

Scale	Issue/Revisor
1/16" = 1'-0"	1

Sheet Number

## A2.04



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Sheet Title

### LEVEL 4 PLAN

Drawn By

Drawn By	Author
Reviewed by	Approver

Project Number  
**2101**

Plot Date  
2022/07/2

Scale	Issue/Revision
-------	----------------

$$1/16'' = 1'-0'''$$

Sheet Number

## A2.05

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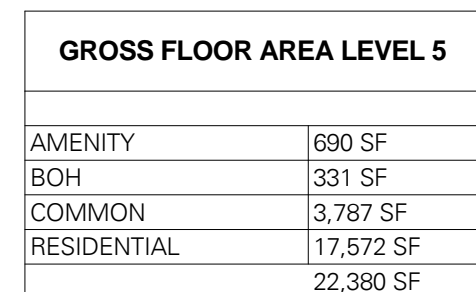


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[illegible]

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Sheet Title

### LEVEL 5 PLAN

Drawn By

Drawn By	Author
Reviewed by	Approver

Project Number  
**2101**

Plot Date	Issue Date
2022/07/21	2022/07/21

Scale	Issue/Revision
1/16" = 1'-0"	<b>1</b>

Sheet Number

## A2.06

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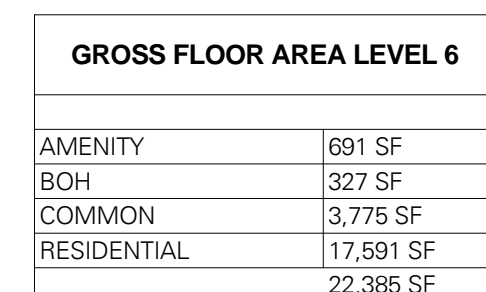


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Sheet Title

### LEVEL 6 PLAN

Drawn By

Drawn By	Author
Reviewed by	Approver

Project Number  
**2101**

Plot Date  
2022/07/21

Scale	Issue/Revision
1	

$$1/16'' = 1'-0'''$$

Sheet Number

## A2.07



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[illegible]

GROSS FLOOR AREA ROOF	
AMENITY	2,153 SF
COMMON	1,328 SF
MECHANICAL	1,250 SF
	4,731 SF

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### ROOF PLAN

Drawn By

Drawn By	Author
Reviewed by	Approver

Project Number  
**2101**

Plot Date  
2022/07/21

Issue Date  
2022/07/21

Scale

*Issue/Revision*

$$1/16'' = 1'-0'''$$

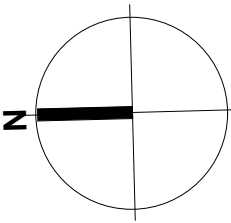
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## A2.08

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Drawn By	Author
Reviewed by	Approver

Project Number  
**2101**

Plot Date  
2022/07/21

Scale

**1/8" = 1'-0"**

Sheet Number

# A3.01S

002-177722 2-20-12 004





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Sheet Title

**LEVEL 1 PLAN SOUTH**

Drawn By

Reviewed by

Project Number  
**2101**

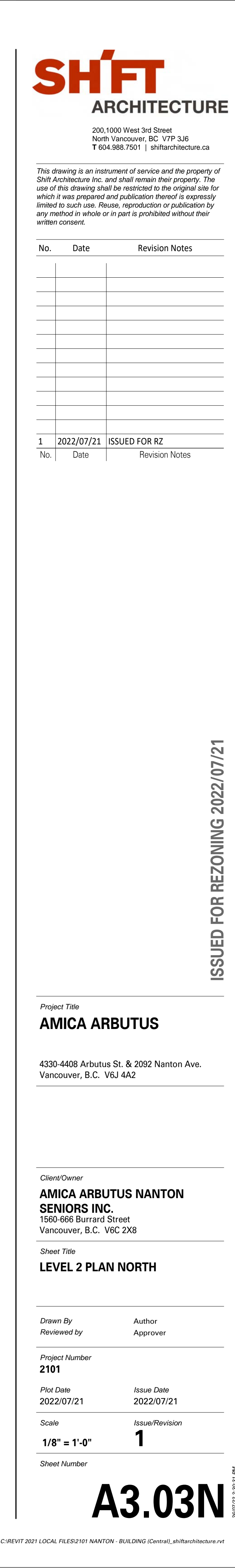
Plot Date  
2022/07/21

Scale

Sheet Number

## A3.02S

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**LEVEL 2 PLAN SOUTH**

Drawn By	Author
Reviewed by	Approver

Project  
2101

Plot Date  
2022/07/21

Scale	Issue/Revision
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**1/8" = 1'-0"**

Sheet Number

## A3.03S





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**LEVEL 3 PLAN SOUTH**

---

Project Number  
**2101**

Plot Date  
2022/07/21

Scale

Sheet Number

# A3.04S

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1 LEVEL 4- PLAN NORTH  
1/8" = 1'-0"

No.	Date	Revision Notes

1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

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Sheet Title  
**LEVEL 4 PLAN NORTH**

Drawn By  
Reviewed by

Author  
Approver

Project Number  
**2101**

Plot Date  
2022/07/21

Issue Date  
2022/07/21

Scale  
**1/8" = 1'-0"**

Issue/Revision  
**1**

Sheet Number

**A3.05N**

20/07/22 2:35:46 PM



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No.	Date	Revision Notes

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**LEVEL 4 PLAN SOUTH**

Reviewed by \_\_\_\_\_ Approver \_\_\_\_\_

Project Number  
**2101**

Plot Date  
2022/07/21

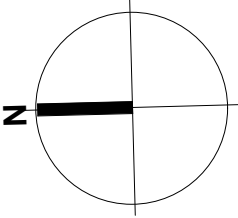
Scale	Issue/Revision
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**1/8" = 1'-0"**

Sheet Number

# A3.05S





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Sheet Title

Drawn By	Author
Reviewed by	Approver

Project Number  
**2101**

Plot Date  
2022/07/25

Scale

Sheet Number

# A3.06S

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**LEVEL 6 PLAN SOUTH**

Reviewed by \_\_\_\_\_ Approver \_\_\_\_\_

Project Number  
**2101**

Plot Date  
2022/07/21

Scale	Issue/Revision
1	

Sheet Number

# A3.07S

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No.	Date	Revision Notes

ISSUED FOR REZONING 2022/07/21

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Sheet Title

**LEVEL ROOF PLAN SOUTH**

Drawn By

Reviewed by \_\_\_\_\_ Approver \_\_\_\_\_

Project Number  
**2101**

Plot Date  
2022/07/21

Scale	Issue/Revision
-------	----------------

**1/8" = 1'-0"**

Sheet Number

## A3.08S

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No.	Date	Revision Notes
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*Sheet Title*

## ELEVATIONS

Drawn By

Drawn By	Author
Reviewed by	Approved

Project Number  
**2101**

<i>Plot Date</i>	<i>Issue Date</i>
2022/07/21	2022/07/21

Scale	Issue/Revision
	<b>1</b>

Sheet Number

## A4.01

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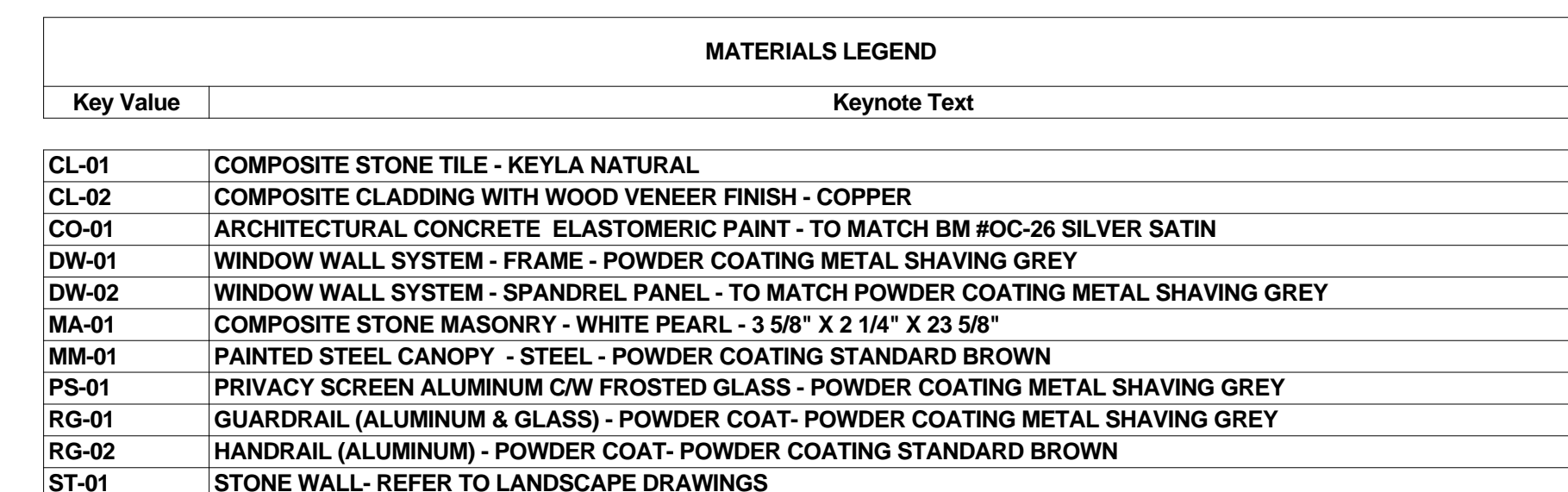


