

138 East 7th Avenue

CD-1 (511) Rezoning Amendment Application *March 4th, 2025*



Pacific Investment Corporation

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Contents

1.0	Introduction	4.0	Design Rationale
	1.1 Rezoning Intent		4.1 Design Overview
	1.2 Rezoning Rationale		4.2 Project Statistics
	1.3 Project Goals		4.3 FSR Summary
	1.4 Project Scope of Work		4.4 Massing Study
	1.5 Project Team		4.5 Retained Existing Building
	1.6 Sarah McLachlan School of Music		4.6 Structural Upgrades
2.0	Site Analysis		4.7 Lane Setbacks and Privacy
	2.1 Site Context		4.8 Architectural Articulation
	2.2 Context Plan		4.9 Architectural Lettering
	2.3 Site Plan		4.10 Additional Entrance
	2.4 Existing Context		4.11 Shadow Studies
	2.5 Existing Building		4.12 Rooftop Garden
	2.6 Streetscape Elevations	5.0	Architectural Drawings
	2.7 Transportation		5.1 Site Plan
	2.8 Bike Routes and Green Spaces		5.2 Floor Plans
	2.9 Amenity Spaces		5.3 Elevations
	2.10 View Cones		5.4 Sections
3.0	Relevant Policies	6.0	Landscape Drawings
	3.1 Broadway Plan		
	3.2 Mount Pleasant Industrial Area		
	3.3 Zoning		
	3.4 Green Building Policy for Rezoning		

1.0 Introduction

1.1 Rezoning Intent

On behalf of Pacific Investment Corporation, **GWA Architecture and Liveable City Planning** are submitting this Rezoning Amendment to the existing Comprehensive Development CD-1 (511) for the property at 138 E 7th Avenue. The amendment application is to allow for a proposed four-storey addition to the existing two-storey building.

The project will add job spaces and amenities in the Mount Pleasant Industrial Area. It aligns with key Broadway Plan principles and objectives including:

- Contextual Design
- Foster a Robust and Diverse Economy,
- Support for Community Amenities and
- Provision for Employment Spaces in Station Areas.

The proposed addition supports the concept of adaptive reuse to extend the usefulness and service life of the existing concrete building. The design of the additional floors to the building responds to the local, historical, and emerging context of the site. The appropriate design proposed for the site will improve the urban setting and contribute to the placemaking in this important part of Vancouver.

When complete, the building will continue its longstanding support for the Sarah McLachlan School of Music. We have made a number of design interventions at the ground level to improve the operation of the school with an additional entrance at the lane and dedicated passenger loading areas for the students. These changes will improve movement options on the road and lane.

1.2 Rezoning Rationale

The project proposes 4-storey of additional office spaces to be added to the existing 2-storey building. The existing building is currently the Vancouver location for the Sarah McLachlan School of Music (SoM) and a tenanted office space. Along with adding additional office space to the area, the project is seeking to improve the passenger logistics for student pickup and dropoff, provide new shared amenity spaces, and new bike parking facilities. A visible addition to the project will be an illuminated display for identifying the school and a rear entrance addition to reduce congestion.

When complete, the project will contribute to the long-standing partnership with the Sarah McLachlan School of Music and the Wolverton Foundation. The Foundation, since 2011, has supported the services of SoM by providing the school with a (free) permanent location for the school at 138 E 7th Avenue including base rent and CAM costs. As an in-kind CAC, the proposed project will secure the viability of the long-term retention of the school at the current location. Works to the building will provide structural improvements to the existing classroom spaces, improved passenger site logistics, and provide access to the new shared amenity spaces and bike parking facilities.

The project is seeking a 66% parking relaxation from the Parking By-law. The required vehicle parking is a challenge for the proposed scheme to retain the existing building. The project site is located in a Transit Accessibility Level A zone. Details on the transportation study and the proposed TDM measures can be found in the Transportation Report.



proposed addition view from an elevated view from Main St. and East 7th Avenue

1.3 Project Goals

Healthy and Productive Workspaces

To provide a light and airy environment to create healthy and productive workspaces. The project aims to maximize available natural light in the office spaces with ample access to outdoor spaces. A shared landscape rooftop amenities space will be available to all the building occupants, and private balcony spaces will be provided in the office units.

Vibrant Public Realm

Plantings throughout the building will provide added urban greenery to the local area. The plants will provide a semitransparent screen for privacy between the private and public realm, while creating a visual complexity and depth when viewed from afar. The building addition uses setbacks at key locations to limit shadowing and to respect access to daylight and views for the public realm and the adjacent developments.

Adaptive Re-use

Maintaining links to the industrial heritage and memory of the place. The project proposes to retain the existing building through a process of adaptive reuse. The aim is to prolong the productive use of the existing building and provide densification of job spaces on the site. In the retained materials, stored embodied carbon is left in place and with it is a layering of history and memory of the place.

Biodiverse Landscaping

The rooftop planted areas enhance opportunities to provide habitats for birds, pollinators and area for rainwater retention. Preference is made for planting native plant species to create an endemic landscape suitable for the environment. A biodiverse landscape is achieved through a mimicking of nature by planting in clusters to create a layering of colours and patterns that refer to the Garry Oak Meadows found on Vancouver Island and parts of the Fraser Valley Region.

Contextual Design

The project site is at the transitional area between the Mount Pleasant Industrial Area, Main Street Village, and a contemporary mixed-use residential development. The design intention is to connect to these conditions by creating a dialogue between the disparate building types. The material and articulation of the building's street frontage relate to the industrial heritage of the area. The lane elevations are terraced and setback with planted balconies to relate to the features found in the historical buildings and the contemporary mixed-use development.

Community Amenity Space

The Sarah McLachlan School of Music offers a full spectrum of music programming and learning resources with the purpose of providing barrier free access to the transformative power of music learning, expression and a community with children, youth and adults 55+. The School has made the location on East 7th Avenue their permanent home for the last 11 years. The proposed development of the project will secure the long-term retention of the school at its current location.

1.4 Project Scope of Work

1. 4 - storey office addition to the existing 2 - storey concrete
2. Vehicle & bike parking reorganization and designated pickup and dropoff areas
3. Creation of end of trip facilities for cyclist
4. Seismic upgrades
5. Entrance enhancements to reduce congestion
6. Illuminated lettering to communicate the Sarah McLachlan School of Music
7. Rooftop Gardens

1.5 Project Team

Client	Pacific Investment Corporation
Development Consultant	Liveable City Planning
Architect	GWA Architecture
Structural Engineer	RJC Engineering
Sustainability	Edge Consulting
Transportation	Step One Mobility
Geotechnical	GeoPacific Consulting
Landscape	Connect Landscape
Civil	Creus Engineering

1.6 Sarah McLachlan School of Music

Sarah McLachlan established the **Sarah McLachlan School of Music (SoM)** in 2002 and incorporated as a registered charity in 2011. SoM is a youth and community development program centred around strengthening the well-being of children, youth, and adults 55+ by providing barrier free access to the transformational power of musical learning and expression.

Since 2002, SoM has grown from 75 students to 1,000 students participating annually across three SoM locations. Students travel from over 200 schools to the location on East 7th. The School receives an amazing and diverse population and services children and youth in challenging conditions.

Music inspires students to participate and join SoM. The aim of the SoM is to create a culture with the students for working toward improving on their instruments, making friends, and building the confidence to engage with their peers. SoM believes in celebrating the students and their achievements, while providing additional support to those struggling to engage.

SoM works to make music more accessible for children by continually growing their numbers and programs to support their students in meaningful and impactful ways. With the help of the unique partnership with the Wolvertons Foundation, the school is leading the conversation on how we can do better for kids right across this country.

The Wolverton Foundation's supports the services of SoM by providing the school a with a permanent location for the school at 138 E 7th Avenue since 2011.

The proposed project will secure the viability of the long term retention of the school at the current location. Works to the building will provide structural improvements to the existing classroom spaces, improved passenger site logistics and provide access to the new shared amenity spaces and bike parking facilities.



2.0 Site Analysis

2.1 Site Context

The project site is in the Mount Pleasant Industrial Area and is part of the policy area of the Broadway Plan. It is currently a vibrant creative and cultural production hub and is an emerging center for technology and innovation in the city.

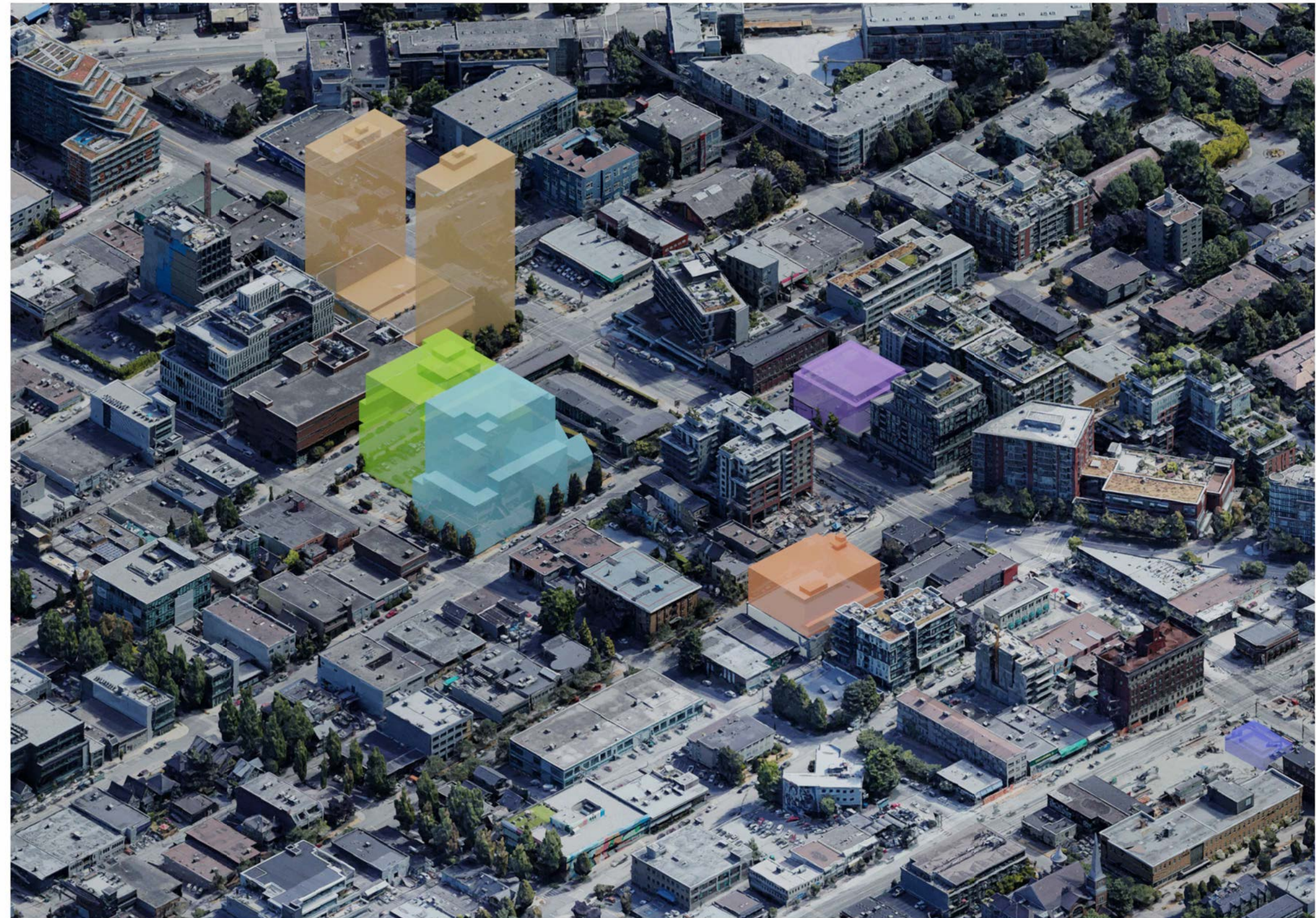
The immediate area is currently a mix of light industrial, multifamily residential, and commercial spaces. It is uniquely centered around a concentration of cultural amenities spaces supporting the arts and entertainment in the city.

The area is well-connected to transit, bike routes and greenways. The addition of the new Mount Pleasant Station will provide even better connections to the West. The proposed project is in line with the goals of the Broadway Plan to intensify opportunities for office job spaces close to rapid transit stations.

The area is in the process of a transit period of developing the area to create more density with several office developments under construction or in planning. The sizes and locations of these projects are highlighted in the image on the right.

Key

- 123 E 6th Ave - 12 Storey Office, Wholesale
- Mount Pleasant Station
- 138 E 7th Ave - Project Site
- 110 E 5th Ave - 9 Storey Office, Industrial, Digital
- 2015 Main St - 25 Storey Residential
- 2202 - 2218 Main St - 6 Storey



138 E 7th Ave - Project Site

123 E 6th Ave 12- Storey

110 E 5th Ave 9 - Storey

2.2 Context Plan

A - 138 E 7th Ave (Project Site)

B - 188 E 6th & 2221 - 2299 Main Street

9 - Storey (58.21m) mixed used Social Housing and Retail CD-1 (719) zoning (3.3 FSR)

C - 123 E 6th Ave

12 - Storey (45.75m) mixed use wholesale and office I-1B zoning 6.6 FSR
DP Approval Process (DP-2022-00033)

D - 110 E 5th Ave

9 - Storey (37.12m) mixed use industrial, office, digital industry I-1B zoning 6.0 FSR
DP Approval Process (DP-2017-00899)

E - 102 E 4th Ave

8 - Storey (32.5m) mixed use industrial and office. I-1A zoning 5.0 FSR
DP Approval Process (DP-2022-00184)

F - 2 E Broadway

12 - Storey (45.0m) mixed use industrial and office. CD-1 zoning 7.5 FSR
DP Approval Process (DP-2022-00184)

G - Mount Pleasant Station

H - 133 E 8th Ave

6 - Storey (23.9m) mixed use residential and office C-3A zoning 3.0 FSR

I - 1 Kingsway

Mount Pleasant Community Centre & Vancouver Public Library, Mount Pleasant Branch
10 - Storey mixed use residential and office



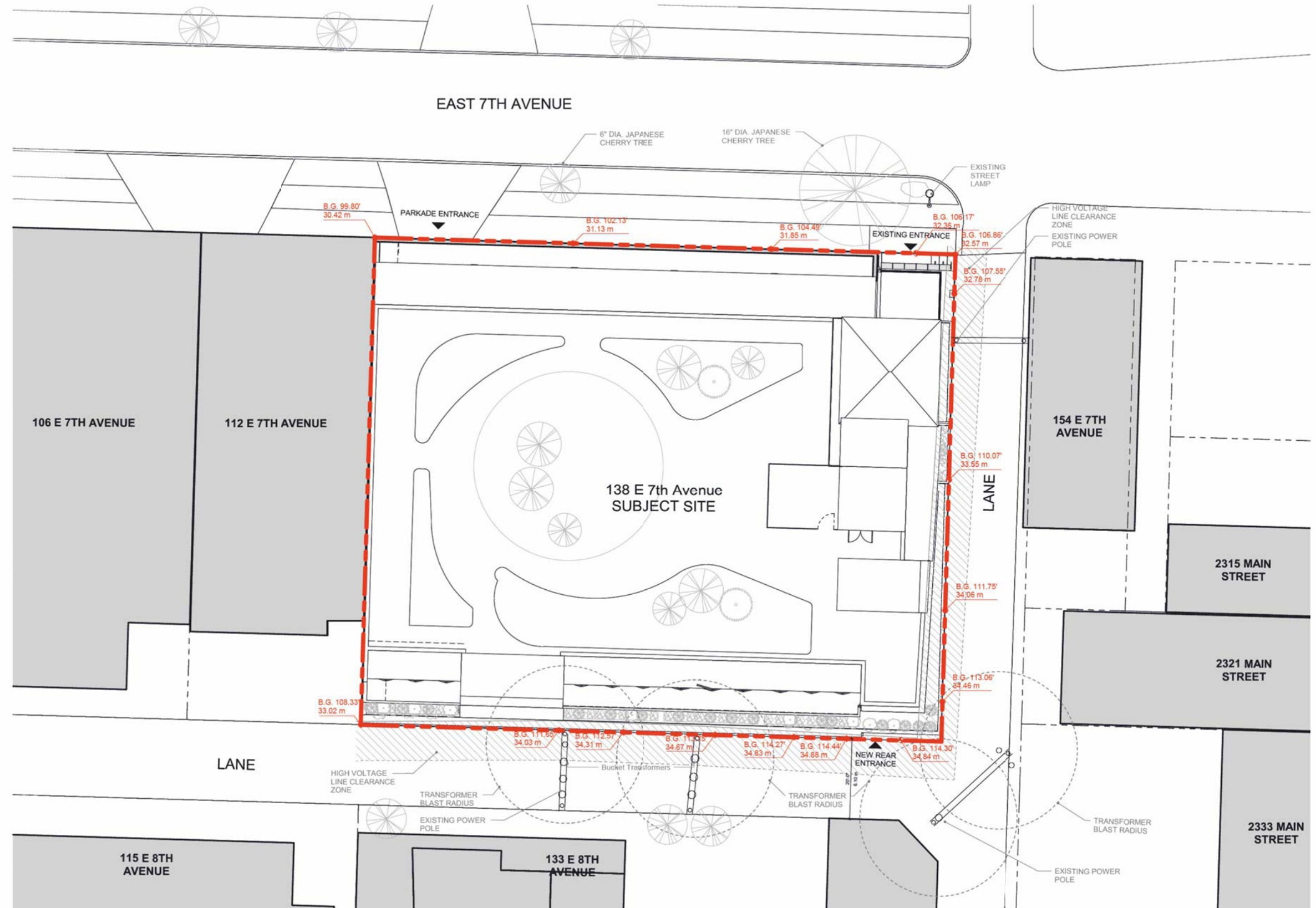
2.3 Site Plan

Zoning - CD-1 (511)

Site Dimensions

- 122' x 145' (37.2m x 44.2m)

Site Area - 17,690 sq ft (1643.5 sm)



2.4 Existing Historic Industrial Context



2305 Main Street
Mural on the North Elevation
Slims BBQ
(Restaurant)



156 E 7th Ave.
Power Shift Yoga
(Fitness Studio)



112 E 7th Ave.
Bikes for All
(Office and Retail)



106 E 7th Ave.
Bikes for All
(Office and Manufacturing)



106 E 7th Ave.
Bikes for All (Lane Elevation)
(Office and Manufacturing)



112 E 7th Ave.
Bikes for All (Lane Elevation)
(Office and Retail)



156 E 7th Ave.
Power Shift Yoga (Lane Elevation)
(Fitness Studio)



2321 Main St.
Fox Cabaret (Lane Elevation)
(Entertainment)



97 E 7th Ave.
Quebec Manor
(Co-op Housing Residential)



131 E 7th Ave.
(Multi family Residential)



141 E 7th Ave.
All Star Dental
(Medical Offices)

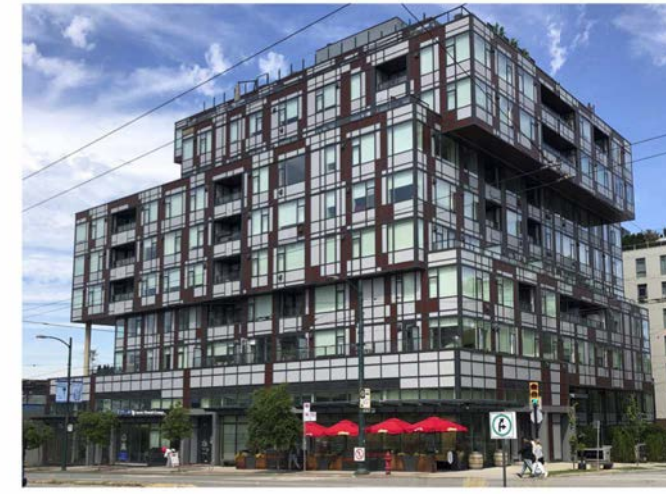
2.4 Emerging Context



133 E 8th Ave (View from Lane)
Collective 45
(6 Storey Mixed Use - Residential Strata)



188 E 6th Ave.
Aspen
(9 Storey Mixed Use - Residential Affordable Housing)



207 E 7th Ave
Ellsworth
(9 Storey Mixed Use - Residential Strata)



138 E 8th Ave.
Gemini Mount Pleasant
(6 Storey - Mixed Use Strata Residential)



1 Kingsway
Mount Pleasant Community Centre
Vancouver Public Library - Mount Pleasant Branch
(10 Storey - Cultural and Residential)



114 E 4th Ave.
Main Alley M2
(8 Storey - Mixed Office Retail)



161 E 4th Ave.
The Workshop
(7 Storey - Office)

2.5 Existing Building

The existing building is a concrete structure with a glazed curtain wall for the main facade and CMU concrete masonry infill walls on all other sides.