2 SOUTH ELEVATION  
1/16" = 1'-0"

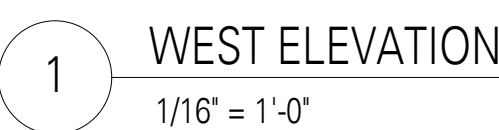


1 EAST ELEVATION  
1/16" = 1'-0"

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2 NORTH ELEVATION  
1/16" = 1'-0"



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Sheet Title

## ELEVATIONS

Drawn By

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**2101**

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2022/07/21

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Sheet Number

## A4.02

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Sheet Title

**STREETSCAPE ELEVATIONS**

Drawn By	Author
Reviewed by	Approver

Project Number  
**2101**

Plot Date	Issue Date
2022/07/21	2022/07/21

Scale	Issue/Revision
1	

Sheet Number

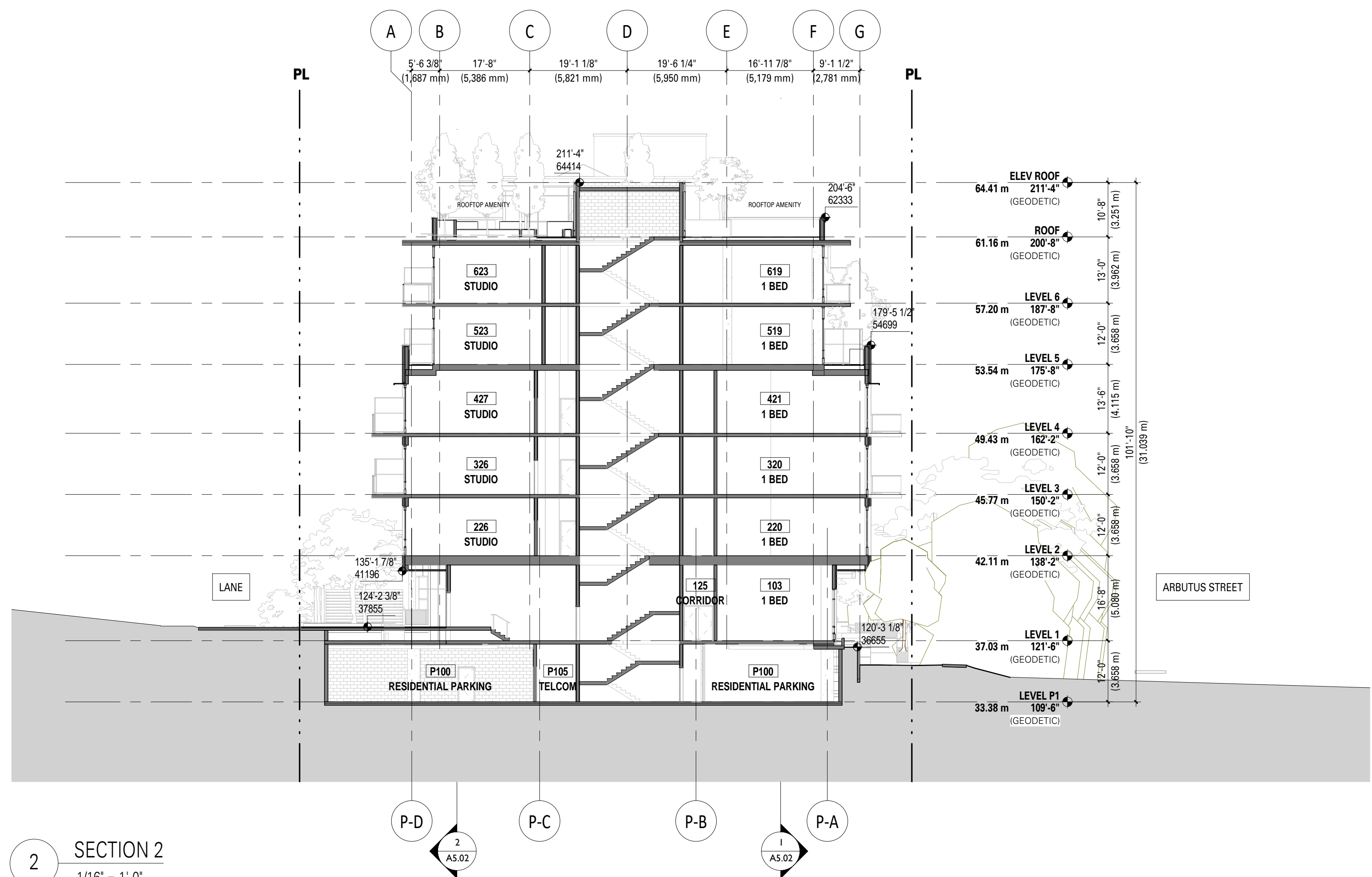
## A4.03

3

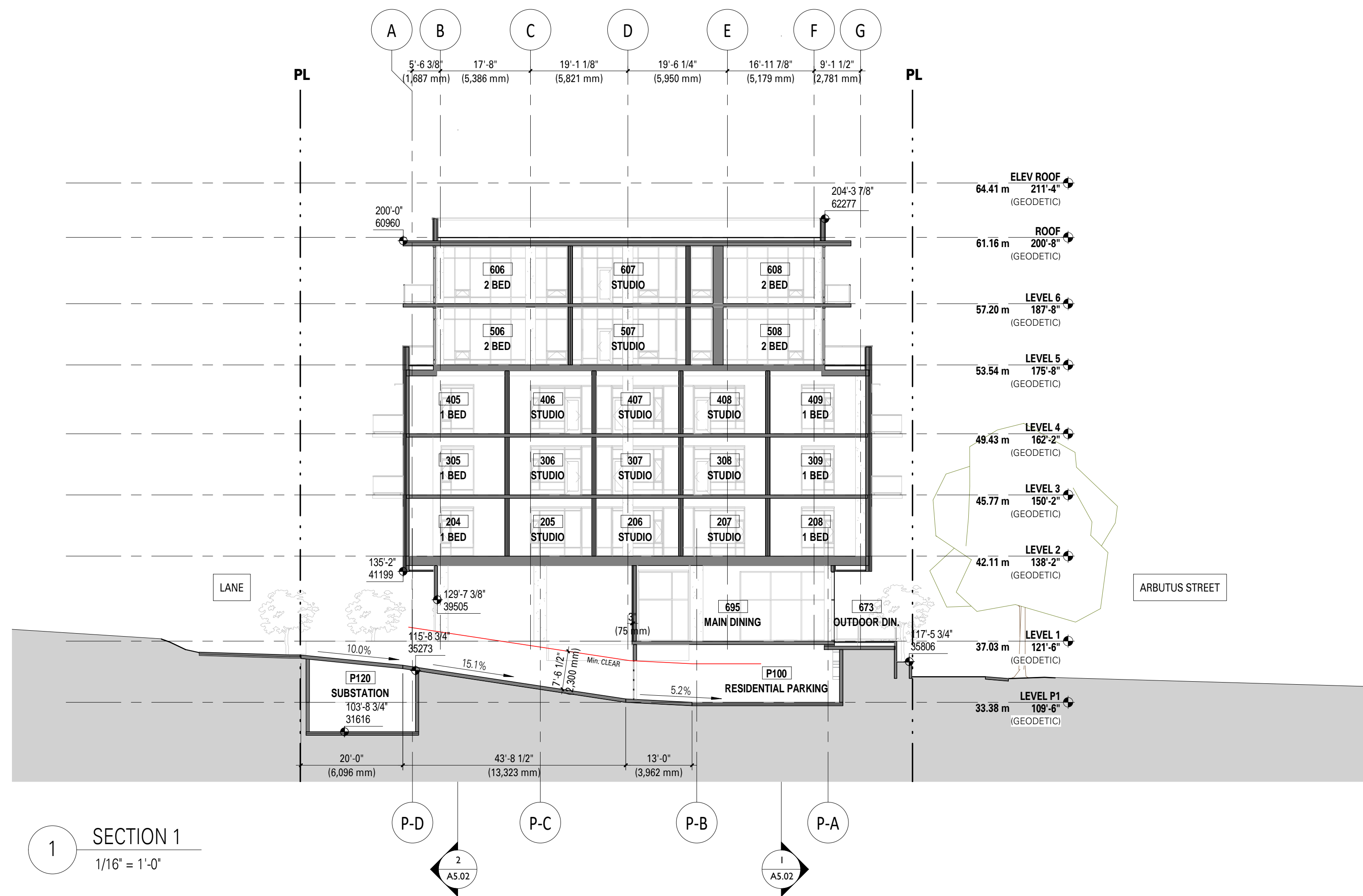
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No.	Date	Revision Notes
1	2022/07/21	ISSUED FOR RZ
No.	Date	Revision Notes