The use of the building was originally designed as a bowling alley and it was later converted into a manufacturing facility and more recently into the Sarah McLachlan School of Music and office spaces.

The site was originally zoned as I-1 Light Industrial Uses. In 2011 it was rezoned to a CD-1 (511) to allow for the renovation and conversion of the building for the Music School and office uses.

The height of the existing building is 13.0m (42'8") at a density of 1.72 FSR. The currently allowable height and density under the current CD-1 (511) is a height of 18.3m (60'0") and a density of 3.0 FSR.



View looking from the North East corner



View looking from the North West corner



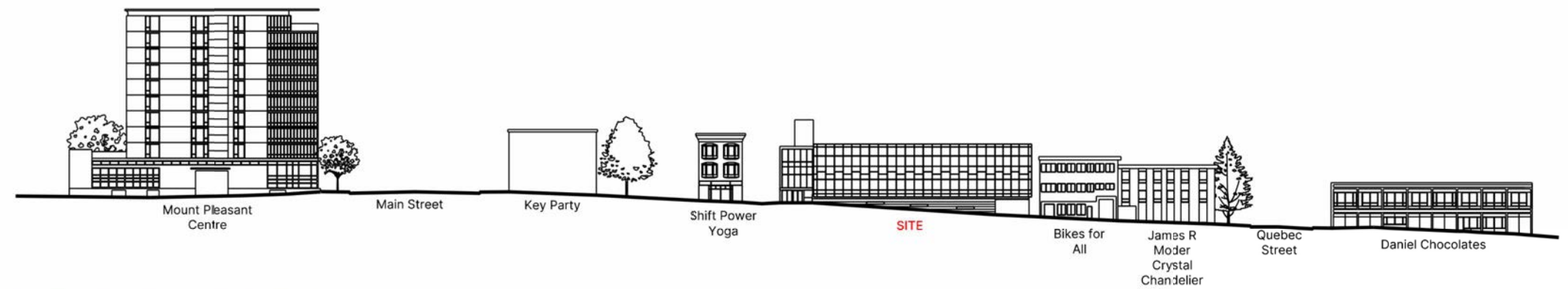
View looking from the South East corner



View looking from the South West corner.

2.6 Streetscape Elevations

The site is on a corner abutting a shared lane with Main St. The surrounding is a mix of building types from different periods. The majority of the older buildings are for industrial and commercial use. The recent additions to the area are denser and taller residential mixed-use developments.



North Elevation - East 7th Avenue



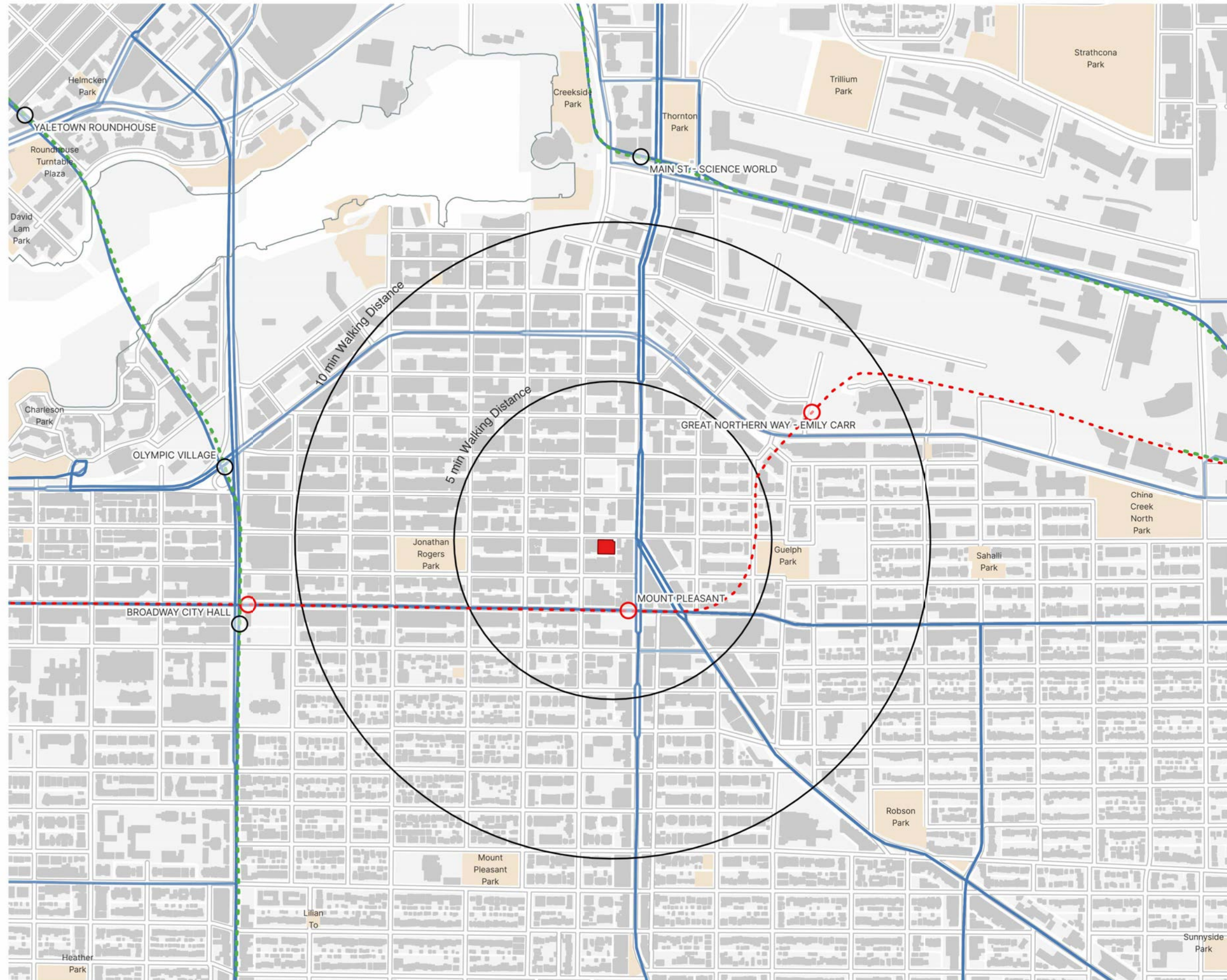
East Elevation - Lane



South Elevation - Lane

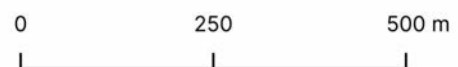
2.7 Transportation

The site is conveniently located in close proximity to several bus routes serving Broadway, Main Street and Kingsway. With the completion of the Broadway Subway, the site will be within 5 mins walking distance to the proposed Mount Pleasant Station.



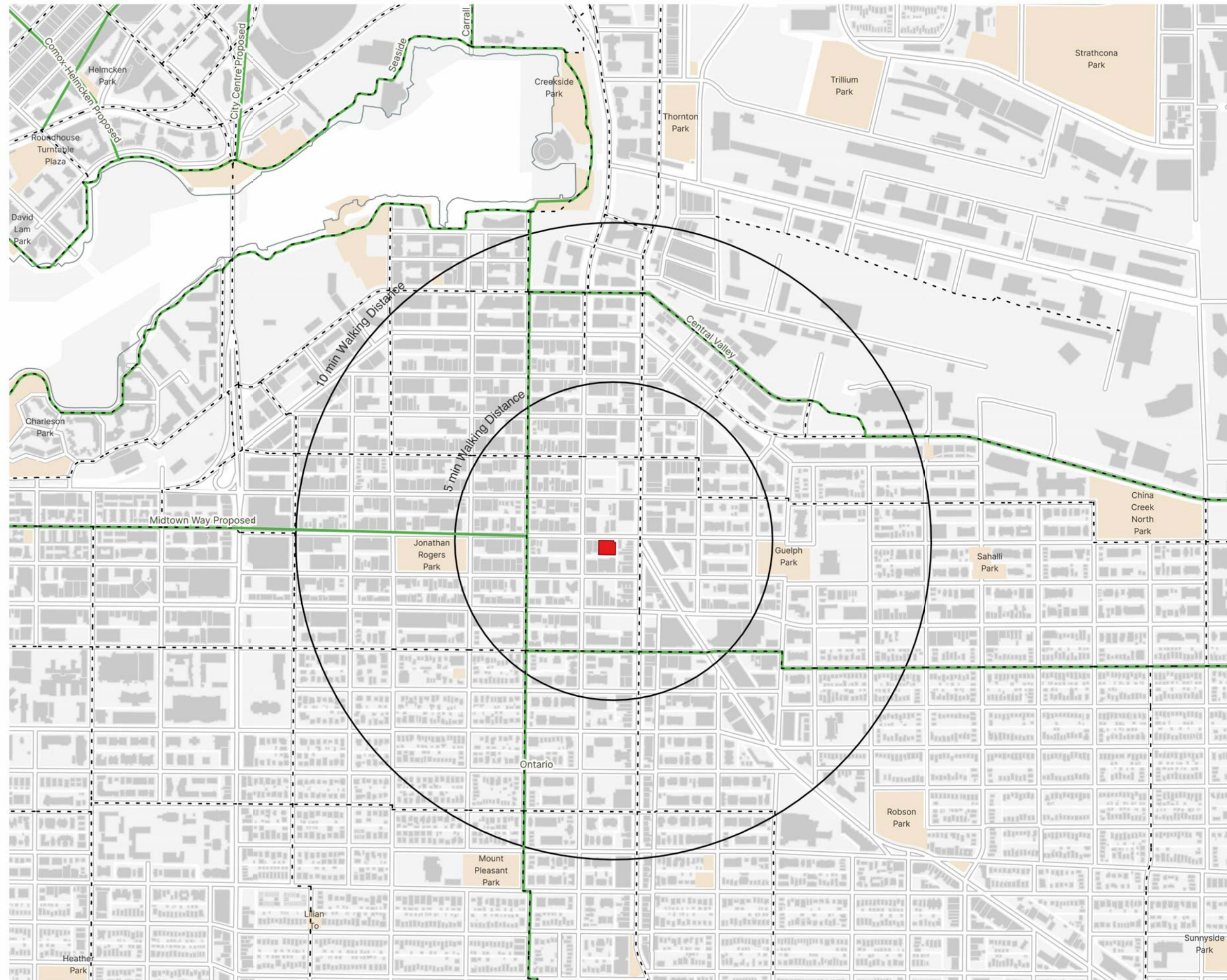
Legend

- Skytrain Stations
- Broadway Subway Stations
- Skytrain Line
- Broadway Subway Line
- Bus Routes
- Parks
- Site



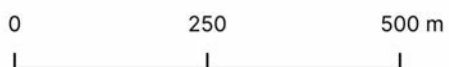
2.8 Bike Routes and Green Space

The site is well connected to cycle routes and greenways and benefits from the nearby park spaces (Jonathan Rogers Park and Guelph Park) and the proposed Main and 7th Park.



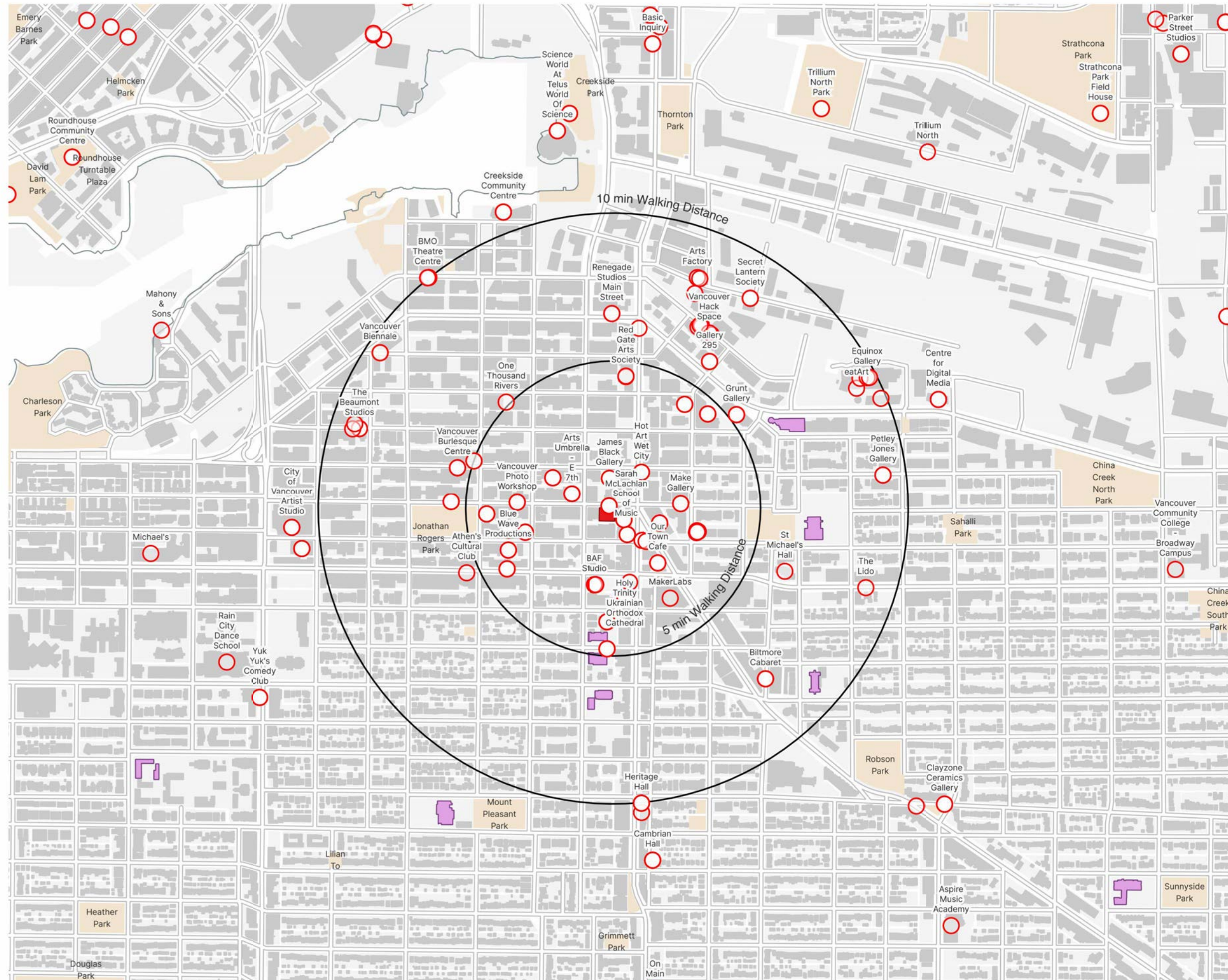
Legend

- - Bikeways
- Greenways
- Site
- Parks



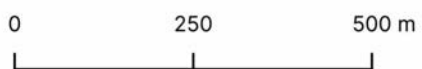
2.9 Amenity Space

There is a concentration of arts and cultural spaces for education, galleries, production, performance and entertainment in the surrounding area of the site. Most of the venues are within walking distance. The site benefits, as well, from the variety and abundance of local shops and restaurants located on Main Street and Broadway.



Legend

- Cultural Spaces
- Parks
- Site
- Schools



2.10 View Cones

The Queen Elizabeth Park View 3.2.4A View Cone, protecting the view of the Burrard Inlet from Queen Elizabeth Park, passes above the site.

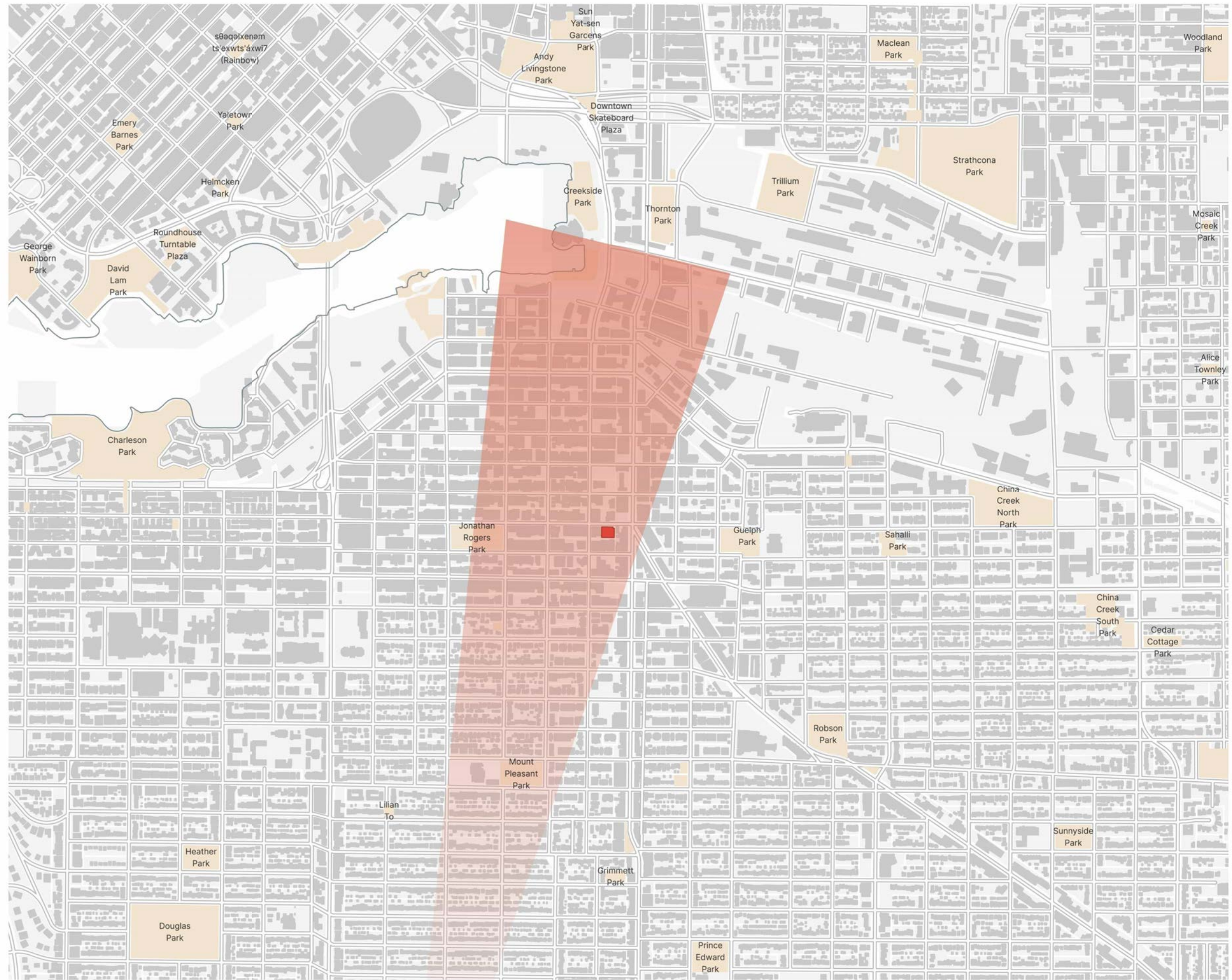
The maximum height of the view cone on the site is 43.5m (142.717').

Legend

- Site
- 3.2.4A Queen Elizabeth View Cone



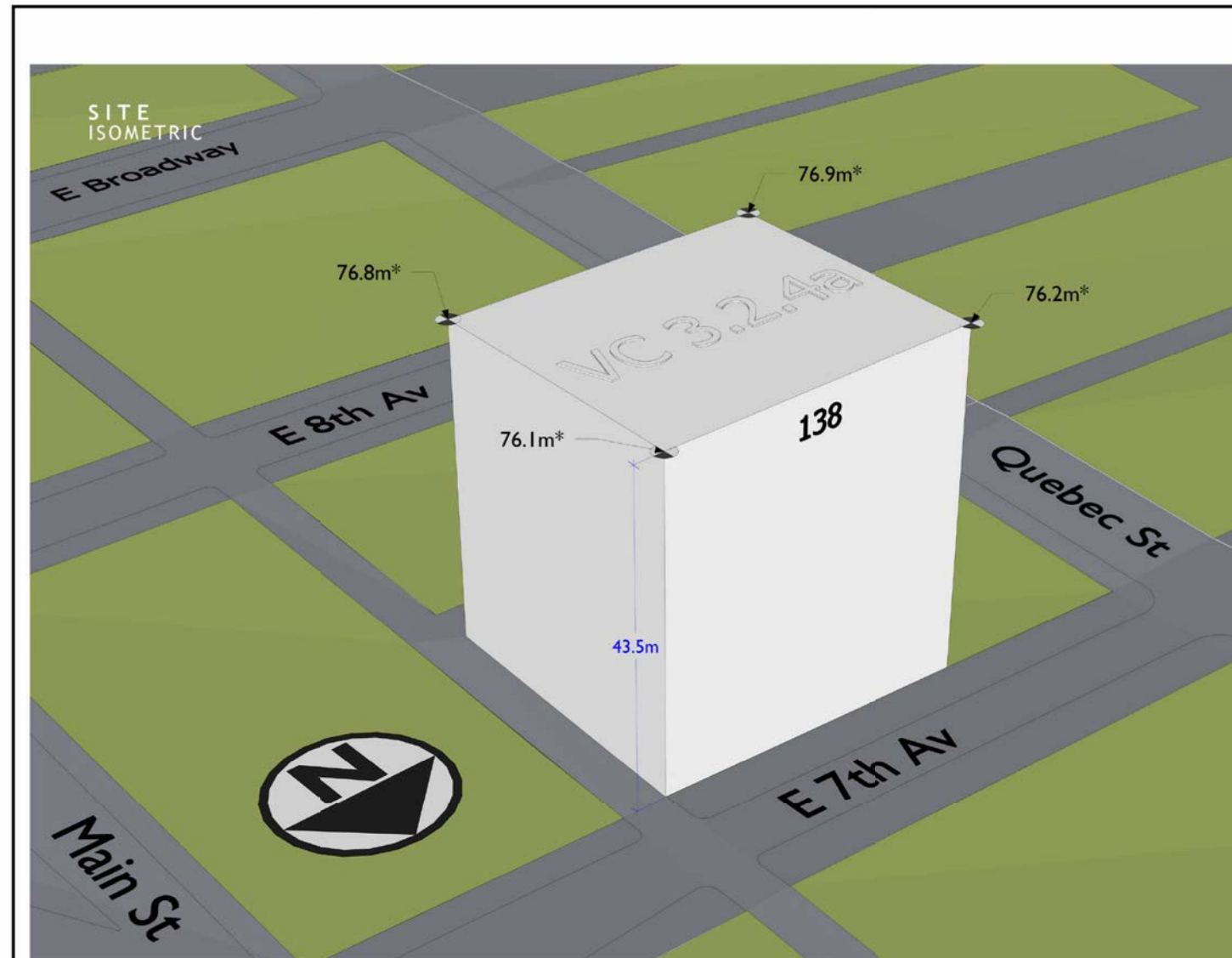
0 250 500 m



2.10 View Cones

The Queen Elizabeth Park View 3.2.4A View Cone analysis prepared by the City of Vancouver.

As indicated in the illustration the maximum height to the View Cone is 43.5m (142.717') from the building grades.




Maximum building height is determined by the Zoning and Development By-law, Official Development Plan, and City adopted View Cones - whichever is more restrictive. The attached View Cone Illustration indicates the approximate height of the most restrictive View Cone(s) above your site. These height(s) are derived from estimated grades and preliminary View Cone heights and should not be considered as final or precise. A View Calculation Record, which provides maximum geodetic elevations, may be requested by submitting a schematic architectural design and Building Grades.

Note that elements such as roof top mechanical and roof top appurtenances such as elevator overruns/ stairs cannot protrude into the view cone. All parts of the development must be anticipated and planned for, including stairs, screen walls, mechanical rooms, elevator overruns, etc., must be located below this height, and will not be treated as "exceptions" to the view cone.

Please note that the provision of a maximum height does not imply support or approval that all buildings should go to the maximum height, or fill the building envelope fully to the maximum. As part of the complete development review process, building design must also respond to other policies and guidelines, which may require further shaping, stepping, reductions and/or refinement of the building tops.

The City of Vancouver's View Cone data set was updated in April 2018. The heights noted on the attached illustration supersede any previous advice supplied for this site.

*Heights noted are geodetic elevations unless otherwise noted.

 CITY OF VANCOUVER Planning, Urban Design & Sustainability	BASIC VIEW CONE BUILDING HEIGHT LIMITS		View Cones crossing the site: 3.2.4a		The attached image depicts the most restrictive View Cone(s). Please be advised there may be other View Cones crossing the site as listed here.
	Address: 138 E 7th Ave		Originally requested by: Andrew Hum (Gair Williamson Arch)		
			Date: July 8, 2022		Page No: 1 of 1

view cone analysis provided by the City of Vancouver Planning, Urban Design & Sustainability Department

3.0 Relevant Policies

3.1 Broadway Plan

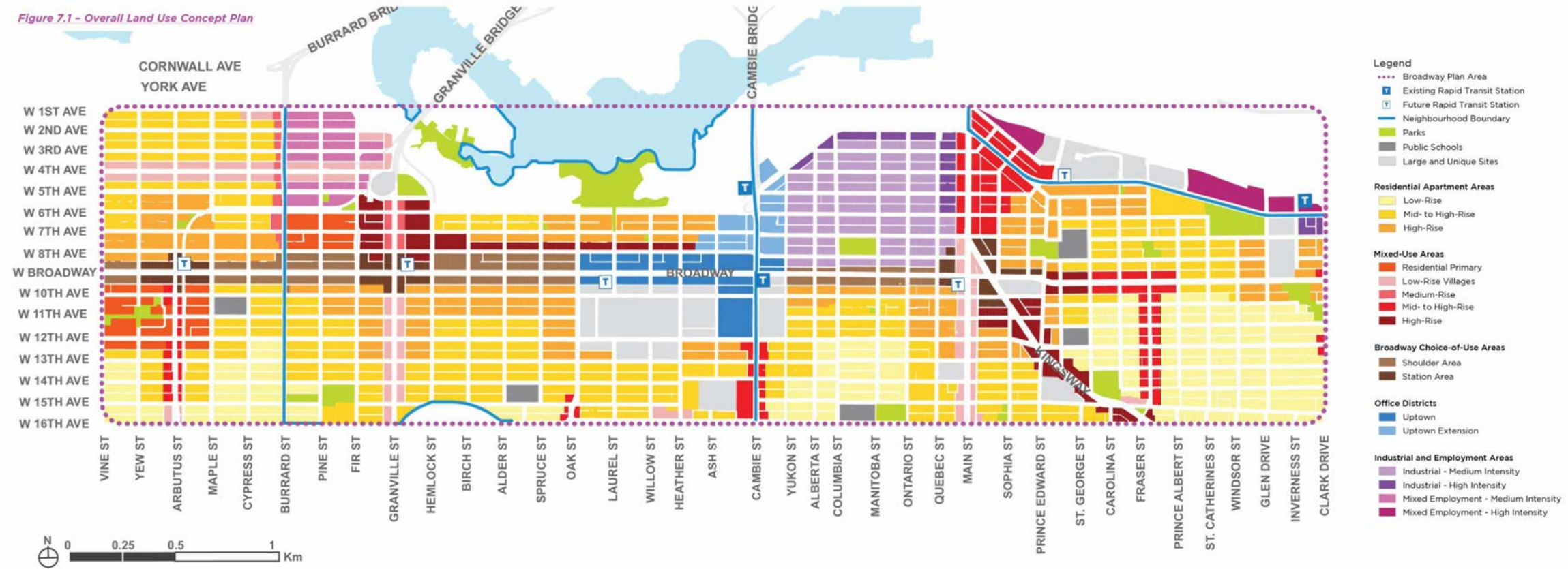
The Broadway Plan centers along Broadway and spans an area from Clark Drive in the east to Vine Street in the west. The plan provides a framework to guide future developments in the area to achieve goals of growth, positive change and the delivery of public benefit over the next 30 years.

The plan aims to integrate additional housing, job spaces, new shops and services and amenities close to high-quality rapid transit, to create a complete, inclusive and affordable transit-oriented neighborhoods. The Broadway Subway will make it more convenient and enjoyable to get around by walking, rolling, cycling or transiting.

Our project, just minutes walking distance from the new Mount Pleasant Station, will support the goals by creating healthy and vibrant job spaces while continuing to support the Sarah McLachlan School of Music as a Community Amenity Space.

The proposal is aligned with the additional policy **clause 10.1.4** for this site to consider a modest increase in height and density for office, service, institutional and/or cultural uses to support the long-term retention of the existing music school.

Figure 7.1 – Overall Land Use Concept Plan



extract from the Broadway Plan Policy document

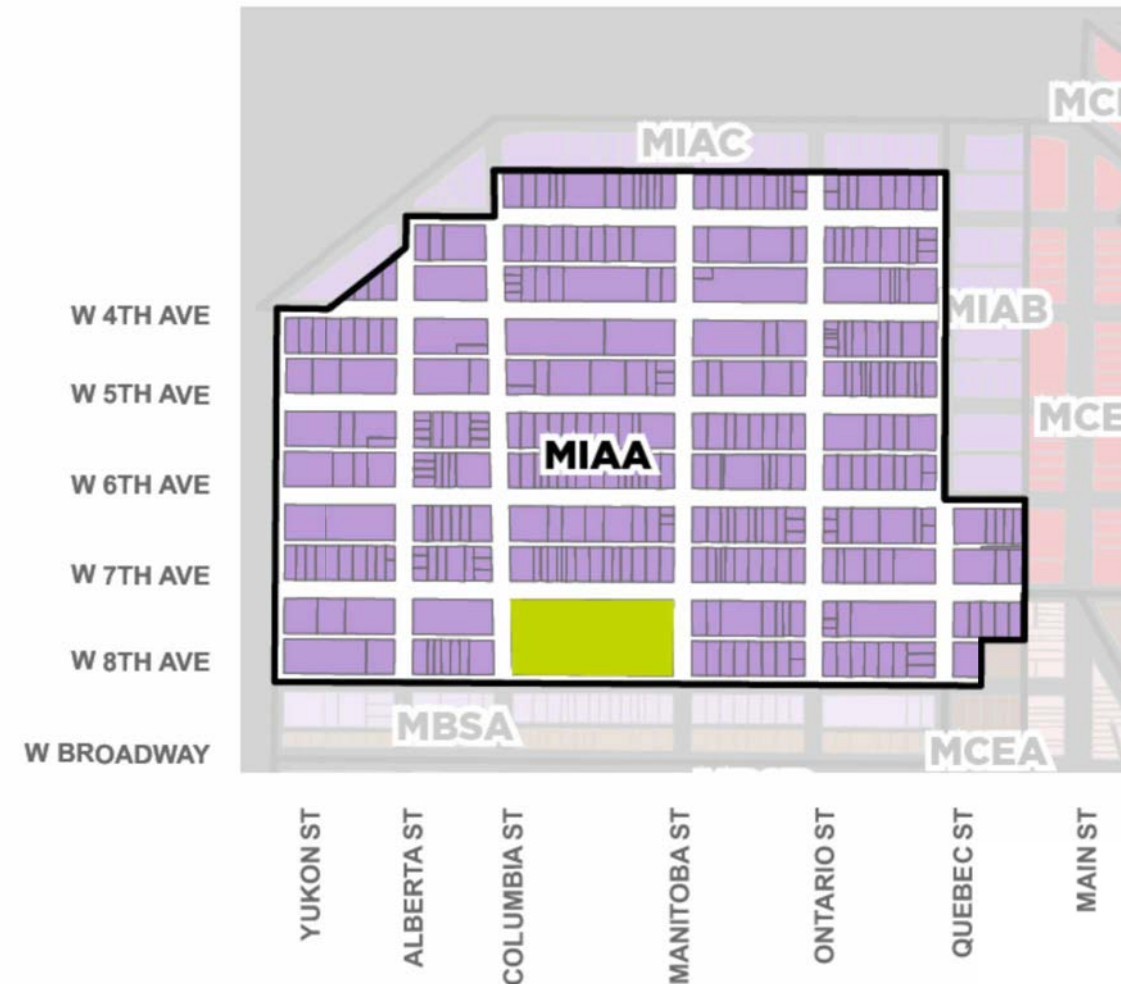
3.2 Mount Pleasant Industrial Area

Mount Pleasant Industrial Area is a centrally located light industrial area. Initially established as a single family neighborhood, the area transformed into a location for industry in the 1940s for the production, distribution and repair of manufactured goods. More recently, the area has expanded to the innovation economy in the digital, interactive, and entertainment uses and the creative economy uses with breweries, restaurants and cafes. This eclectic mix has created a unique vibrancy and energy in the area.

The goal of the Broadway Plan for the area is to strengthen the area as a vibrant creative production area by enhancing its light industrial function while strategically increasing opportunities to support the innovation economy.

The Broadway Plan will support a modest increase in height and density to support innovation and creative economic uses.

Refer to item 10.1.4 of the Broadway Plan.



extract from the Broadway Plan Policy document

Intent

Strengthen the heart of the Mount Pleasant Industrial Area as a vibrant creative production area by enhancing its light industrial function while strategically increasing opportunities to support the innovation economy.

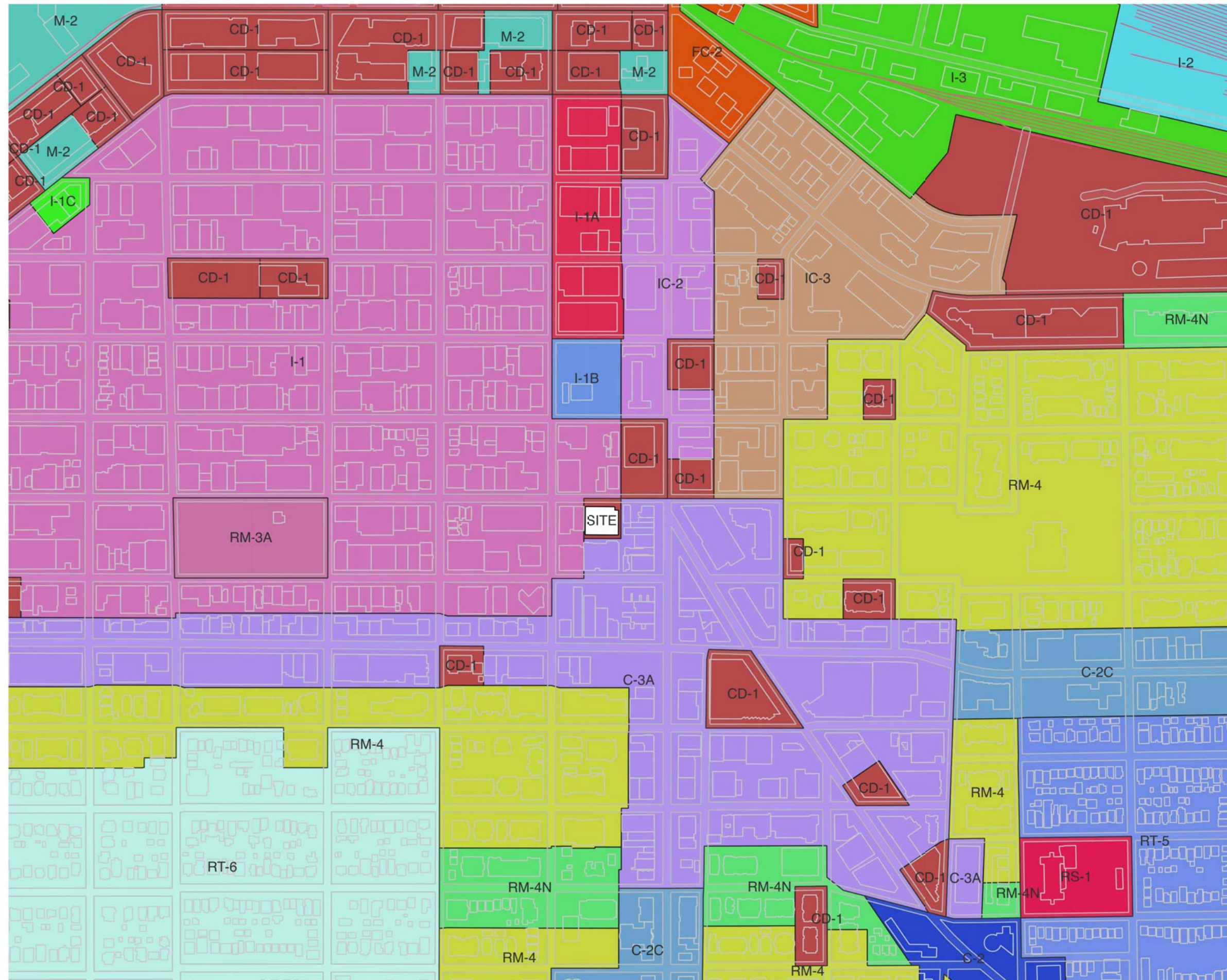
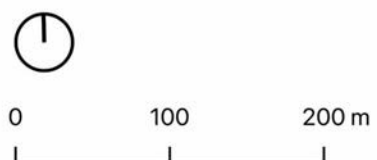
3.3 Zoning

The site is in a site-specific CD-1 (511) in the Mount Pleasant Industrial Area - Area A (MIAA). The surrounding area is a mix of industrial, commercial and residential uses with buildings at a range of height and densities.

The location of the site on East 7th and Main St. is at a junction between different use categories. This contributes to the vibrant mixed-used community of the area, but presents some design challenges.

Legend

- | | | | |
|--|------|--|-------|
| | Site | | IC-2 |
| | CD-1 | | IC-3 |
| | C-3A | | M-2 |
| | FC-2 | | RM-3A |
| | I-1 | | RM-4 |
| | I-1A | | RM-4N |
| | I-1B | | RS-1 |
| | I-1C | | RT-5 |
| | I-2 | | RT-6 |
| | I-3 | | |



3.4 Green Building Policy for Rezoning

The proposal follows the requirements set out in the Green Building Policy for Rezoning 2022. The scope pertains to the newly proposed office addition with the intent to achieve the relevant requirements relating to sustainable design and construction.

The project strategy includes several sustainability features, an integrated rainwater management, a green infrastructure plan and an enhanced commissioning process in place to meet the requirements for the Green Buildings Policy.

For details refer to the Green Buildings Policy for Rezoning refer to the Sustainable Design Strategy Report.

138 E 7th Avenue

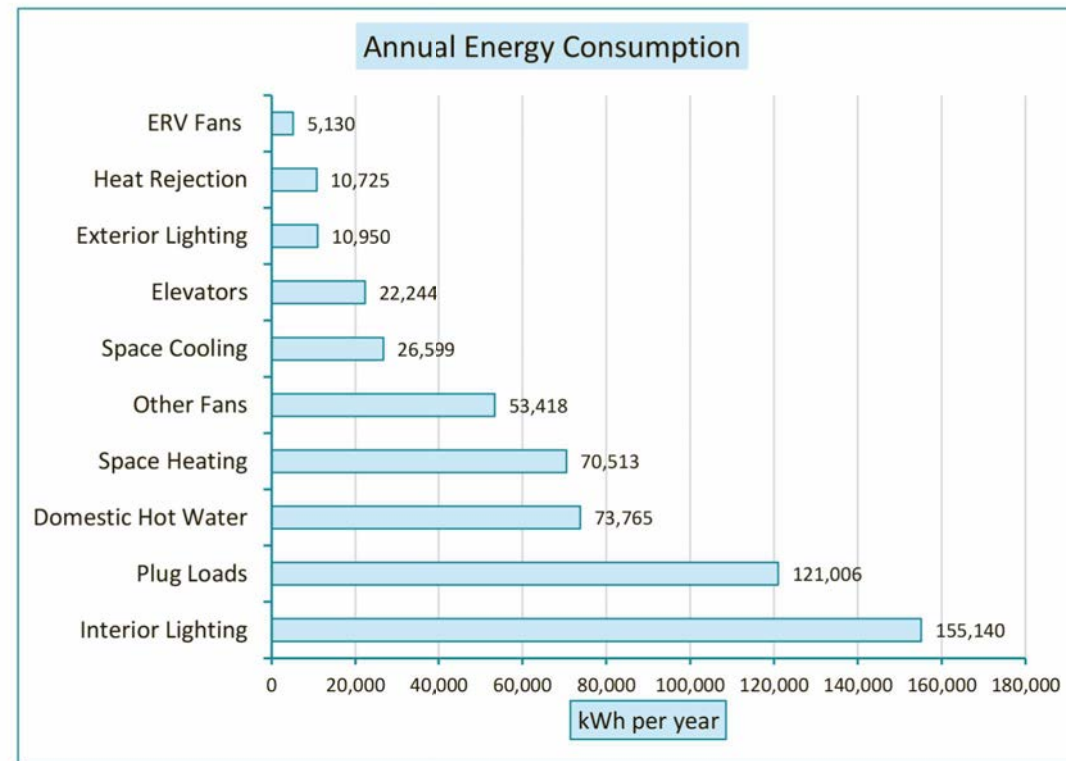


Figure 6: Energy end-use breakdown.