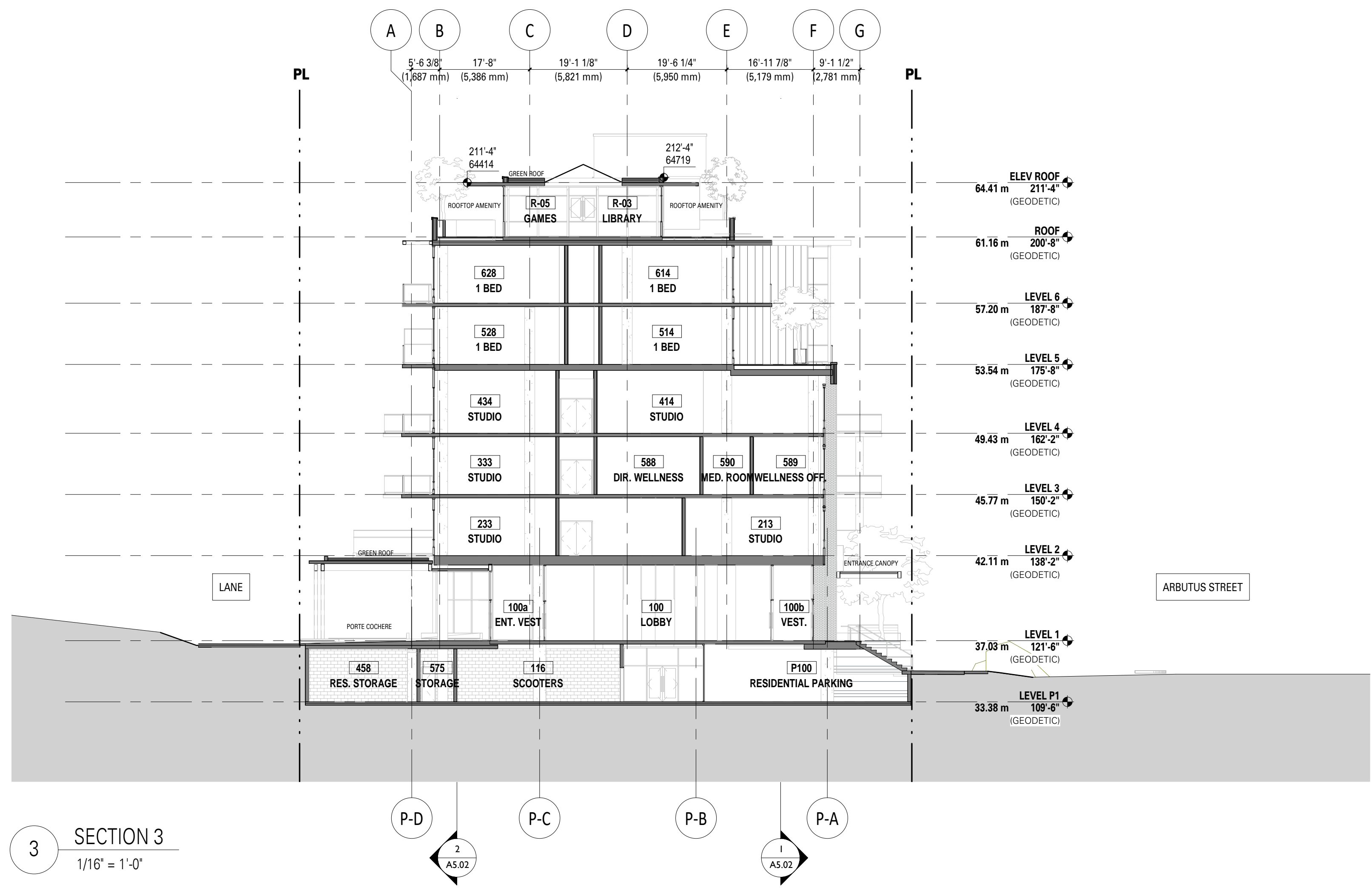
No.	Date	Revision Notes
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2 SECTION 2  
1/16" = 1'-0"



1 SECTION 1  
1/16" = 1'-0"



3 SECTION 3  
1/16" = 1'-0"

## AMICA ARBUTUS

4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, B.C. V6J 4A2

Client/Owner

**AMICA ARBUTUS NANTON**

**SENIORS INC.**  
1560-666 Burrard Street  
Vancouver, B.C. V6C 2X8

Sheet Title

## BUILDING SECTIONS

Drawn By

Reviewed by

Project Number

2101

Plot Date

2022/07/21

Scale

1/16" = 1' 0"

## Discussion

# A5.01





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[illegible]

ISSUED FOR REZONING 2022/07/21

*Project Title*

**AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, B.C. V6J 4A2

Client/Owner  
**AMICA ARBUTUS NANTON  
SENIORS INC.**  
1560-666 Burrard Street  
Vancouver, B.C. V6C 2X8

Sheet Title

**SURVEY**

Drawn By	Author
Reviewed by	Approver

Project Number  
**2101**

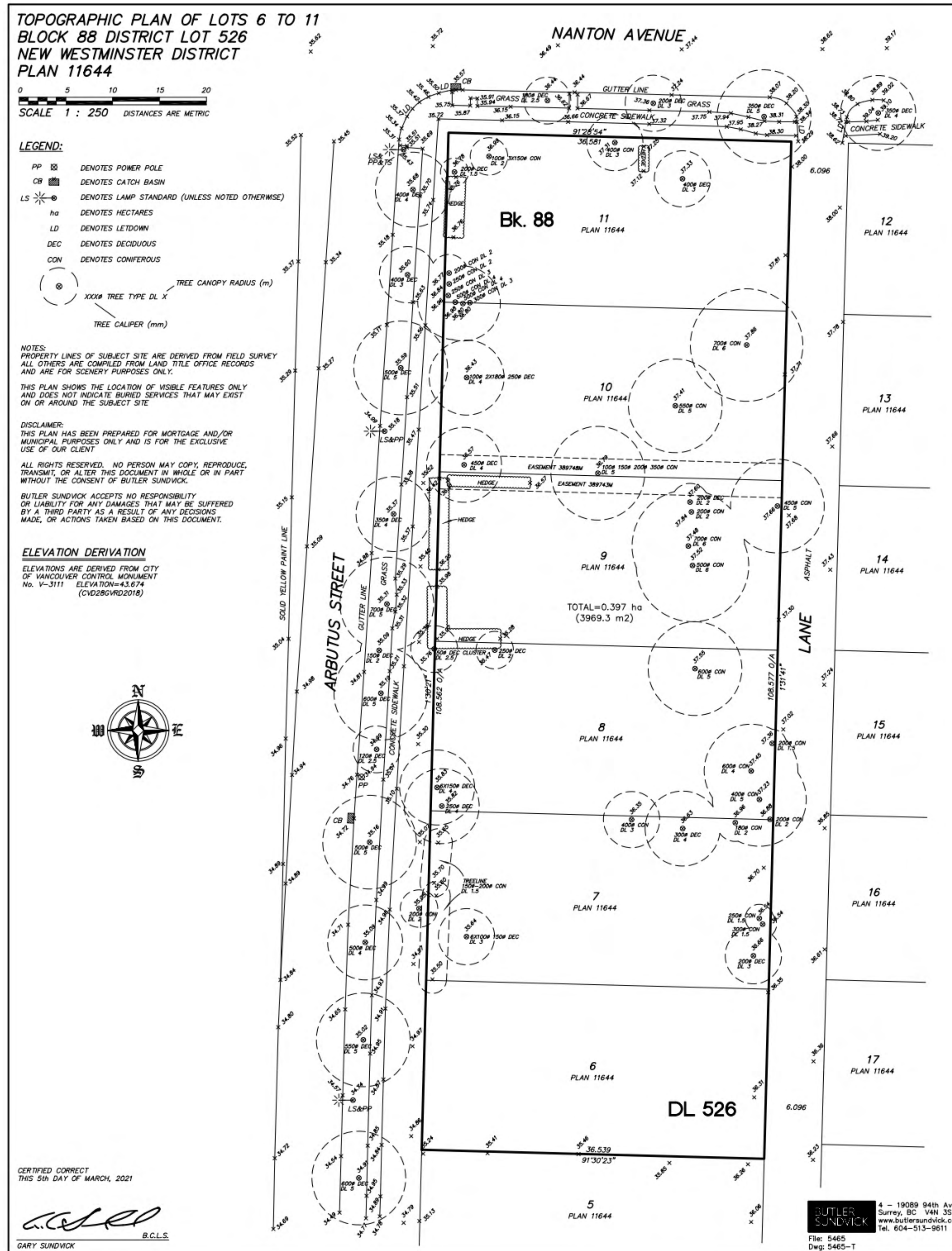
Plot Date  
2022/07/21

Issue Date  
2022/07/21

Scale	Issue/Revision
	<b>1</b>

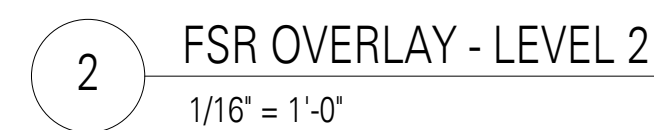
Sheet Number

# A9.00



NOTE:  
THIS SURVEY IS FROM A THIRD PARTY AND PROVIDED FOR INFORMATION  
PURPOSES ONLY.