The highest energy consumer is seen to be interior lighting, which consumes 28% of the total annual building energy consumption. Table 12 displays the values indicated in Figure 6 in tabular format. The table also provides a column which indicates the calculation procedure used to arrive at the resulting energy consumption for each end use.

Energy Model Results - Annual Consumption			
End Use	Calculation Procedure	Consumption (kWh)	Percentage of Total
Interior Lighting	IES - Energy Model	155,140	28%
Plug Loads	IES - Energy Model	121,006	22%
Domestic Hot Water	Post Processed	73,765	13%
Space Heating	IES - Energy Model	70,513	13%
Other Fans	IES - Energy Model	53,418	10%
Space Cooling	IES - Energy Model	26,599	5%
Elevators	Post Processed	22,244	4%
Exterior Lighting	Post Processed	10,950	2%
Heat Rejection	IES - Energy Model	10,725	2%
ERV Fans	IES - Energy Model	5,130	1%
Total		549,489	100%

Table 12: Energy end-use breakdown.

138 E 7th Avenue



5.7 Energy Performance Results Summary

The figure below shows a comparison of the overall project energy performance limits and associated results. The Whole-Building Performance Limits were determined based on the Policy, as seen in Section 4. The Adjusted Whole-Building Performance for Compliance values are the final values used to determine compliance for the Project.

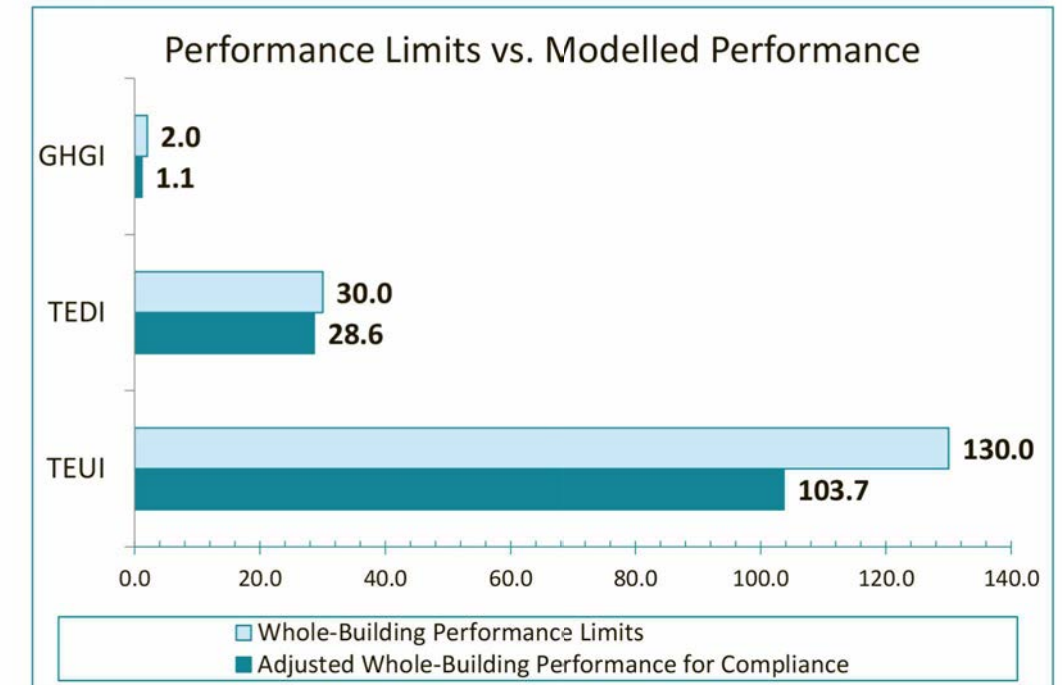


Figure 7: Performance limits vs modelled performance.

The results shown in Table 13 demonstrate that the project is compliant with the performance limit requirements dictated by the City of Vancouver, as outlined in Section 4.

Energy Performance	TEUI kWh/(m ² .year)	TEDI kWh/(m ² .year)	GHGI kgCO _{2e} /(m ² .year)
Required Limit	130.0	30.0	2.0
Modeled Result	103.7	28.6	1.1
Comparison (%)	-20.2%	-4.6%	-43.3%
Result	Compliant	Compliant	Compliant

Table 13: Energy model simulation results and required performance targets.

4.0 Design Rationale

4.1 Design Overview

The proposal for an office addition in the Mount Pleasant Industrial Area aims to add a thoughtful and considered architectural expression that complements the existing building, and the context of the Mount Pleasant Industrial Heritage while still relating to the emerging intensified urban typology in the area.

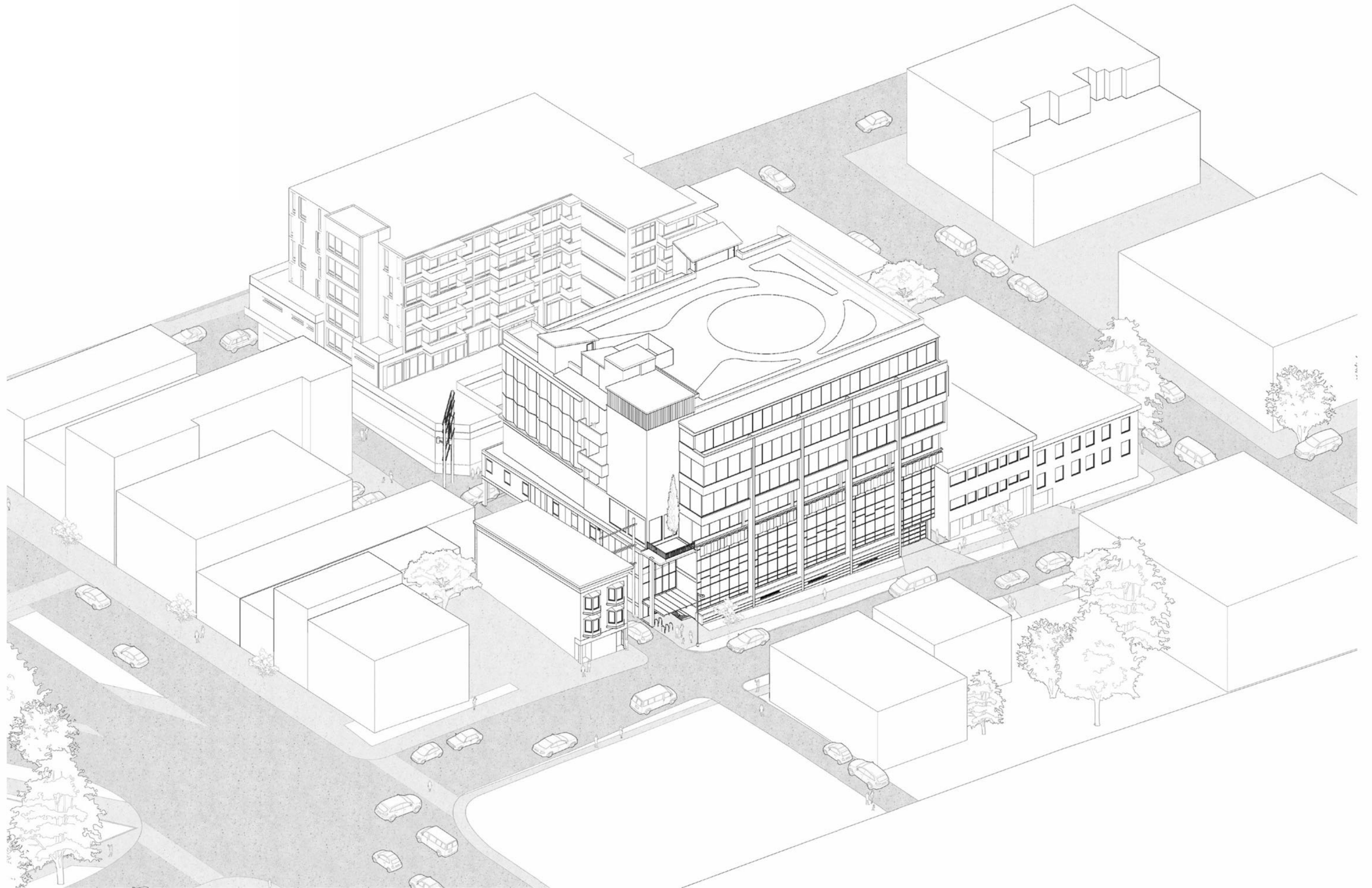
The proposed addition will provide new job spaces in the area. The spaces are designed to create a healthy and productive environment for staff by maximizing access to natural light and fresh air. Part of the proposed development is a proposed shared rooftop garden amenity spaces, additional bike parking and enhanced bike facilities.

The presence of Sarah McLachlan School of Music will be celebrated with an illuminated sign at the front and rear of the building. The intent here is to provide a placemaking aspect to the project and to create a unique identity for the building.

An additional entrance at the rear of the building is designed to ease congestion and to activate the lane condition. The second entrance will be illuminated with a paneled lighting scheme that provides a subtle and soft illumination. The intention is to create visual interest and provide added safety and security at the lane.



proposed addition view from an elevated view from East 7th Avenue



4.2 Project Statistics

Site Information

Civic Address	138 East 7th Avenue
Legal Description	Lots 3, 4 & 5 All Of Block 44, District Lot 200 A, Plan 197
Current Zoning	CD-1 (511)
Policy Area	Mount Pleasant Industrial A [MIAA]
Site Area	1,669 m2 (17,960 ft2)

4.2 Project Statistics

	CD-1 (511) - CURRENT	EXISTING DEVELOPMENT	PROPOSED DEVELOPMENT
SITE COVERAGE	Not Regulated	97.64% (17,537 sf)	97.64% (17,537 sf)
SETBACKS			
FRONT (NORTH) East 7th Avenue	Not Required	0' 0" (0.00m) @ P1 4' 2" (1.30m) @ L1-L2	0' 0" @ P1-L5 6'0" (1.83m) @ L6
REAR (SOUTH) Laneway	Not Required	1' 11" (0.58m) @ P1 0' 8" (0.20m) @ L1 - L2	1' 11" (0.58m) @ P1 0' 8" (0.20m) @ L1 - L2 2' 6" (0.77m) @ L3 - L4 5' 7" (1.70m) @ L5 - RL
SIDE (EAST) Laneway	Not Required	0' 0" (0.00m)	0' 0" (0.00m) @ P1 - L2 3' 5" (1.03m) to 5' 9"(1.74m) @ L3 - RL
SIDE (WEST)	Not Required	0' 0" (0.00m)	0' 0" (0.00m)
BUILDING HEIGHT	Maximum 60'-0" (18.3 m)	42' 8" (13.00m)	98' 5" (30.00m)
FSR	3.0 Total maximum 3.0 Transportation and Storage max. 2.0 Office max. 1.5 Other uses combined max.	1.72 (26,766 sq.ft) 0.82 Office 0.90 School/Cultural	5.05 (90,700 sq.ft) 3.90 Office 0.90 School/Cultural 0.25 Circulation

4.3 FSR Summary

FSR Calculations

Level	Total FSR Area	FSR
Level P1	399 ft ²	0.02
Level 1	13367 ft ²	0.74
Level 2	16158 ft ²	0.90
Level 3	14636 ft ²	0.81
Level 4	15379 ft ²	0.86
Level 5	15081 ft ²	0.84
Level 6	14370 ft ²	0.80
Level 7 (Roof)	1311 ft ²	0.07
	<hr/> 90700 ft ²	5.05

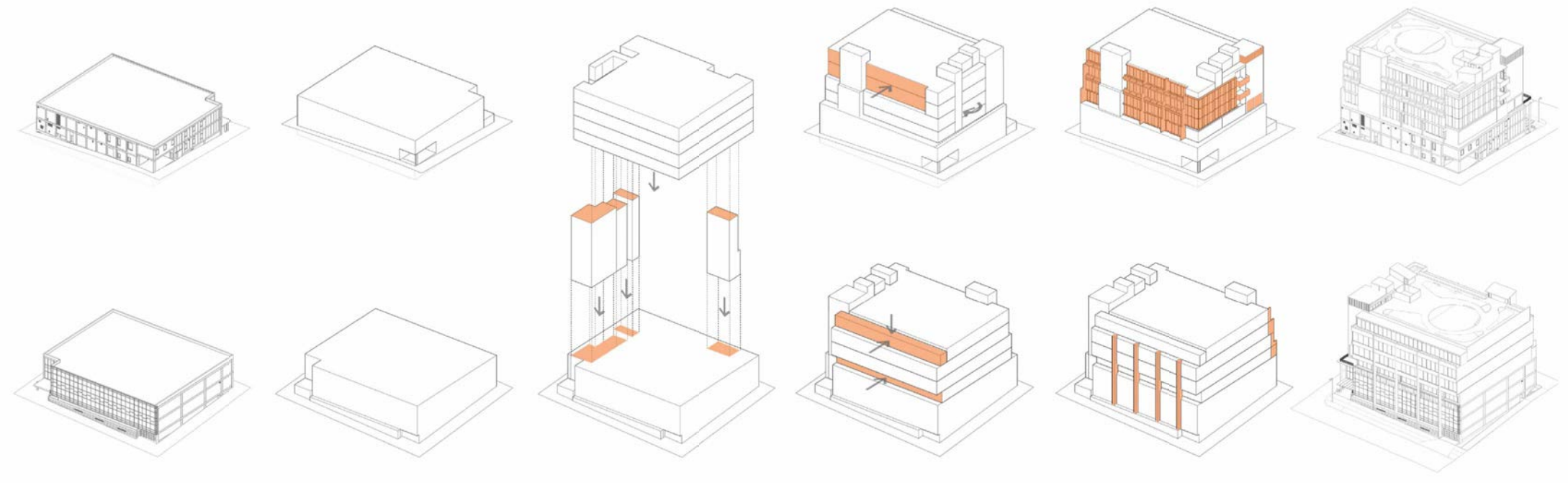
FSR Exclusions

Level	FSR Area Exclusions	FSR Exclusions
Level P1	15839 ft ²	0.88
Level 1	2113 ft ²	0.12
Level 5	778 ft ²	0.04
Level 6	1706 ft ²	0.10
Level 7 (Roof)	11147 ft ²	0.62
	<hr/> 31583 ft ²	1.76

4.4 Massing Study

The massing for the building is developed from an initial analysis of the constraints of the existing building and the required utility clearances. Further development into the form and massing considered the respect to access to daylight for the adjacent buildings and the public realm.

The project is a terraced form on the south lane elevation to mitigate the impacts of views and daylight on the neighbors. On the street elevation, the **top floor** is stepped back to limit shadow impacts on the street.



Existing

Existing Building
Massing

4 - Storey Addition
and Seismic
Upgrades

Setback to mitigate
impacts on
neighbors and on
East 7th Avenue

Perforated metal
screens for shading
and privacy installed
on the south
elevation

Proposed

Expressed
structural columns
to add scale and
articulation to
the existing and
addition to the
building

4.5 Retained Existing Building

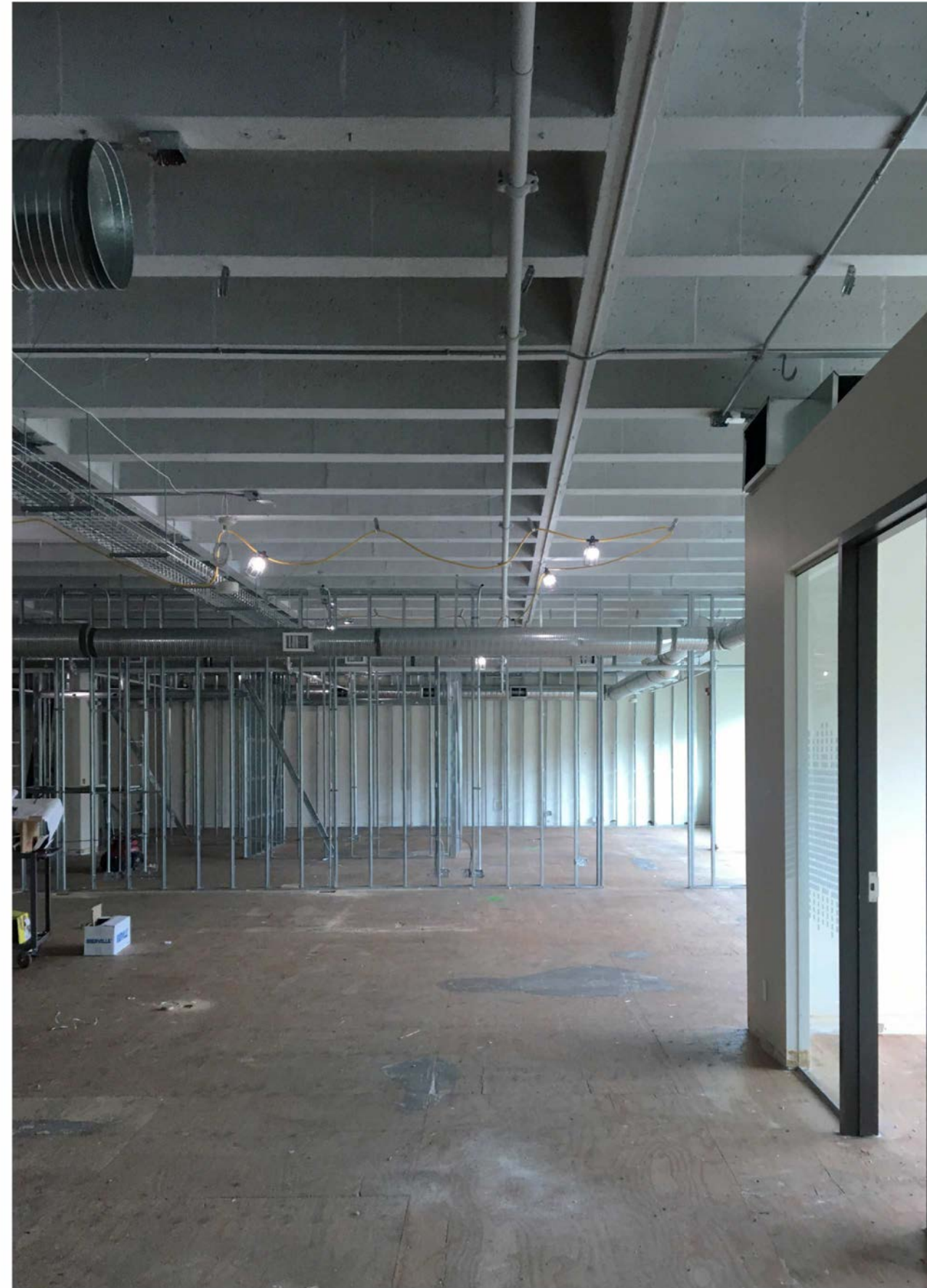
Existing buildings are an inherited investment of energy and materials and an embedded carbon sink.

The existing building gravity framing structure consists of a concrete cast-in-place waffle slab system between concrete beams and girders that frames directly onto cast-in-place concrete columns.

The building is an example of this type of construction common in the 1950s to 1970s. The waffle slab system was praised for its lightness and unique form that highlights the beauty of concrete structures. The building will contribute to the memory place and retains a living history of a building typology to create a physical form of collective memories and experiences.

This project is the 2nd iteration of improvements to the building. In 2011 a renovation of the existing building was completed to upgrade the front facade and to provide interior renovations to accommodate the music school.

Avoiding demolition will retain large amounts of concrete waste entering our landfills. Instead, the building will go through a process of continued adaptive reuse and retrofitting to extend its life.