No.	Date	Revision Notes
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Project Title

4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, B.C. V6J 4A2

Client/Owner

**AMICA ARBUTUS NANTON  
SENIORS INC.**  
1560-666 Burrard Street  
Vancouver, B.C. V6C 2X8

Sheet Title

### FSR OVERLAY L1 & L2

Drawn By

Reviewed by

Author

Approv

Project Number

2101

Plot Date  
2022/07/21

Issue Date  
2022/0

Scale	Issue/Revision
-------	----------------

1

Sheet Number

## FSR 1.01

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[illegible]

No.	Date	Revision Notes
-----	------	----------------



ISSUED FOR REZONING 2022/07/21

Project Title

**AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, B.C. V6J 4A2

Client/Owner

**AMICA ARBUTUS NANTON  
SENIORS INC.**  
1560-666 Burrard Street  
Vancouver, B.C. V6C 2X8

Sheet Title

### FSR OVERLAY L3 & L4

Drawn By

Reviewed by

Project Number  
**2101**

Plot Date  
2022/07/2

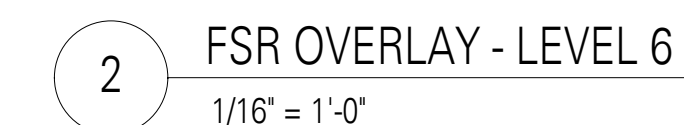
Scale

 $1/16'' =$ 

Sheet Number

## FSR 1.02

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[illegible]

Project Title

**AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, B.C. V6J 4A2

*Client/Owner*  
**AMICA ARBUTUS NANTON  
SENIORS INC.**  
1560-666 Burrard Street  
Vancouver, B.C. V6C 2X8

Sheet Title

**FSR OVERLAY L5 & L6**

Drawn By	Author
Reviewed by	Approver

Project Number  
**2101**

Plot Date	Issue Date
2022/07/21	2022/07/21

Scale	Issue/Revision
1/16" = 1'-0"	1

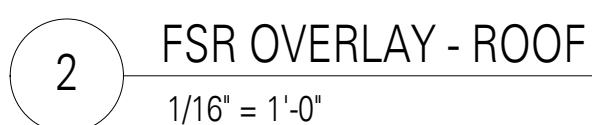
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## FSR 1.03

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[illegible]

No.	Date	Revision Notes
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Project Title

**AMICA ARBUTUS**

4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, B.C. V6J 4A2

Client/Owner

**AMICA ARBUTUS NANTON  
SENIORS INC.**  
1560-666 Burrard Street  
Vancouver, B.C. V6C 2X8

Sheet Title

FSR OVERLAY P1 &amp; ROOF

Drawn By

Drawn By	Author
Reviewed by	Approved

Project Number

Project  
2101

Plot Date

Plot Date	Issue Date
2022/07/21	2022/07/21

Scale

Scale	Issue/Revision
	<b>1</b>

Sheet Number

## FSR 1.04

4

# Landscape Drawings

L0 - L10

# AMICA ARBUTUS

NANTON SENIORS INC.

## AMICA ARBUTUS NANTON SENIORS INC. // OWNER

AMICA ARBUTUS NANTON SENIORS INC.  
1111 NANTON AVENUE  
VANCOUVER, BC V6N 2S3

## SHIFT ARCHITECTURE // ARCHITECT

SHIFT ARCHITECTURE  
1111 NANTON AVENUE  
VANCOUVER, BC V6N 2S3

## LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN // LANDSCAPE ARCHITECT

LOCI LANDSCAPE ARCHITECTURE +  
URBAN DESIGN  
1111 NANTON AVENUE

LOCI LANDSCAPE ARCHITECTURE +  
URBAN DESIGN  
1111 NANTON AVENUE

## LANDSCAPE DRAWING INDEX PERMIT

Sheet No.	Sheet Name
L0	COVER SHEET
L1	GROUND LEVEL - LANDSCAPE CONCEPT PLAN
L2	GROUND LEVEL - PRECEDENT IMAGES
L3	LEVEL 2 - LANDSCAPE CONCEPT PLAN
L4	LEVEL 3 - LANDSCAPE CONCEPT PLAN
L5	LEVEL 4 - LANDSCAPE CONCEPT PLAN
L6	LEVEL 5 - LANDSCAPE CONCEPT PLAN
L7	UPPER LEVELS - PRECEDENT IMAGES
L8	ROOF DECK LEVEL - LANDSCAPE CONCEPT PLAN
L9	ROOF DECK LEVEL - PRECEDENT IMAGES
L10	ROOF TOP LEVEL - LANDSCAPE CONCEPT PLAN

DESIGN RATIONALE- GROUND LEVEL

The landscape design for this project aims to create a series of welcoming frontages and on-site social spaces that promote social interaction and healthy living for the residents. The programming and materiality of these spaces, in turn, are based closely on Amica's guidelines for Retirement Living: creating areas that provide a pedestrian-rich, full spectrum of experience - beautiful functional areas for social gatherings, intimate nooks, walking paths, and sheltered spaces. Specifically on the ground level: a feature corner at the intersection of Nanton and Arbutus is proposed with signage, seating, and feature paving. The front entry along Arbutus Street is framed with feature trees, planting, and a grand staircase to welcome visitors and residents. The rear entry/port cochere features a "West Coast-themed" garden, with decorative river rock and boulders interlaced with sculptural trees and feature planting. Further, all private and common outdoor spaces weather-protected with safe visiting areas (e.g. outdoor bistro lounge with firepit + seating), and are screened from offsite and neighbouring properties with layered planting, terraced planter walls and ornamental trees, providing colour and texture year-round.

KEY LEGEND

- A

ARBUTUS STREET FRONTAGE

1

FEATURE CORNER: LOW PLANTER WITH SEATING, FEATURE PAVING + SIGNAGE

2

INDEPENDENT LIVING PRIVATE UNIT PATIOS

3

8.3% RAMP WITH HANDRAILS + BUFFER PLANTING

4

MOVEABLE TABLES + CHAIRS AT PRIVATE DINING

5

MAIN ENTRY AREA WITH FEATURE PAVING + STAIRS

6

SIDEWALK + BOULEVARD TO COV STANDARDS; PROTECT EXISTING TREES

7

OUTDOOR BISTRO LOUNGE WITH FIREPIT + BBQ + SEATING

8

OUTDOOR DINING SPACE WITH MOVEABLE TABLES + CHAIRS
- B

NANTON AVENUE FRONTAGE

9

SIDEWALK + BOULEVARD TO COV STANDARDS; PROTECT EXISTING TREES

10

INDEPENDENT LIVING PRIVATE UNIT PATIOS WITH GATE ACCESS TO NANTON AVE.
- C

LANE FRONTAGE + PORTE COCHERE

11

AMICA BUS PARKING STALL

12

WEST-COAST THEMED FEATURE PLANTER BEDS: NATIVE SHRUBS + TREES, RIVER ROCK, BOULDERS, LIGHTING

13

ENTRY WITH FEATURE PAVING + SEATING AREA

14

PORT COCHERE + DRIVE COURT WITH FEATURE PAVING

15

ARCHITECTURAL SCREEN + GAS METER

16

LOADING BAY

17

SIDEWALK

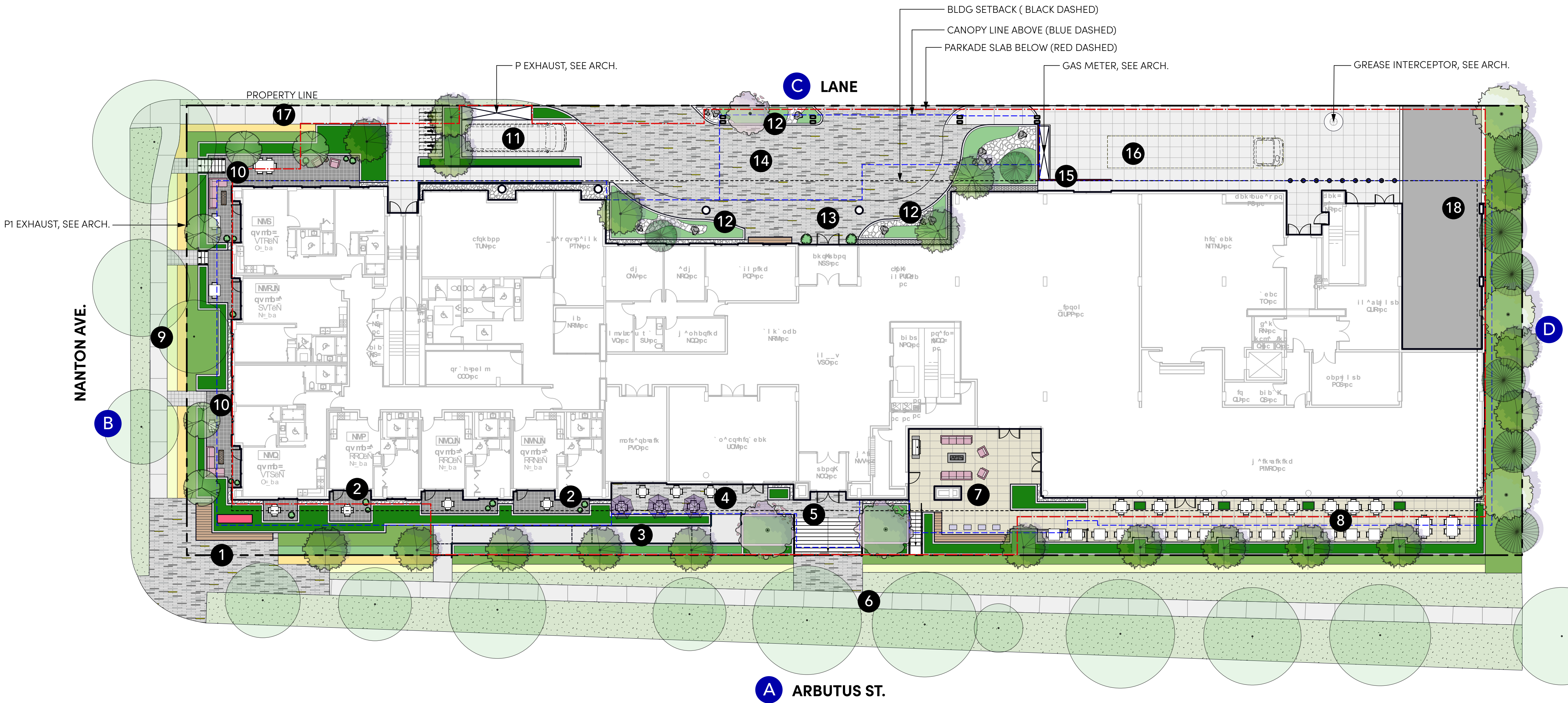
18

PARKADE RAMP
- D

MIXED FOREST AT SOUTH PROPERTY LINE

PLANTING TYPOLOGY LEGEND

SYMBOL	DESCRIPTION
<div></div>	SODDED GRASS LAWN TO CoV STANDARDS
<div></div>	LAYERED PLANTING -SHRUB/PERENNIALS/ORNAMENTAL GRASSES
<div></div>	FOUNDATION PLANTING -EVERGREEN SHRUBS + HEDGES
<div></div>	WEST-COAST THEMATIC PLANTING - SCULPTURAL TREES, GROUNDCOVERS, RIVER ROCK + BOULDERS
<div></div>	LAYERED GREENROOF PLANTING -SEDUM MATS / ORNAMENTAL GRASSES