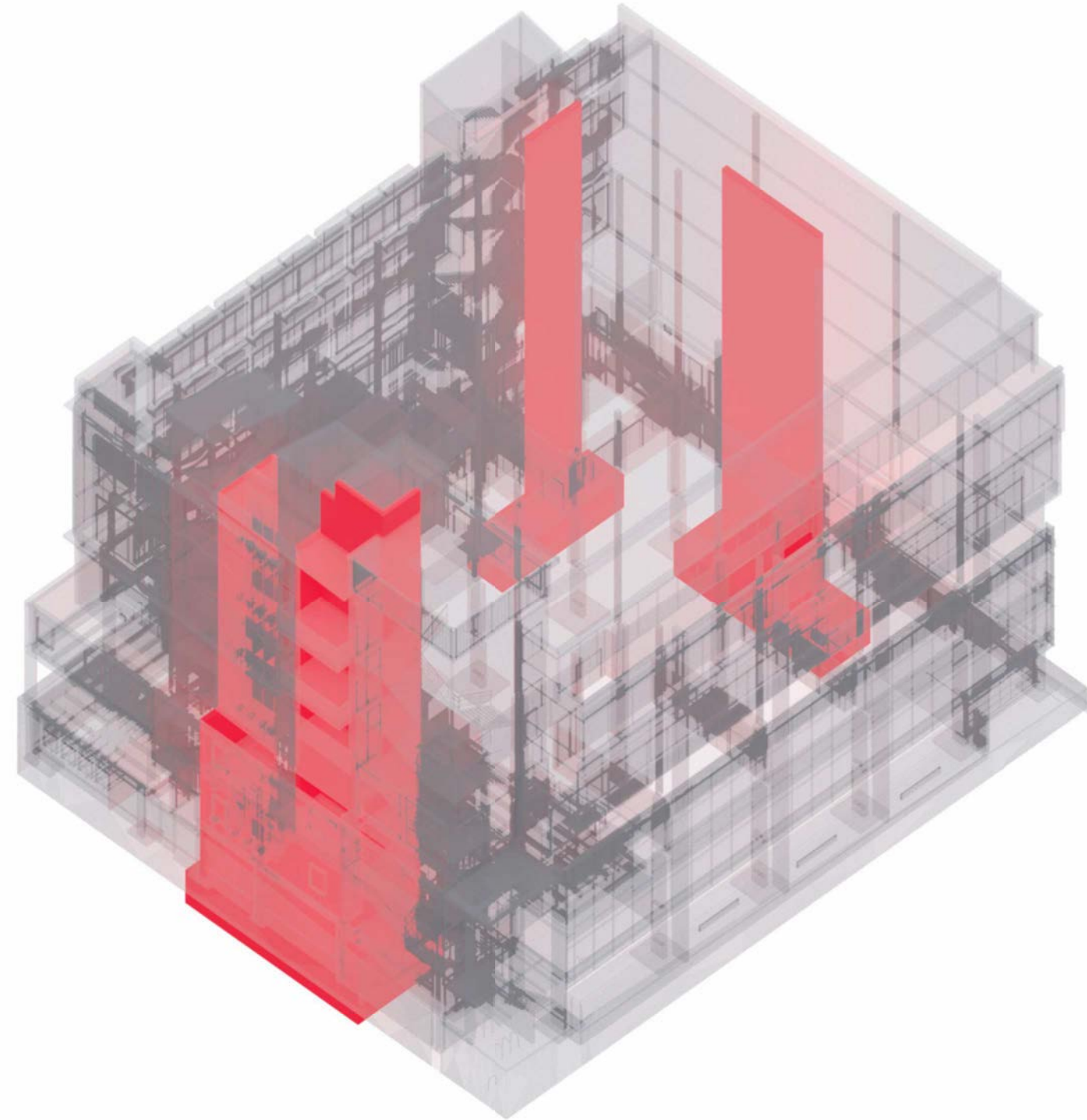


exposed waffle slab and beam-column framing image taken during renovations

4.6 Structural Upgrades

The existing building structure will be retrofitted to support the additional floors atop the existing structure and several new seismic shear walls will be added to bring the building up to current codes.

Installing the new shear walls will involve foundation upgrades.



proposed seismic shear wall and foundation retrofit highlighted in red

4.7 Lane Setbacks and Privacy

To mitigate impacts to the neighbors on the south lane. Additional setbacks from the property line are provided with planted balconies to create a lane condition more expressive of a domestic setting and to provide greater access to daylight to the neighboring buildings.

The facade on the lane elevation is clad with a perforated metal screen. The intention here is to provide a degree of privacy while maintaining visual depth by providing a level of transparency to the building.

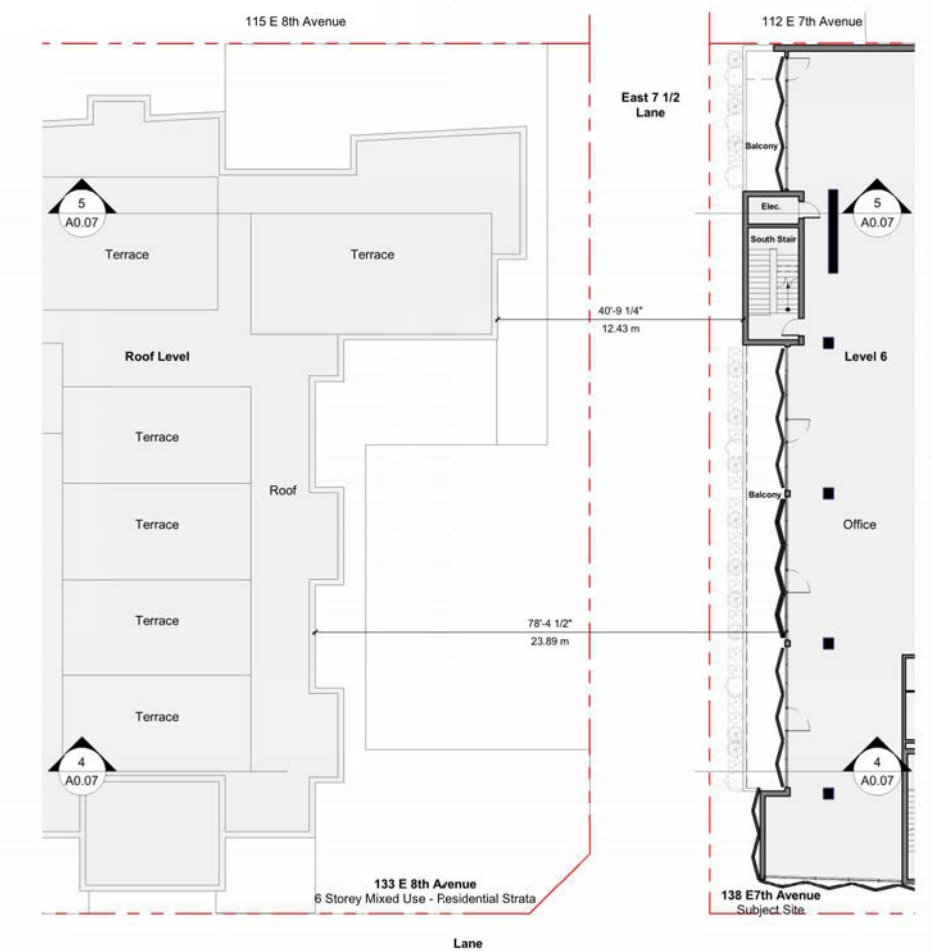
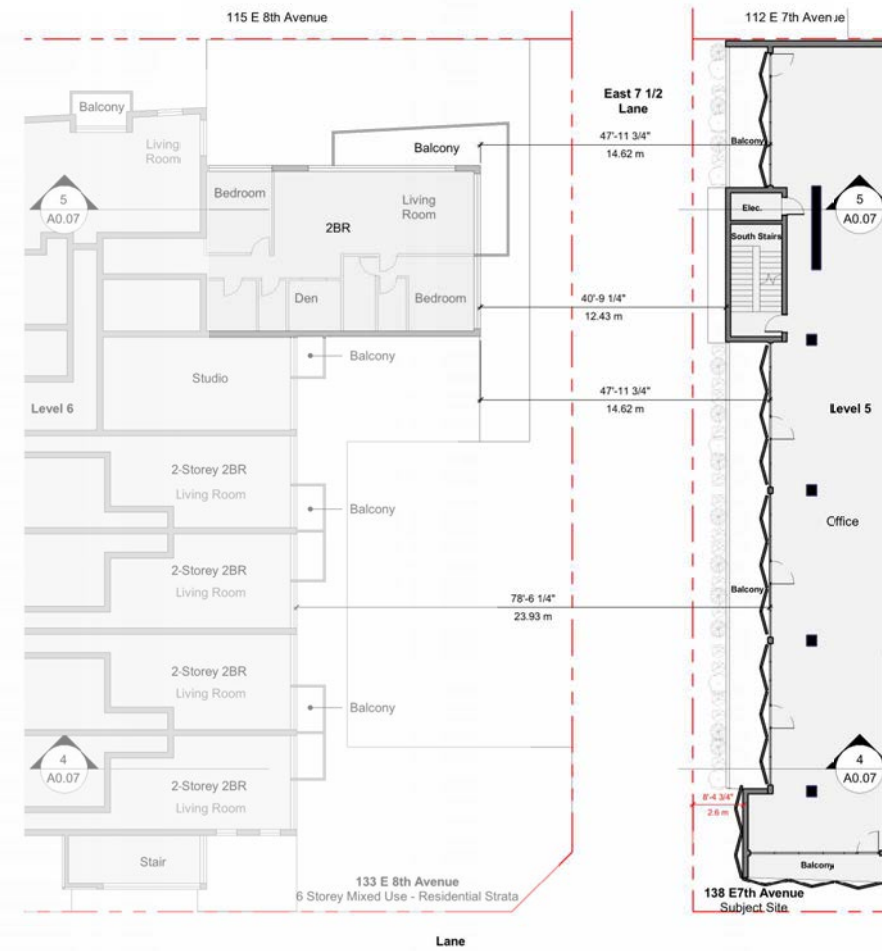
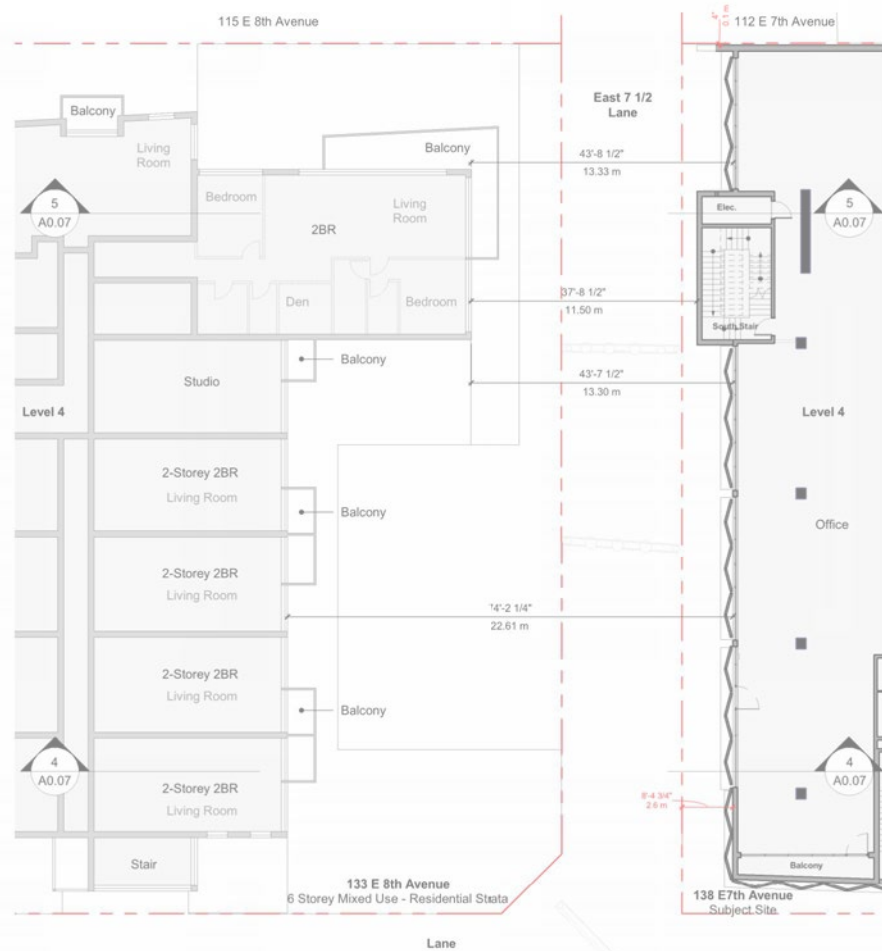
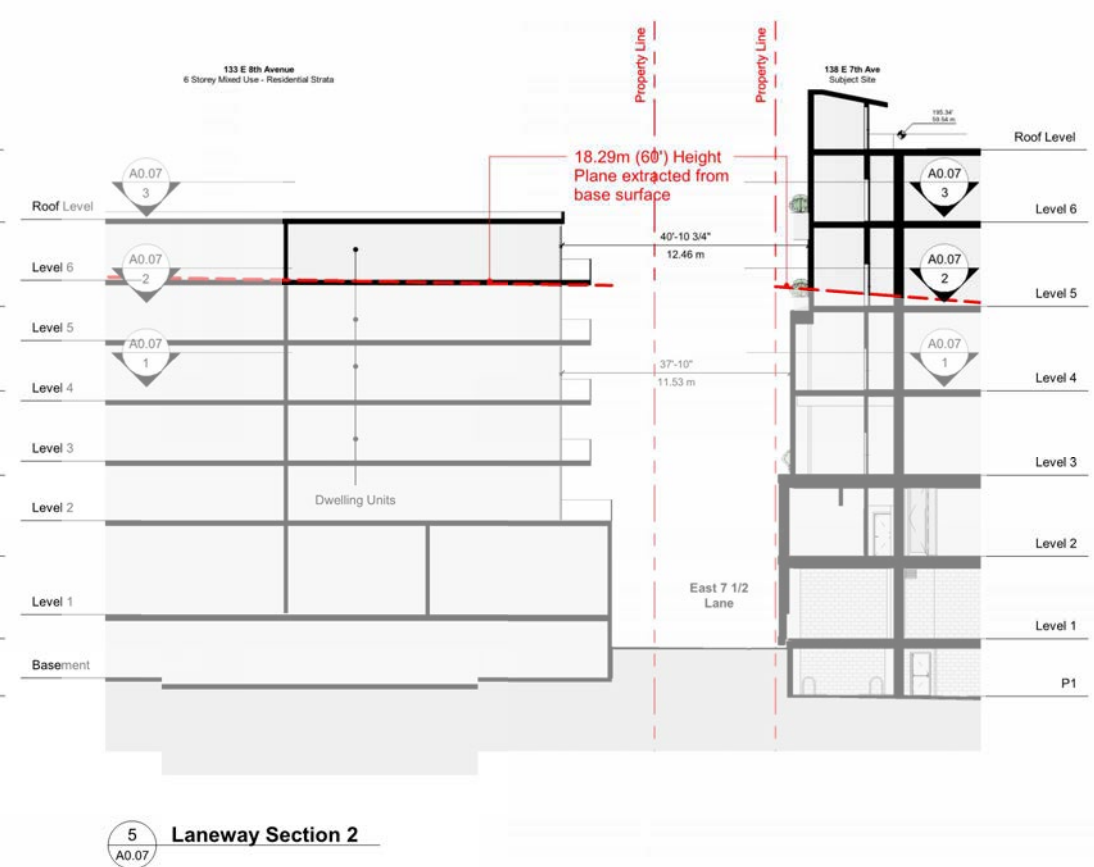
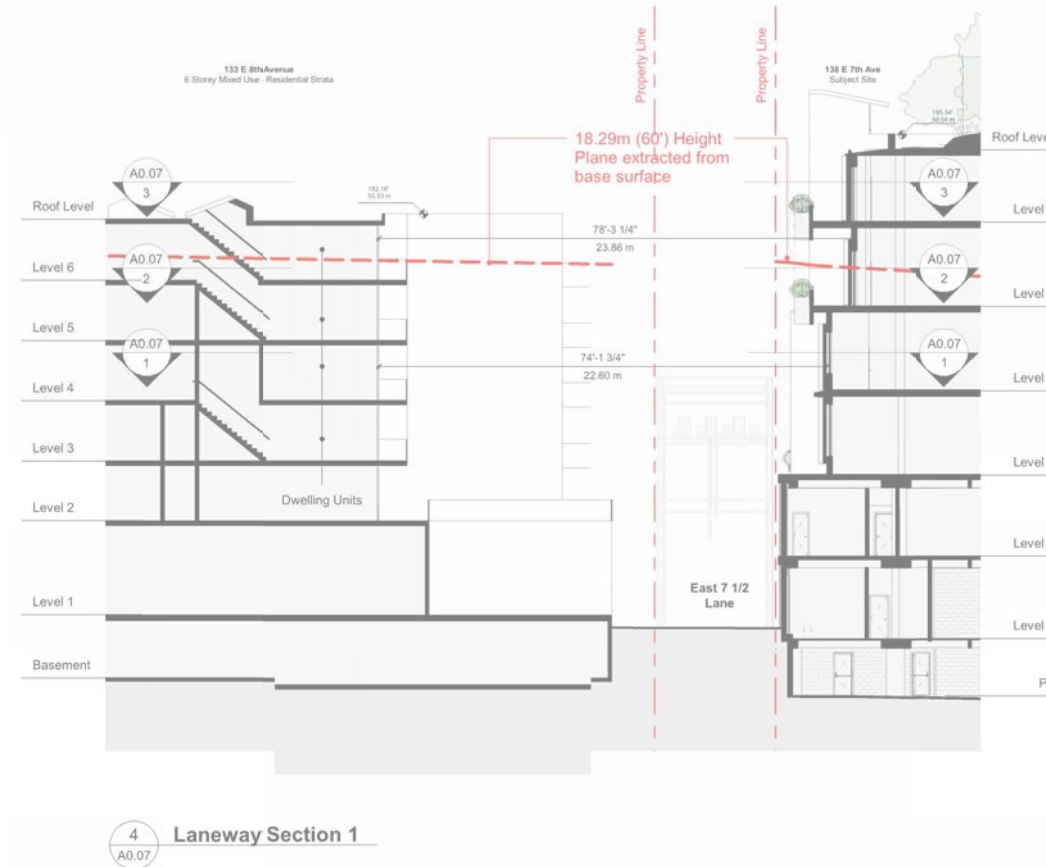


4.7 Lane Setbacks and Privacy

For the portion of a building over 60 ft above grade, a minimum separation of 18.3m (60 ft) between residential and commercial towers is required (Broadway Plan 11.1.7).

The proposed development has an average setback of 78.5 ft, with the exception of the Southwest corner, where the building to the south extends northward towards our lot, resulting in a 48-foot setback. This condition involves only one unit single unit located on the sixth level of the building across the lane from our property.

Our design has taken this into consideration and addresses privacy and overlook interests with the provision of additional setback, perforated metal screens, and landscape planting.



4.8 Architectural Articulation

The building's design is based on the use of articulation techniques to create a more human scale and to enhance a sense of place.

This is done by dividing the building massing into smaller parts, the choice of materials that provide depth and texture to the building and relating the structural expression to the facade.

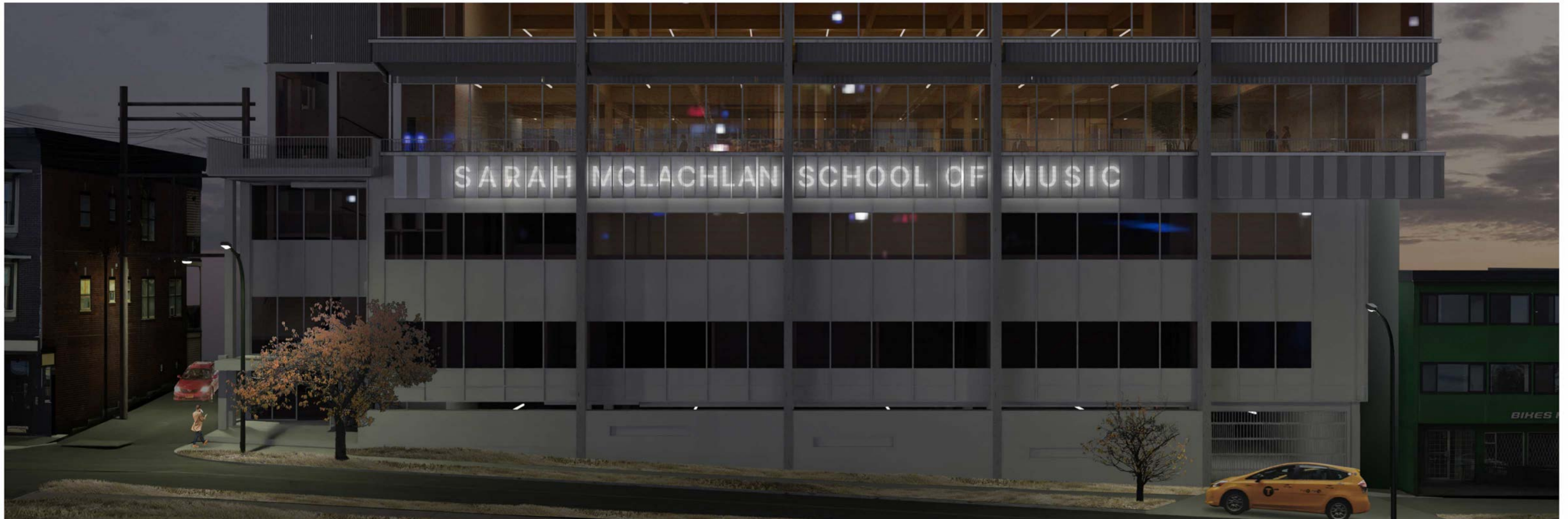
Care was taken to integrate the existing buildings with the new addition with the use of offsets and height variation and the upper-level setbacks.



4.9 Architectural Lettering

The lettering for Sarah McLachlan School of Music will be an illuminated lettering displayed on an undulating perforated metal paneling along the top edge of the existing building. The letters will be illuminated during the active hours to express the school as an event.

The intention of the architectural lettering is to treat it as a decorative element of the building's architecture rather than an applied signage display. The lettering aims to add a humanistic scale and delight to the existing building's architectural expression.



proposed architectural lettering on front elevation viewed from East 7th Avenue in the evening

4.10 Additional Entrance

The proposed additional entrance at the rear lane is part of an overall strategy to improve operations of the Music School by reducing congestion at the existing entrance on East 7th.

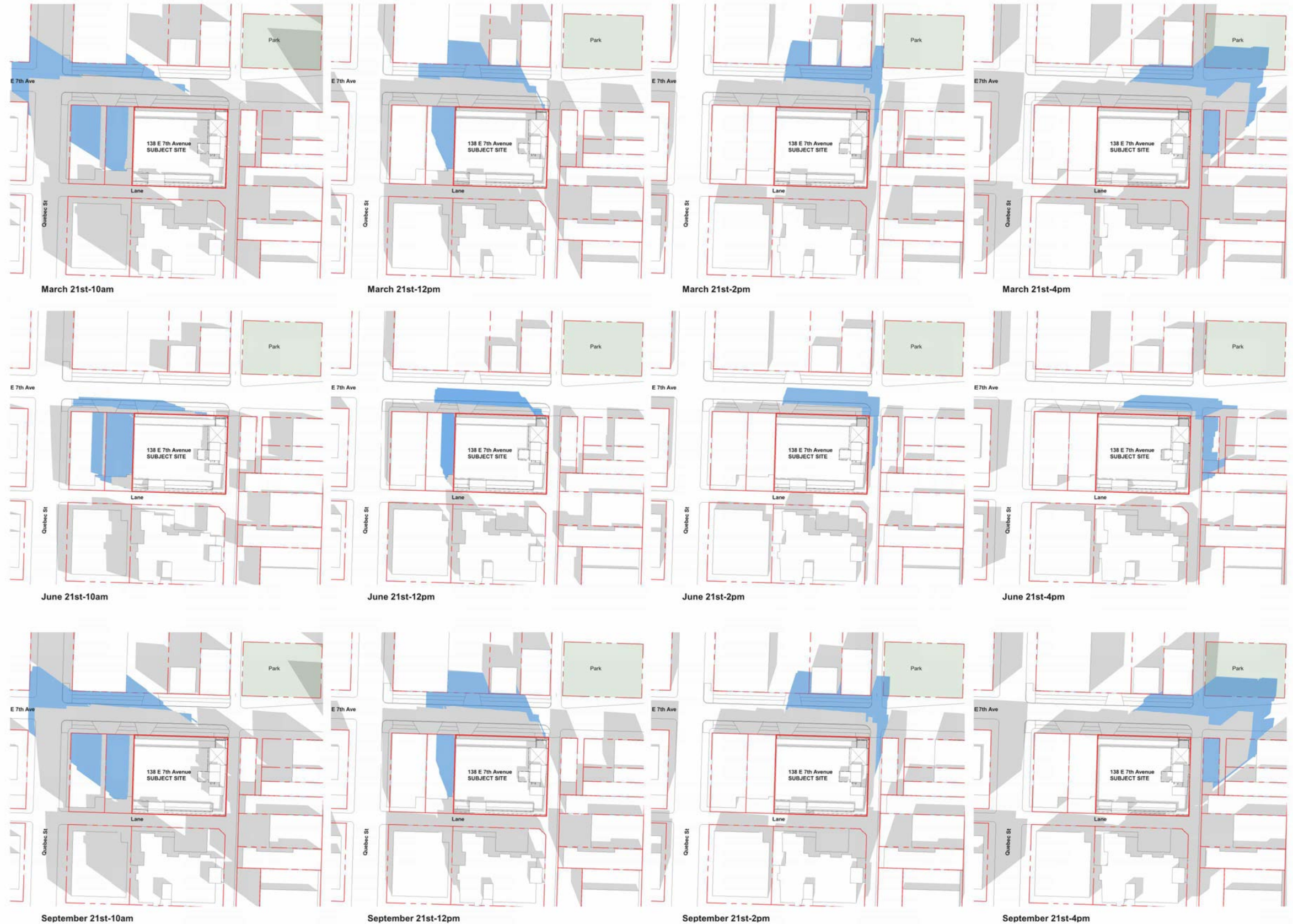
With the lane entrance, the aim is to provide a covered entrance area leading to a lobby and waiting area. The new entrance will be designed with an exterior illumination scheme to improve the immediate surroundings and to provide added safety and security to the lane.



proposed entrance at the rear lane shown in the evening

4.11 Shadow Studies

Shadow studies at Spring, Autumn and Summer equinoxes are used to assess the shading impact of the building. The particular concern was to reduce overshadowing of a park at Main and 7th Ave.



- Incremental Shadows of Proposed development
- Existing shadows
- Site Boundaries

4.12 Rooftop Garden

A large rooftop space will be provided as a shared amenity space for the offices and the School. The intention is to provide opportunities for access to fresh air and green spaces for the office staff and students in the building. The rooftop will have elevator and stair access.

For details on the proposed design refer to the Landscape Design Package.



Proposed rooftop garden amenity space by Connect Landscape Architecture

4.13 Parking Summary

The existing vehicle parking space will be upgraded to meet the demands of the School's operations and the proposed increase in office area.

Retaining the existing building limits the capacity to provide additional parking. The proposal seeks to optimize the limited space available within the existing parking area and to ensure the project will be able to provide a robust TDM plan.

The proposal seeks to maximize opportunities for passenger loading in a way that reduces reliance on the lane west of Main, particularly for activities that may conflict with the sidewalk along East 7th Avenue.

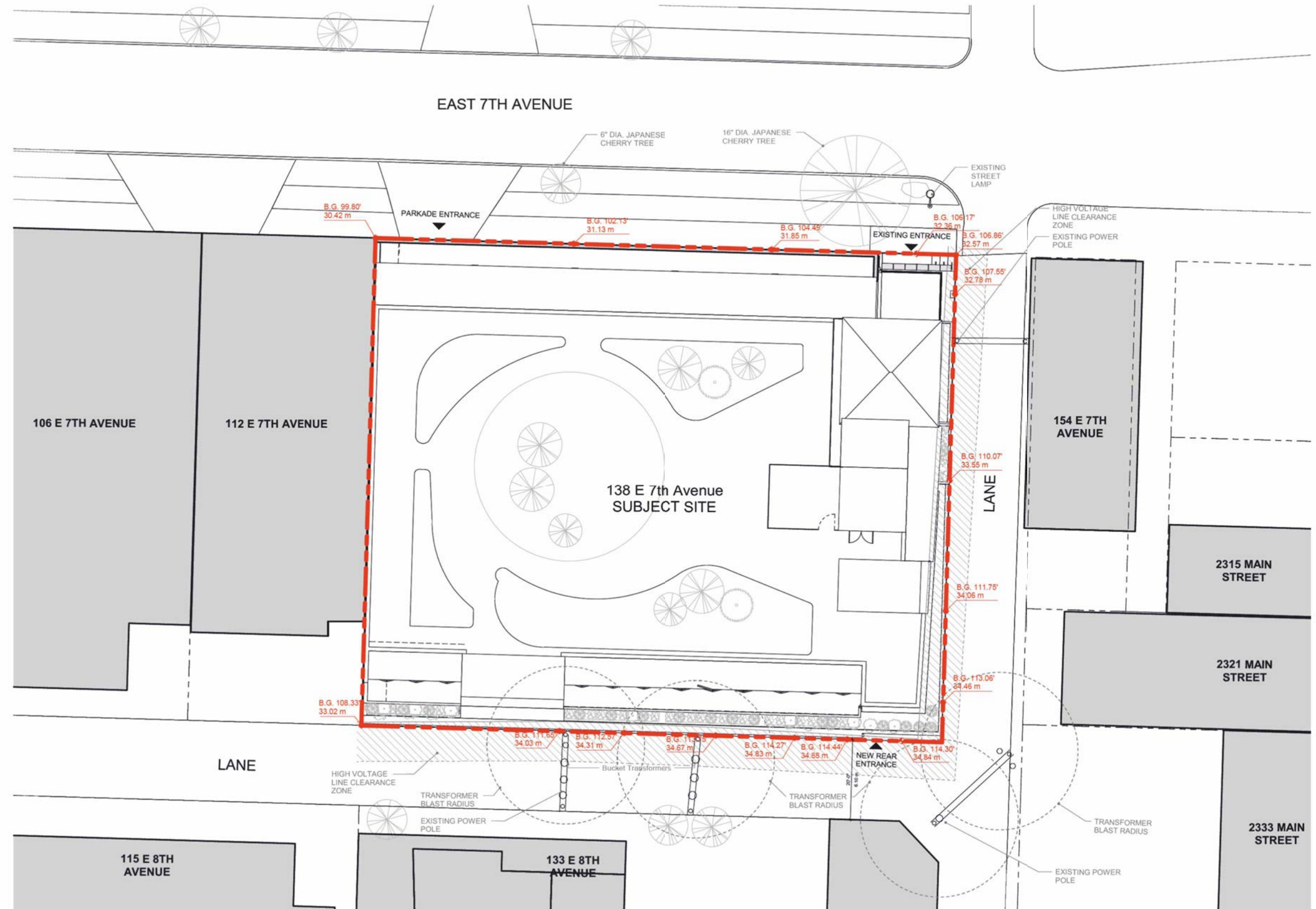
Bicycle parking and end of trip facilities are part of the proposed development. All bicycle parking will be provided at grade, within the parking area. Maintenance facilities and improved end of trip facilities, including private individual showers and a bicycle lounge area will be part of our proposed development.

Parking By-Law has been revised during the Rezoning Process. Updated Transportation Assessment and Management Study (TAMS), parking analysis and parking layout will be provided during the Development Permit process.

	REQUIRED	EXISTING	PROPOSED DEVELOPMENT
PARKING <i>as per parking bylaw 4.1.7 (a) at least one parking space for each 145m² of gross floor area for the first 290m² of gross floor area, and one additional space for each additional 70m² of gross floor area.</i>	118	45	39 (66% reduction TDM)
ACCESSIBLE PARKING <i>as per parking bylaw 4.8.2 (b) non-residential uses, there must be at least one parking space for each building that contains at least 500m² of gross floor area and an additional 0.4 parking space for each 1000m² of gross floor area</i>	4	3	4
LOADING <i>as per parking bylaw 5.2.3 non-dwelling uses, there must be at least one parking space for each 2,800m² of gross floor area</i>			
CLASS B	3	1	1
PASSENGER SPACES <i>as per parking bylaw 7.2.4 Office Uses Class A - a minimum of one space for each 10,000 m² of gross floor area; Class B - no requirement; Class C - no requirement</i>			
CLASS A	1	0	2
BIKE SPACES (OFFICE) <i>as per parking bylaw 6.2.4 Office Uses Class A - a minimum of one space for each 170 m² of gross floor area</i>			
CLASS A	38	0	refer to total
CLASS B	6	9	refer to total
BIKE SPACES (SCHOOL) <i>as per parking bylaw 6.2.2.3 School Class A - a minimum of 1 space for every 17 employees, 0.4 spaces for every 10 students on a maximum attendance period; Class B - a minimum of 0.6 spaces for every 10 students on a maximum attendance period.</i>			
CLASS A	2	0	refer to total
CLASS B	6	0	refer to total
TOTAL BIKE SPACES			
CLASS A	40	0	58
CLASS B	12	9	11