1 GROUND LEVEL- LANDSCAPE CONCEPT PLAN  
Scale: 1/16" = 1'-0"

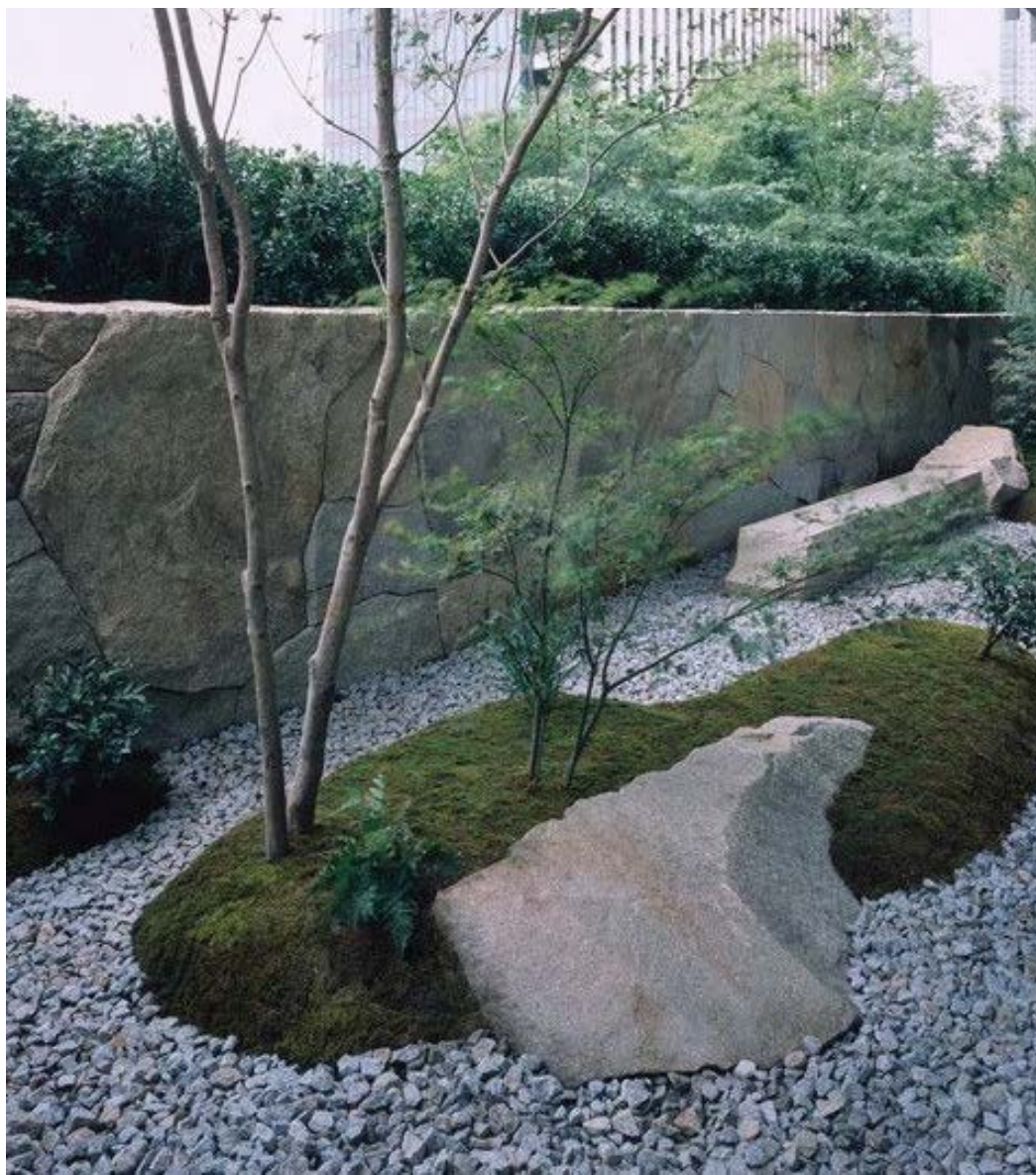
Issue	No.	Description	Date
	D	Issued for Client Review	22-05-31
	E	Issued for Rezoning (Draft)	22-06-08
	F	Issued for Rezoning	22-06-15

Project Stamp

Project Info

22060  
Amica Arbutus  
  
4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, BC

Drawn By JL  
Checked By ME  
Rev. A revision



Issue No.	Description	Date
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Vancouver, BC

Drawn By	JL
Checked By	ME
Rev. A	revision

DESIGN RATIONALE- LEVEL 2 -6

Levels 2-4 include outdoor common patios with moveable tables and chairs, and moveable pots for accent/sensory plants. Private patios are similarly programmed with moveable furnishings and planter pots to cater to each unit. Augmenting these patios are numerous feature green roofs, planted with sedum mats and ornamental grass plugs, on the various levels in highly-visible areas to help create a relaxing and calm environment for the residents.

PLANTING TYPOLOGY LEGEND

SYMBOL	DESCRIPTION
<div></div>	SODDED GRASS LAWN TO CoV STANDARDS
<div></div>	LAYERED PLANTING -SHRUB/PERENNIALS/ORNAMENTAL GRASSES
<div></div>	FOUNDATION PLANTING -EVERGREEN SHRUBS + HEDGES
<div></div>	WEST-COAST THEMATIC PLANTING - SCULPTURAL TREES, GROUNDCOVERS, RIVER ROCK + BOULDERS
<div></div>	LAYERED GREENROOF PLANTING -SEDUM MATS / ORNAMENTAL GRASSES

KEY LEGEND

**A** EAST COMMON-AREA PATIO

**1** 60" HT. GUARDRAILS BY ARCH.

**2** MOVEABLE FURNISHING BY OWNER

**3** MOVEABLE PLANTERS FOR GARDENING ACTIVITIES

**B** WEST COMMON-AREA PATIO

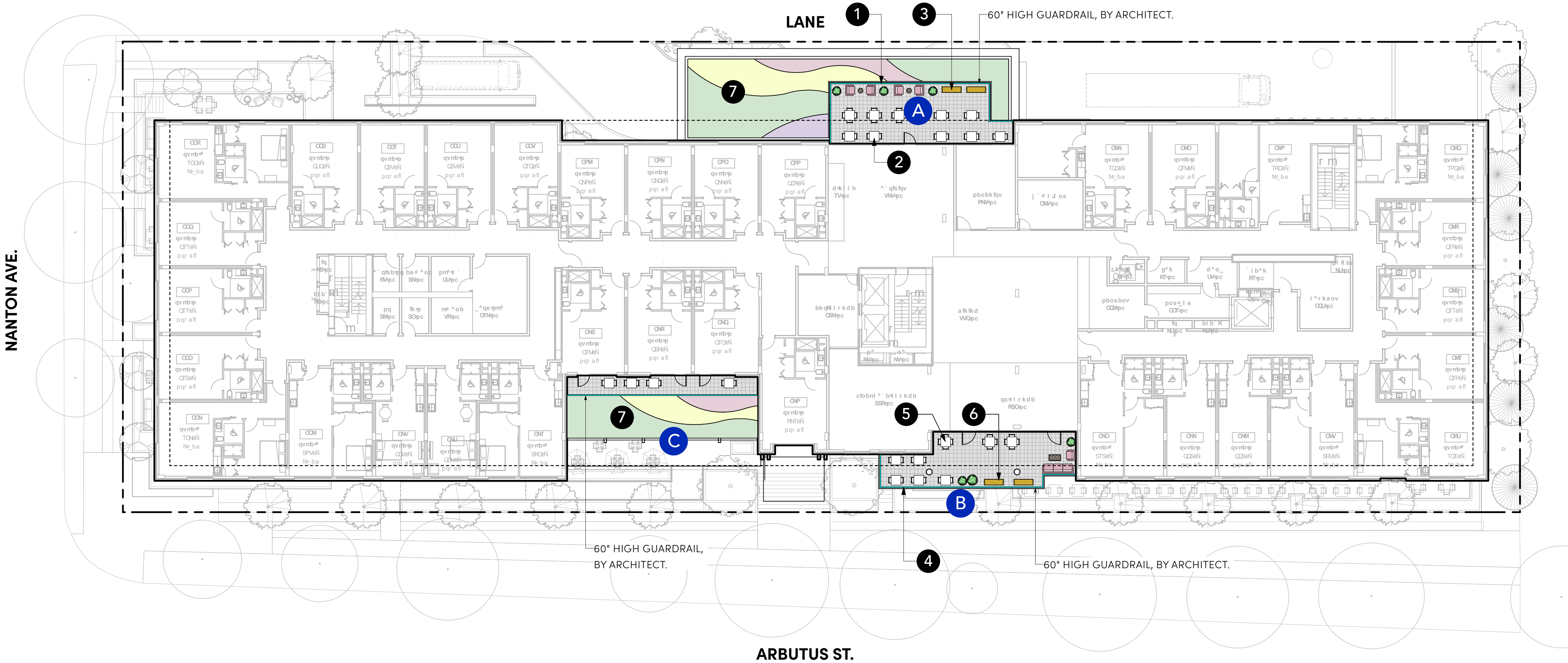
**4** 60" HT. GUARDRAILS BY ARCH.

**5** MOVEABLE FURNISHING BY OWNER

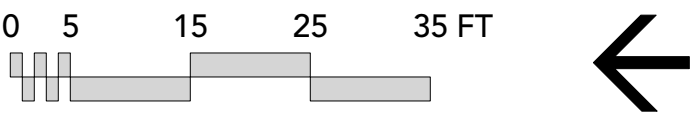
**6** MOVEABLE PLANTERS FOR GARDENING ACTIVITIES

**C** GREEN ROOF

**7** SEDUM MAT / ORNAMENTAL GRASSES



**1** LEVEL 2 - LANDSCAPE CONCEPT PLAN  
Scale: 1/16" = 1'-0"



Issue	No.	Description	Date
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4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, BC

Drawn By JL  
Checked By ME  
Rev. A revision

KEY LEGEND

- A

EAST COMMON-AREA PATIO
- 1

42" HT. GUARDRAILS BY ARCH.
- 2

MOVEABLE FURNISHING BY OWNER
- 3

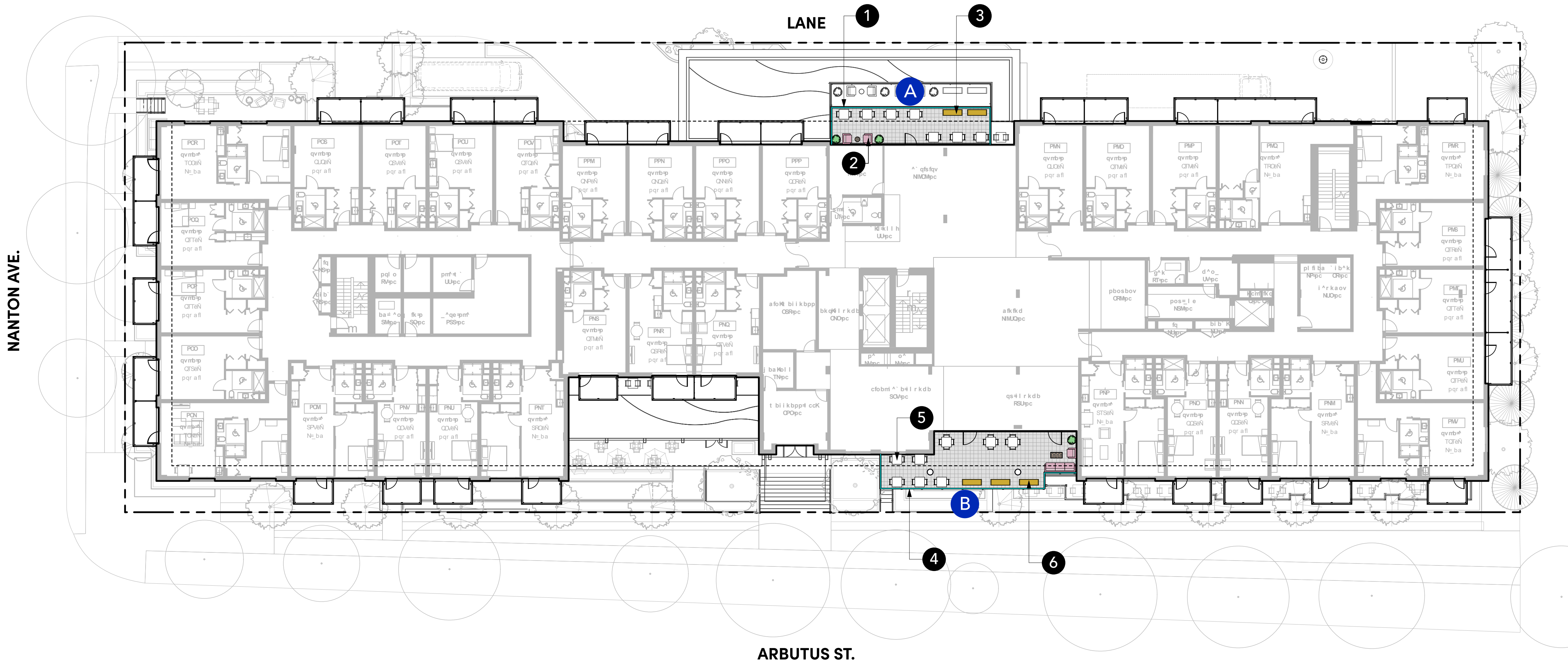
MOVEABLE PLANTERS FOR GARDENING ACTIVITIES
- B

WEST COMMON-AREA PATIO
- 4

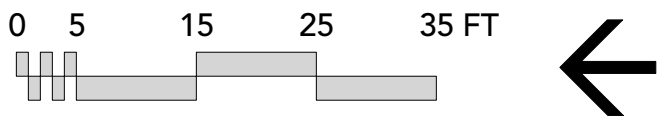
42" HT. GUARDRAILS BY ARCH.
- 5

MOVEABLE FURNISHING BY OWNER
- 6

MOVEABLE PLANTERS FOR GARDENING ACTIVITIES



1 LEVEL 3 - LANDSCAPE CONCEPT PLAN  
Scale: 1/16" = 1'-0"



Issue		
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Project Stamp

Project Info

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Amica Arbutus

4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, BC

Drawn By JL  
Checked By ME  
Rev. A revision

KEY LEGEND

- A

EAST COMMON-AREA PATIO
- 1

42" HT. GUARDRAILS BY ARCH.
- 2

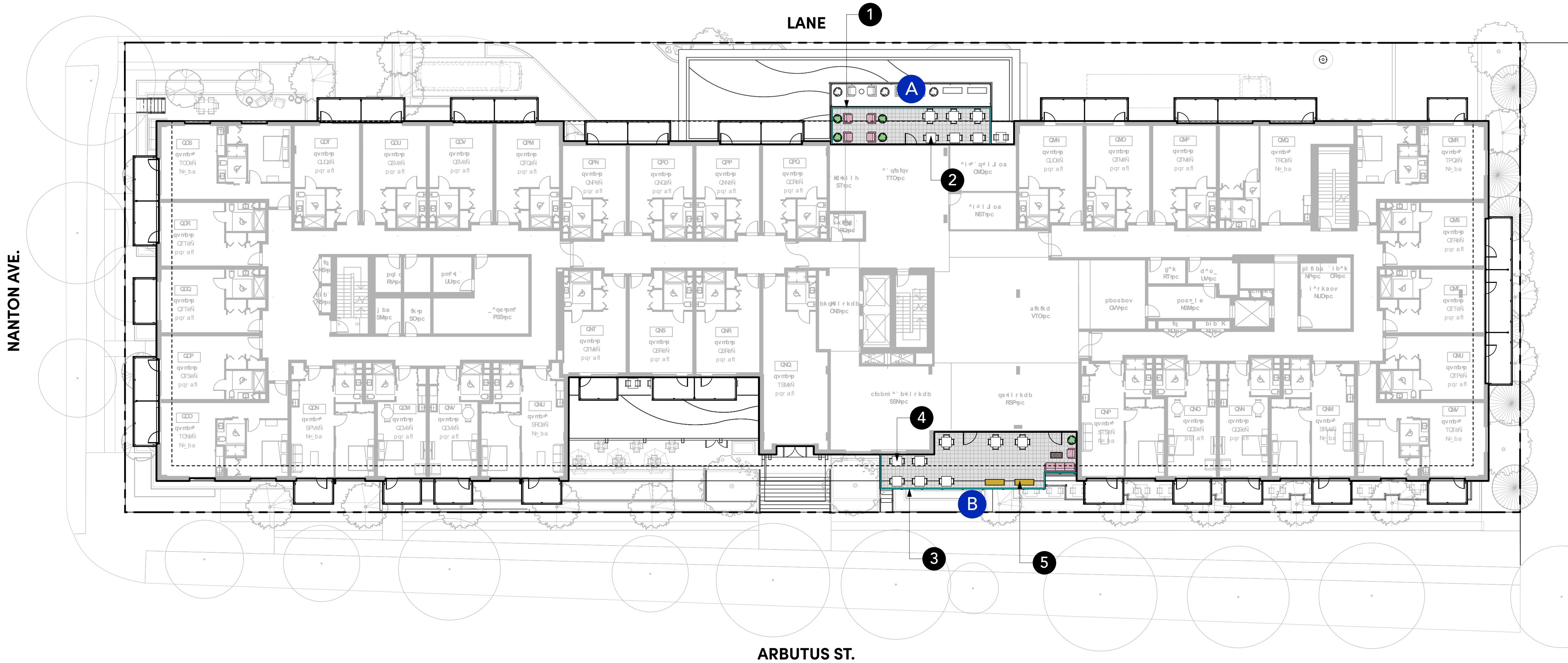
MOVEABLE FURNISHING BY OWNER
- B

WEST COMMON-AREA PATIO
- 3

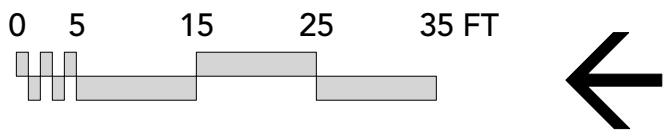
42" HT. GUARDRAILS BY ARCH.
- 4

MOVEABLE FURNISHING BY OWNER
- 5

MOVEABLE PLANTERS FOR GARDENING ACTIVITIES



1 LEVEL 4 - LANDSCAPE CONCEPT PLAN  
Scale: 1/16" = 1'-0"



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Drawn By JL  
Checked By ME  
Rev. A revision