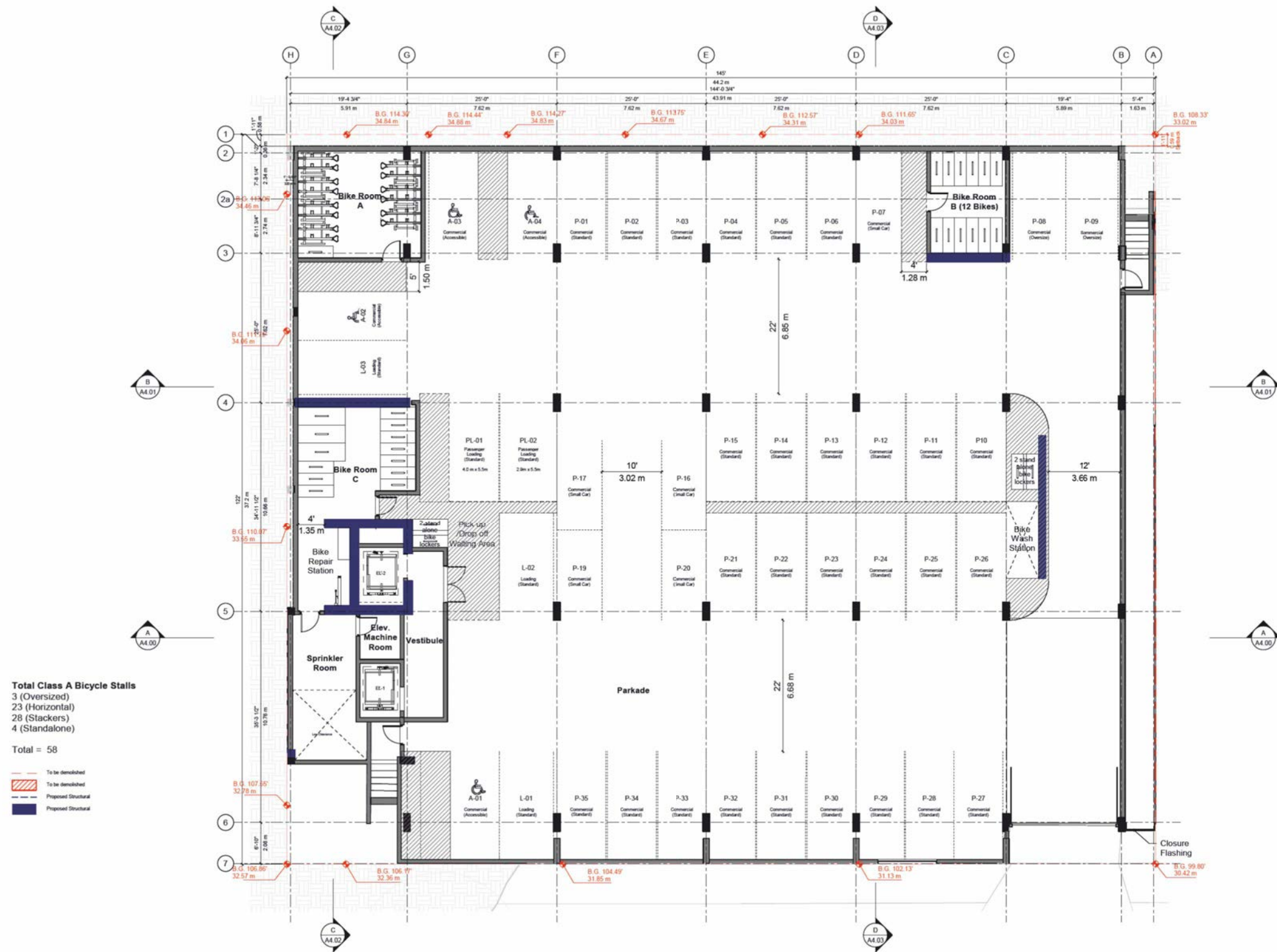
5.0 Architectural Drawings

5.1 Site Plan



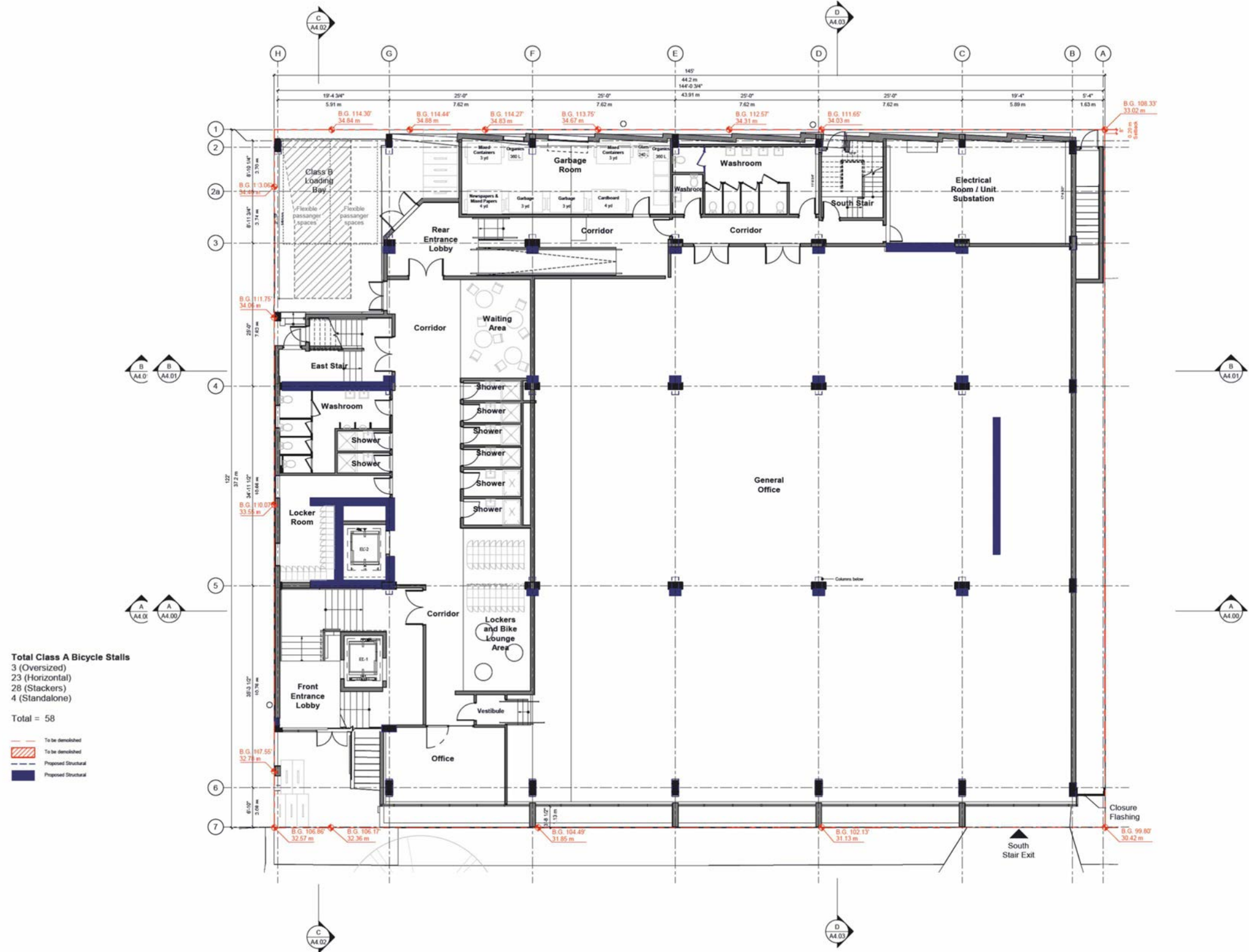
5.2 Floor Plans

P1 Level



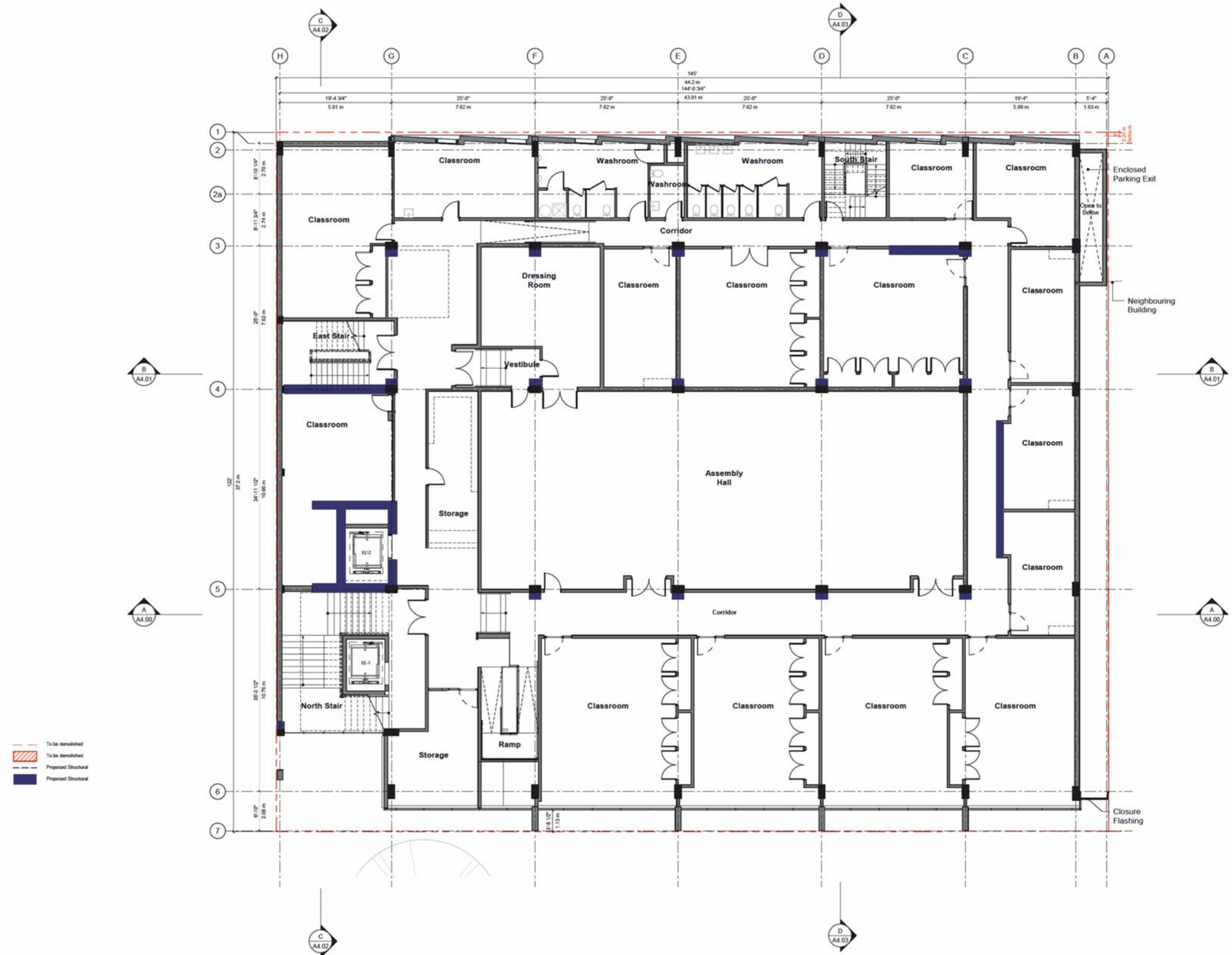
5.2 Floor Plans

Level 1 Office



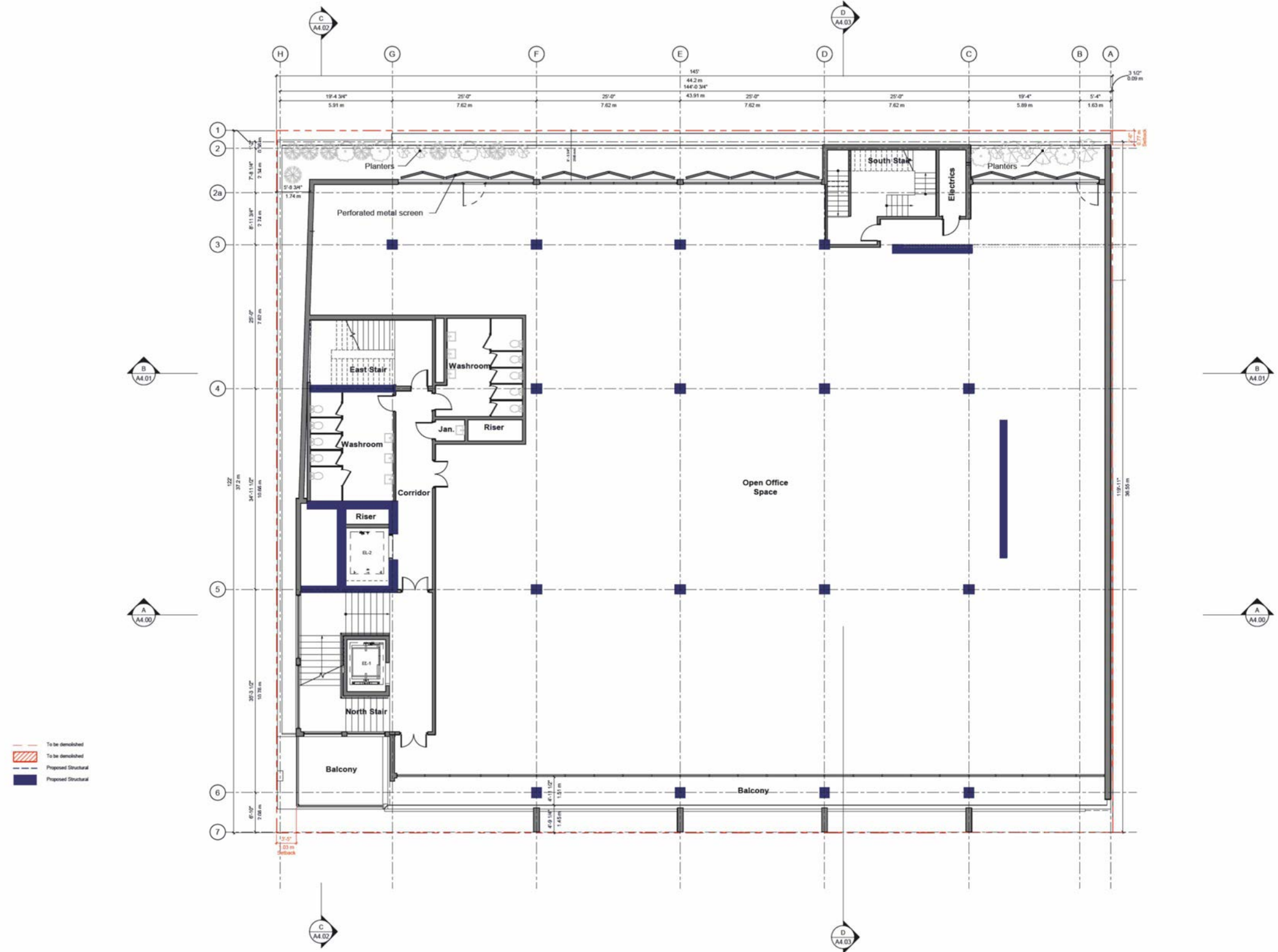
5.2 Floor Plans

Level 2
Sarah McLachlan School of Music



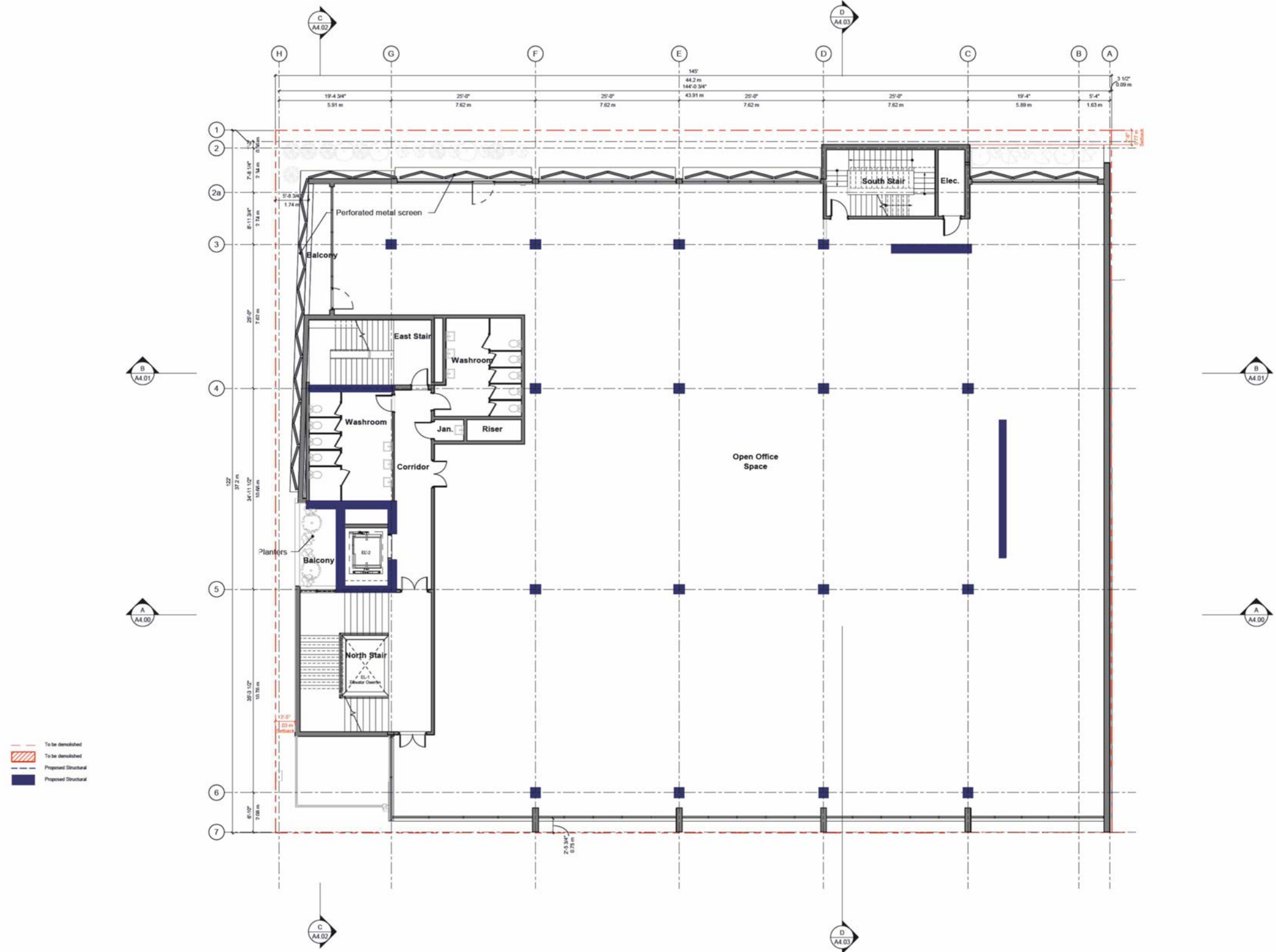
5.2 Floor Plans

Level 3 Office



5.2 Floor Plans

Level 4 Office



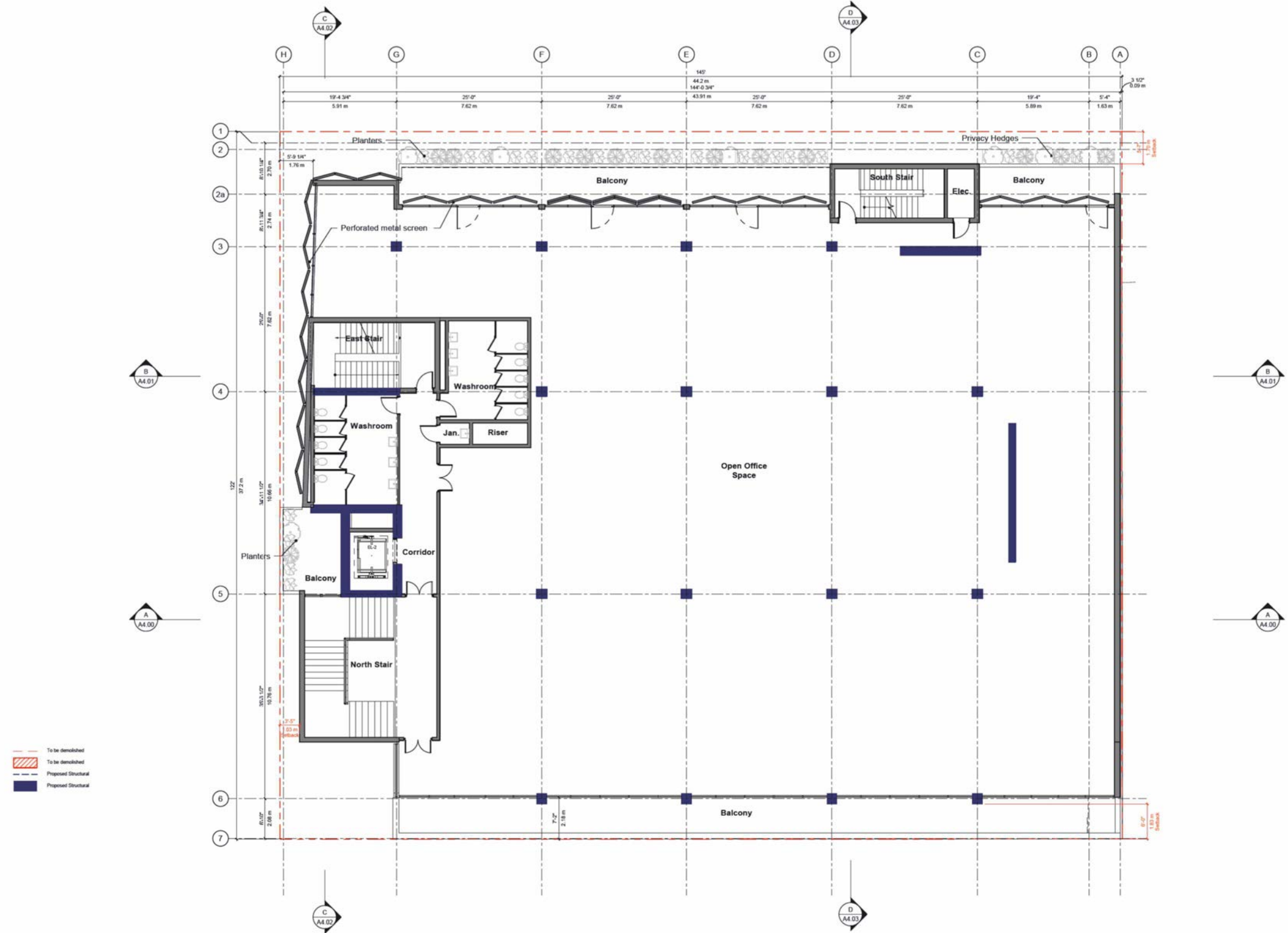
5.2 Floor Plans

Level 5 Office



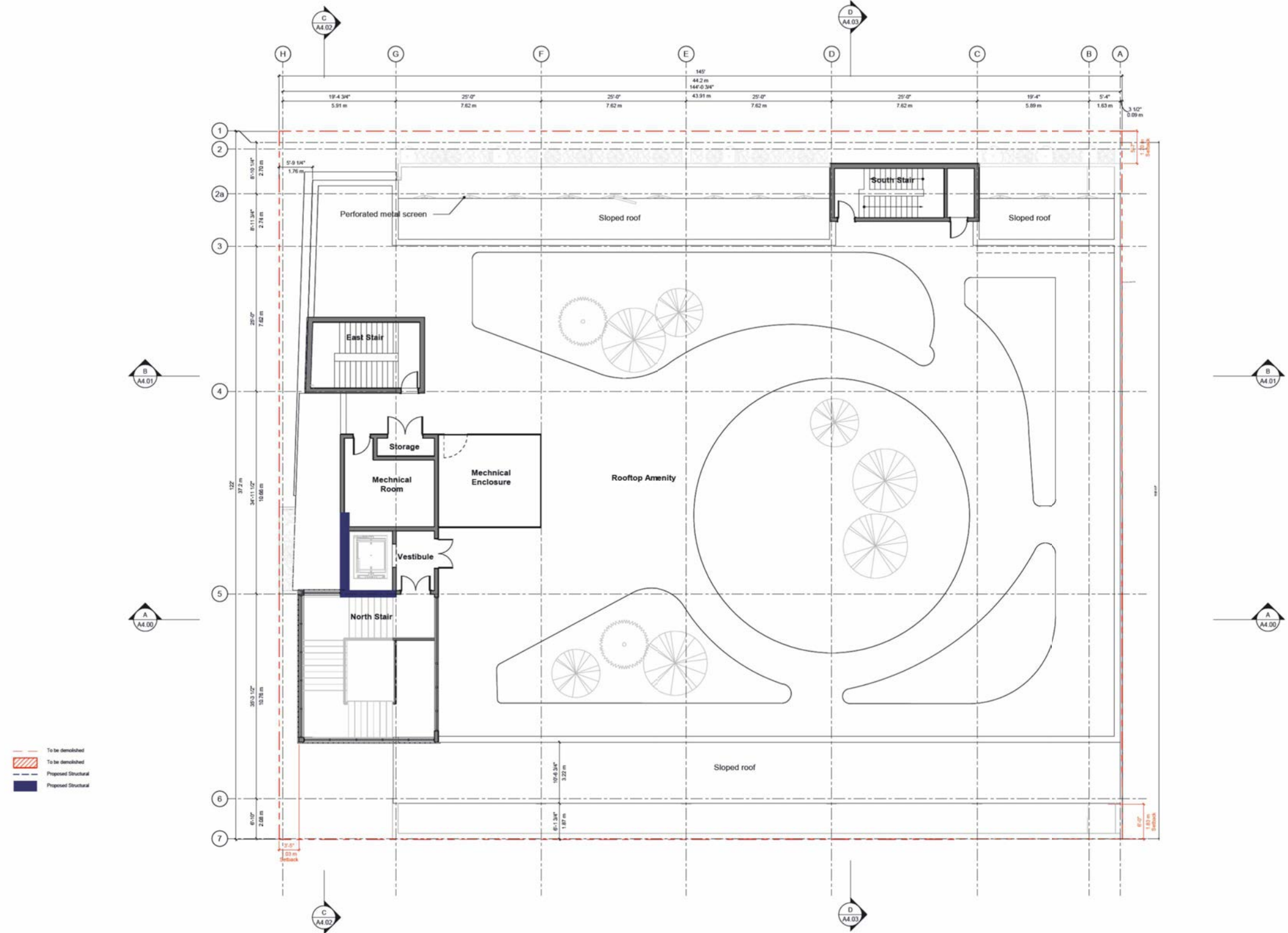
5.2 Floor Plans

Level 6 Office