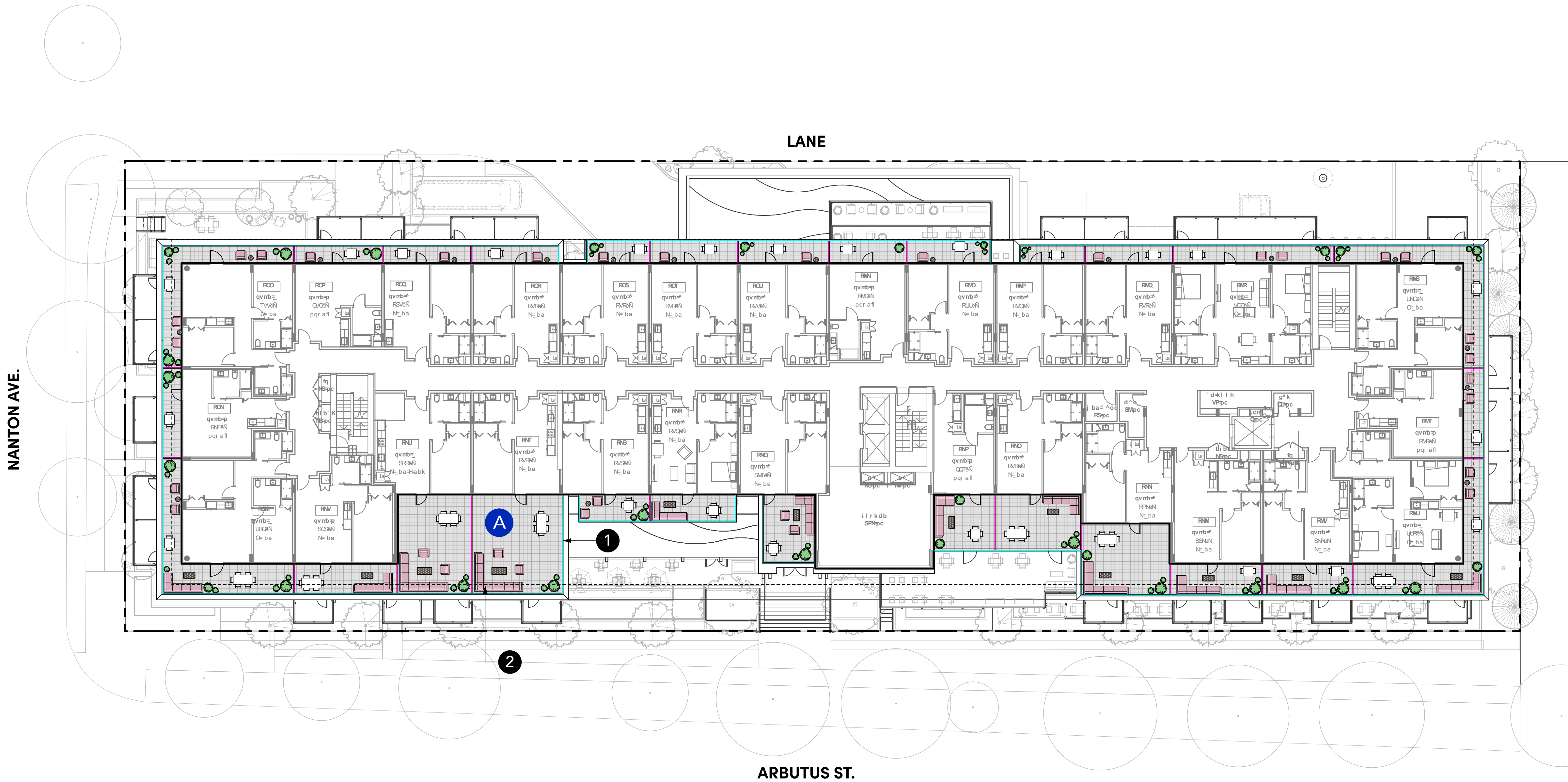
KEY LEGEND

- A

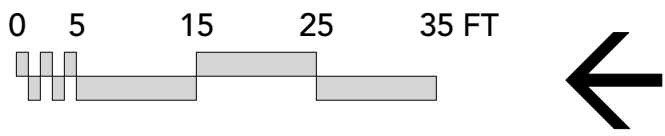
PRIVATE UNIT PATIOS
- 1

42" GUARDRAIL BY ARCH.
- 2

MOVEABLE FURNISHING BY RESIDENTS



1 LEVEL 5 - LANDSCAPE CONCEPT PLAN  
Scale: 1/16" = 1'-0"



Issue		
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D	Issued for Client Review	22-05-31
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F	Issued for Rezoning	22-06-15

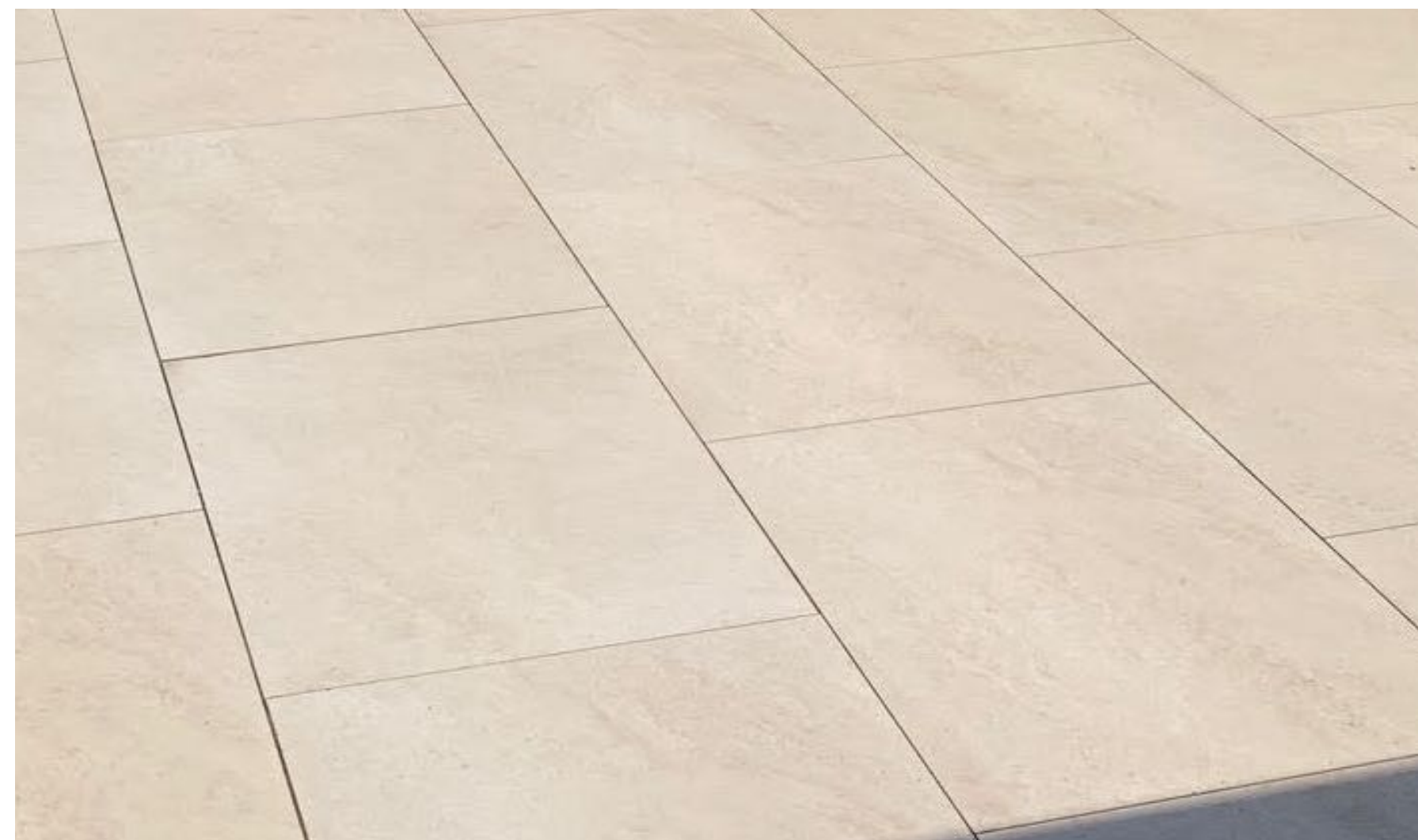
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Vancouver, BC

Drawn By JL  
Checked By ME  
Rev. A revision

DESIGN RATIONALE - ROOF DECK AMENITY

The roof deck allows for a variety of activities while adhering to Amica's guidelines: seating nodes for intimate gatherings or quiet reading, raised urban agriculture planters with potting tables and harvest tables, a games area with chess tables and shuffleboard, large social gathering areas by the covered sofa lounge, and outdoor dining with moveable tables/chairs and BBQ. Covered areas are proposed to allow for heating and lighting integration to maximize the useability of outdoor space for all-season use. Spaces also allow for open circulation and walking loop for users to explore and exercise. Bird attractions help bring nature to the roof deck for residents to enjoy.

KEY LEGEND

- A

CONTEMPLATIVE GARDEN

1

MOUNDED SEDUM PLANTING, BOULDERS, + SCULPTURAL PINES

2

BENCH SEATING
- B

SOCIAL LOUNGE

3

OVERSIZED SOFA SEATING

4

FIRE PIT

5

OVERHEAD PERGOLA WITH FLOWERING VINES
- C

COVERED OUTDOOR BBQ + DINING

6

GLASS CANOPY COVER WITH LIGHTING + HEATING

7

BBQ

8

MOVEABLE TABLES + CHAIRS
- D

URBAN AGRICULTURE / GARDEN

9

RAISED PLANTERS

10

TOOL SHED

11

HARVEST / POTTING TABLE

12

MOUNDED FEATURE PLANTER
- E

GAMES DECK

13

CHESS TABLES + SEATING

14

SHUFFLE BOARD
- F

INTIMATE SEATING NOOKS

15

MOVEABLE TABLES + CHAIRS

16

SEATING BENCH + TABLES

17

BIRD HOUSE + BIRD BATH
- G

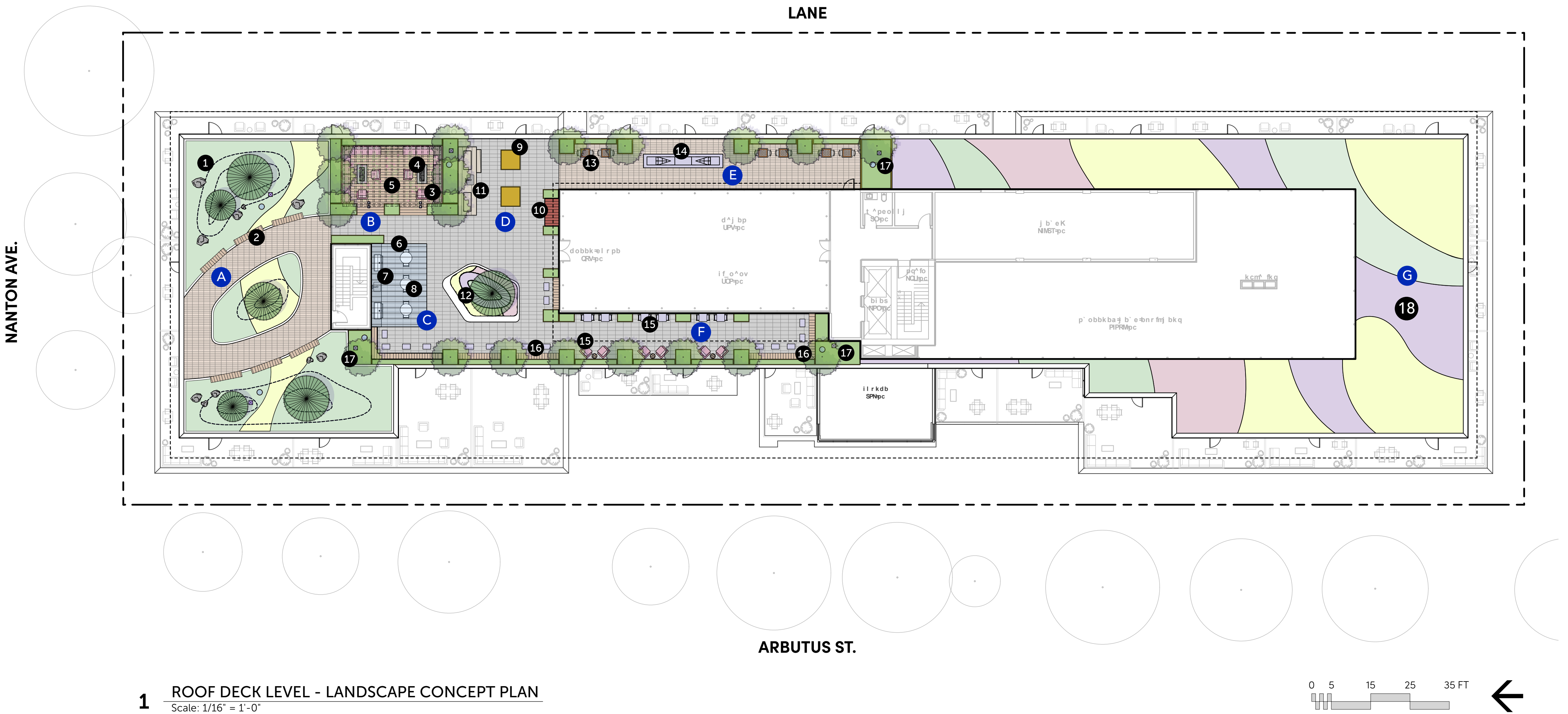
GREEN ROOF

18

SEDUM MAT + ORNAMENTAL GRASS PLUGS

PLANTING TYPOLOGY LEGEND

SYMBOL	DESCRIPTION
	SODDED GRASS LAWN TO CoV STANDARDS
	LAYERED PLANTING -SHRUB/PERENNIALS/ORNAMENTAL GRASSES
	FOUNDATION PLANTING -EVERGREEN SHRUBS + HEDGES
	WEST-COAST THEMATIC PLANTING - SCULPTURAL TREES, GROUNDCOVERS, RIVER ROCK + BOULDERS
	LAYERED GREENROOF PLANTING -SEDUM MATS / ORNAMENTAL GRASSES





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4330-4408 Arbutus St. & 2092 Nanton Ave.  
Vancouver, BC

Drawn By JL  
Checked By ME  
Rev. A revision

DESIGN RATIONALE- ROOF TOP

Green roofs have been incorporated at the top of the stair overrun and roof amenity space, comprised of gentle arcs of sedum mats and ornamental grass plugs.

KEY LEGEND

- A

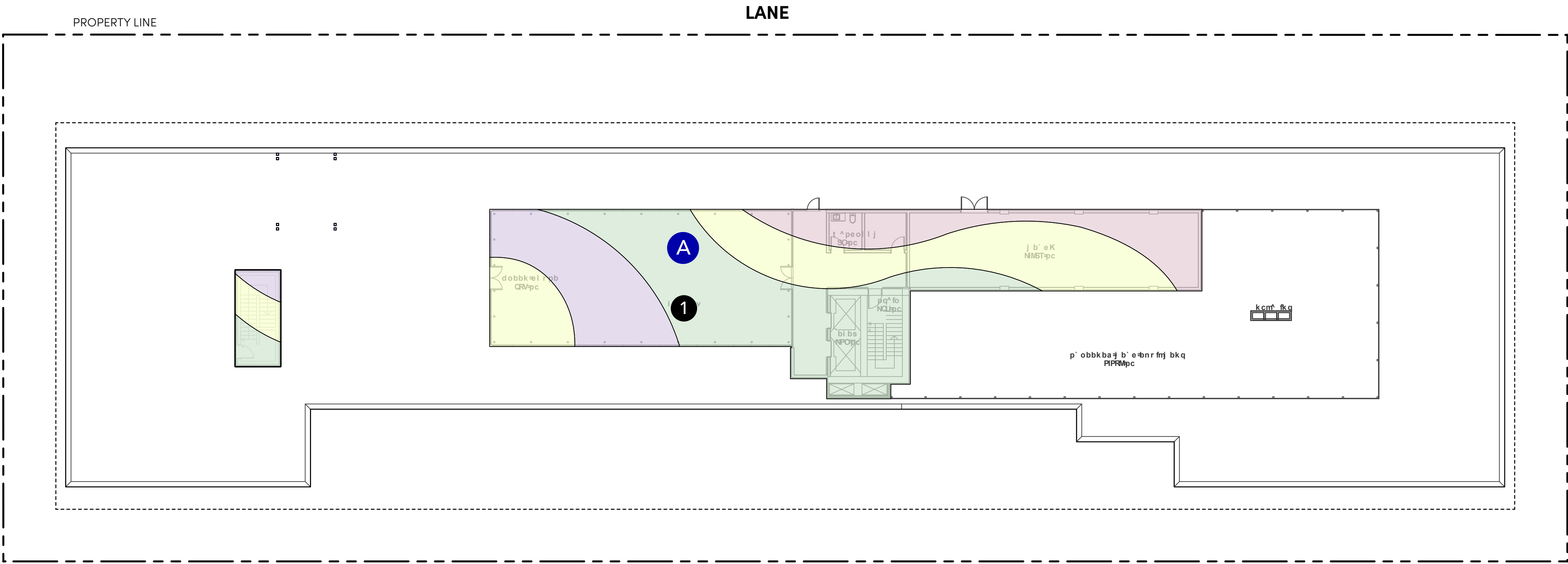
GREEN ROOFS
- 1

SEDUM MAT / ORNAMENTAL GRASS PLUGS

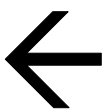
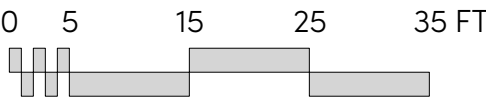
PLANTING TYPOLOGY LEGEND

SYMBOL	DESCRIPTION
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<div></div>	LAYERED GREENROOF PLANTING -SEDUM MATS / ORNAMENTAL GRASSES

NANTON AVE.



1 ROOF TOP LEVEL- LANDSCAPE CONCEPT PLAN  
Scale: 1/16" = 1'-0"



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