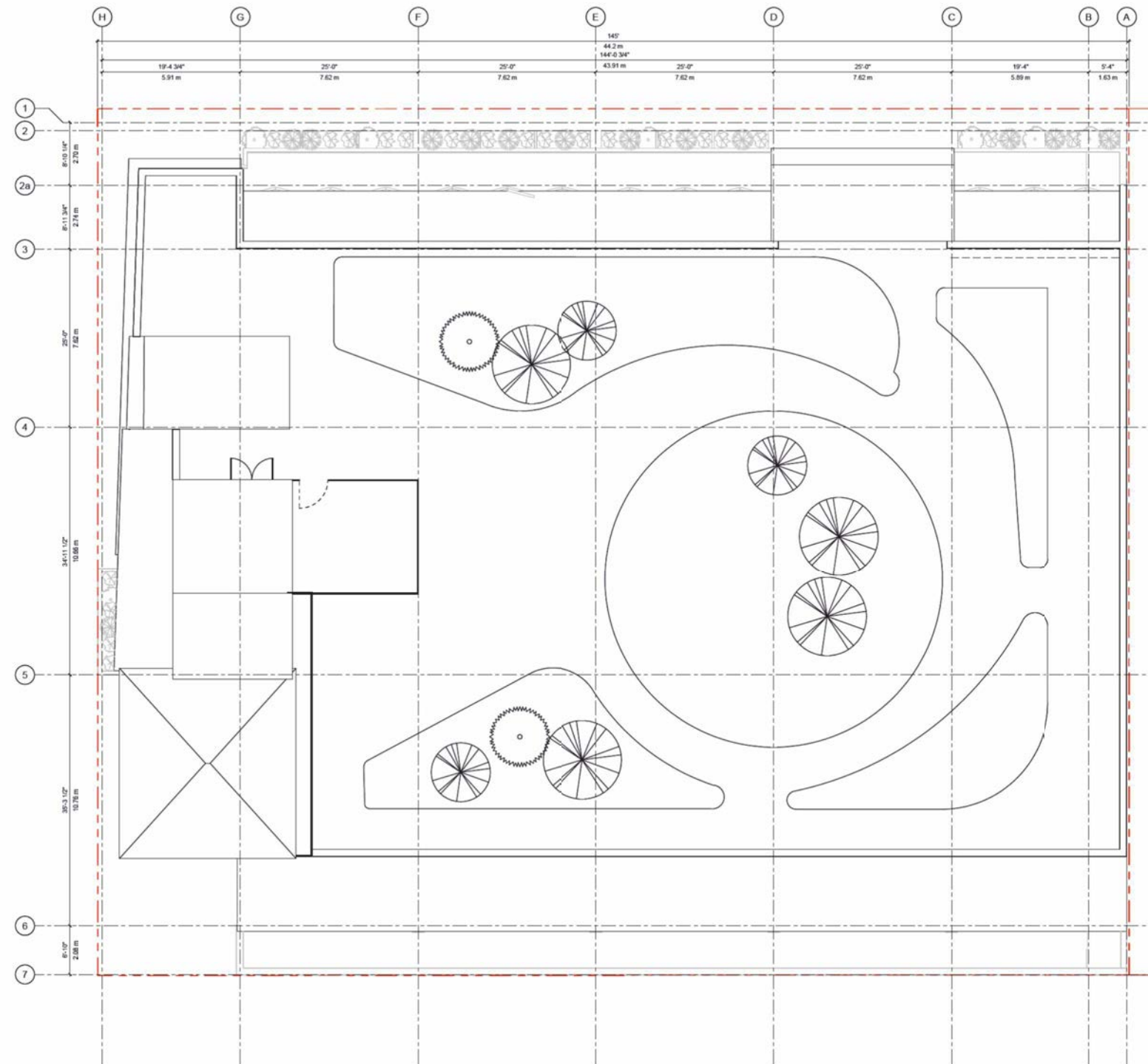
5.2 Floor Plans

Level 7 Rooftop



5.2 Floor Plans

Roof Plan



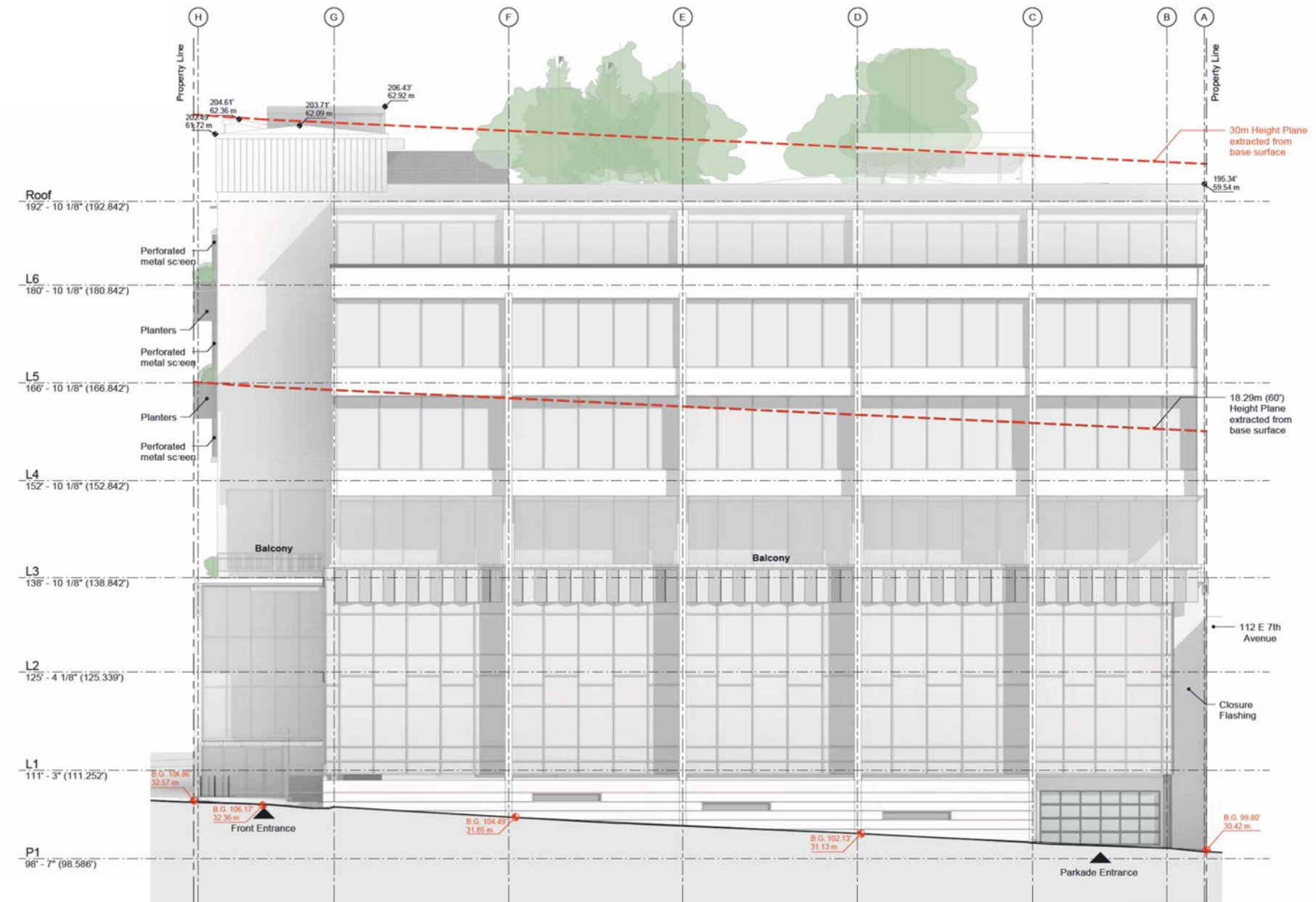
5.3 Elevations

South



5.3 Elevations

North



5.3 Elevations

East



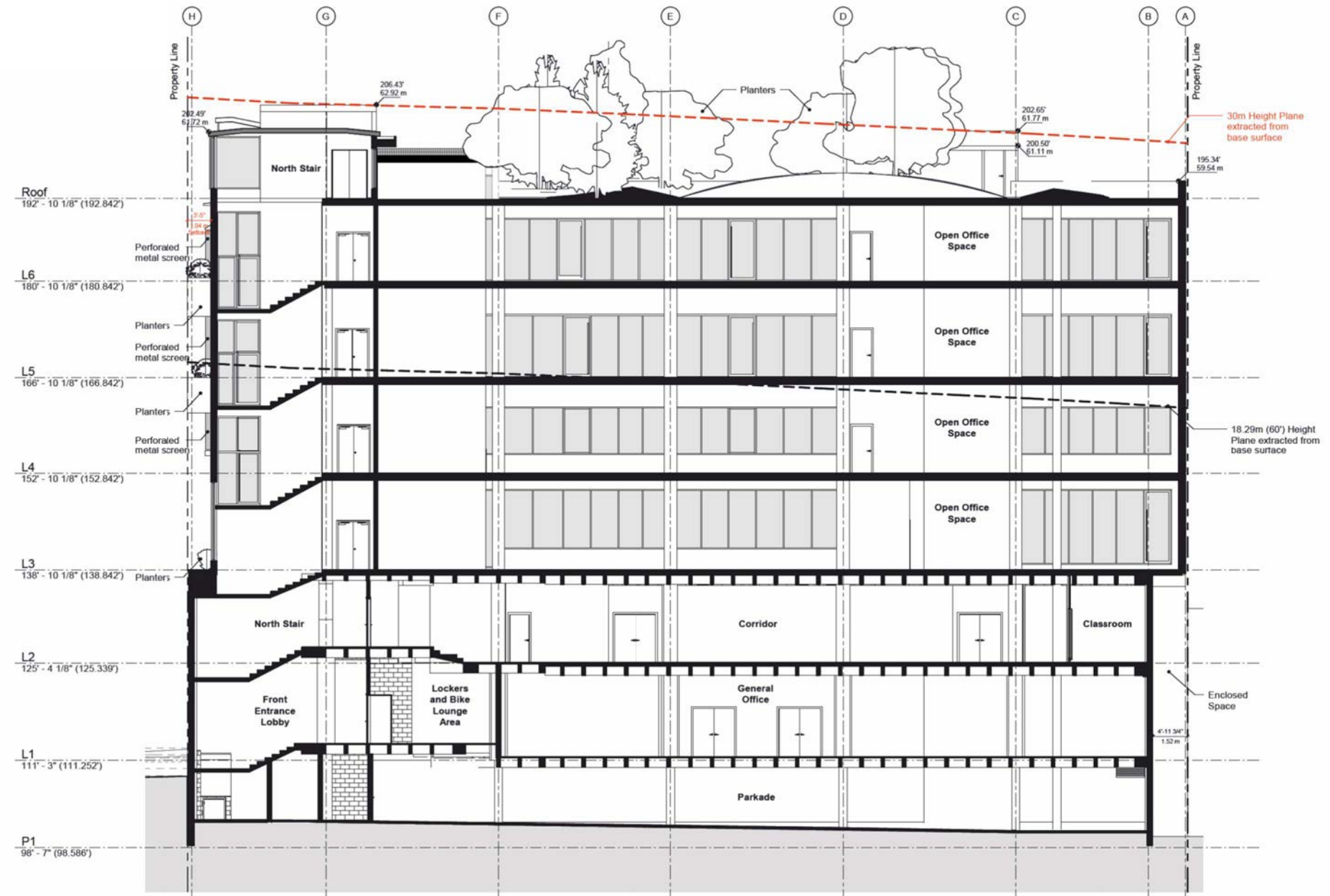
5.3 Elevations

West



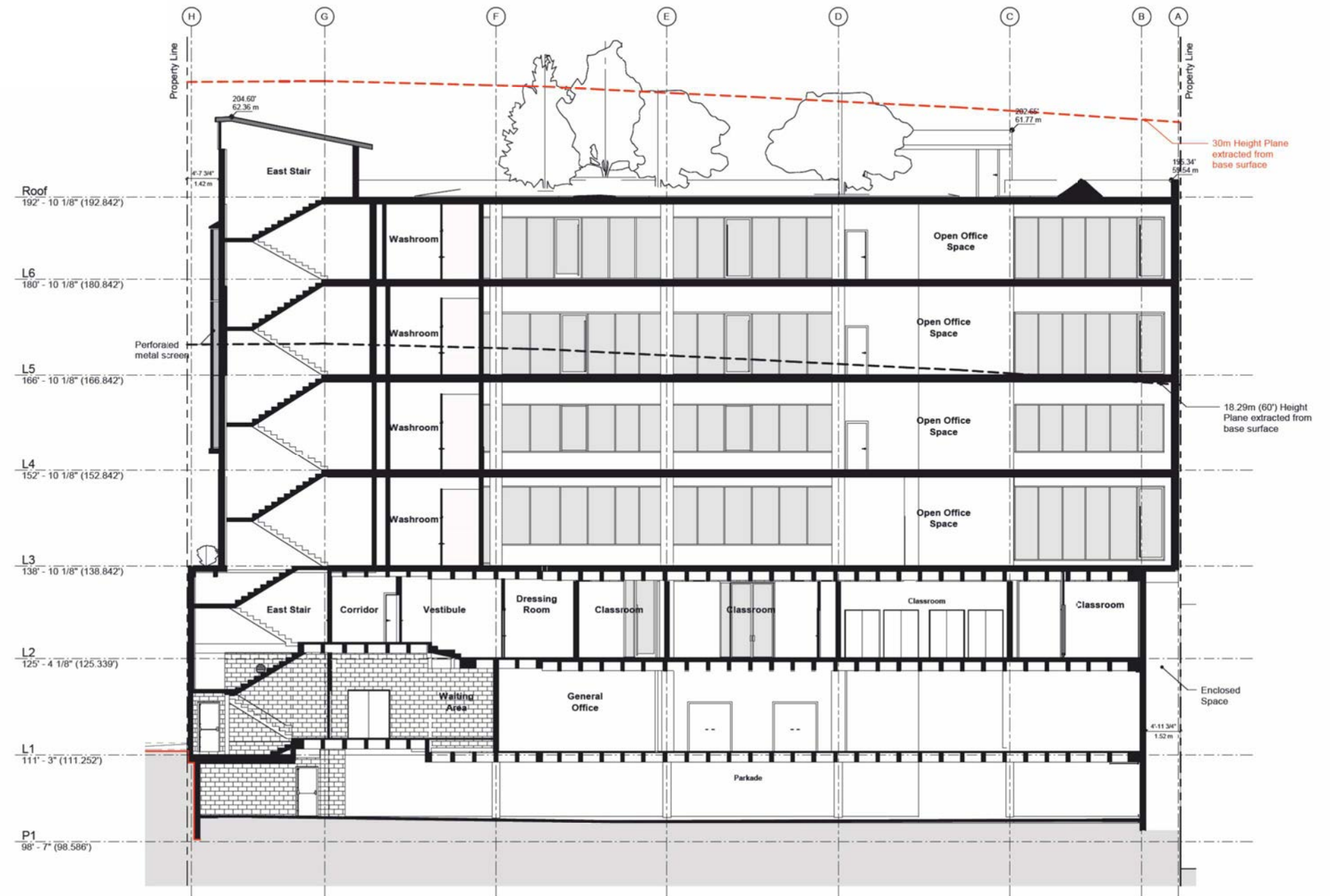
5.4 Section

Long Section AA
East - West



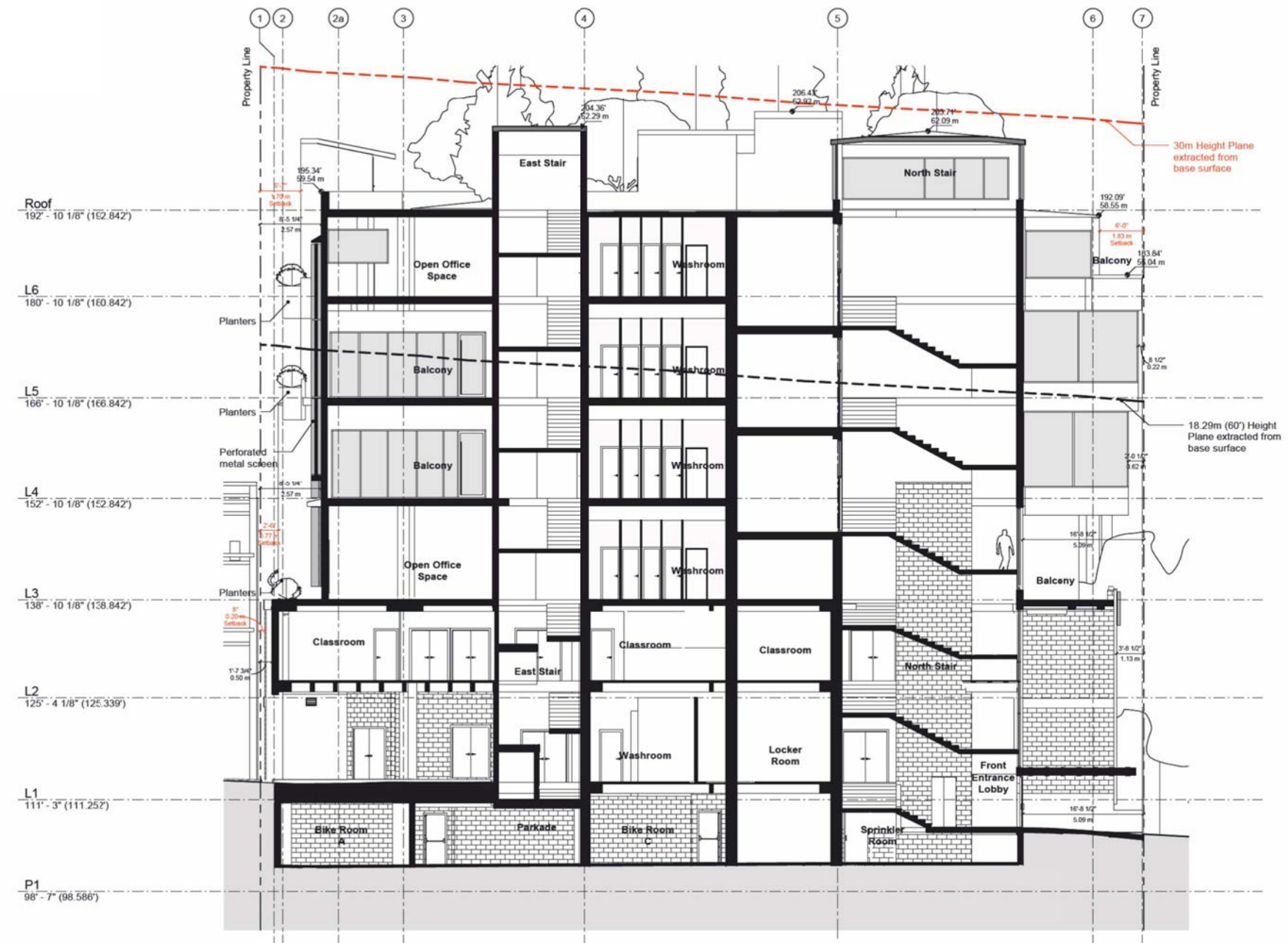
5.4 Section

Long Section BB
East - West



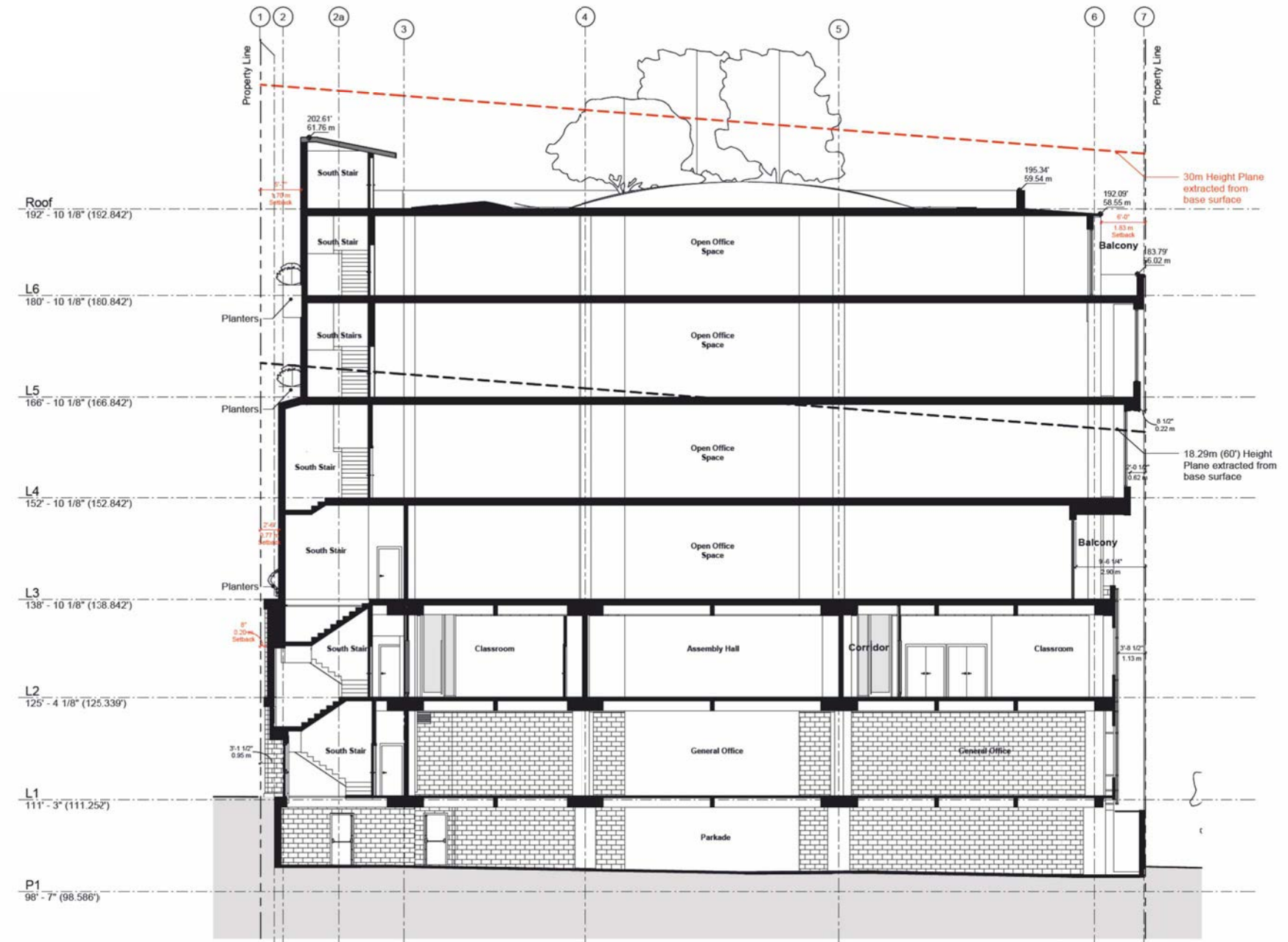
5.4 Section

Cross Section CC
North - South



5.4 Section

Cross Section DD
North - South



6.0 Landscape Drawings

KEYPLAN

SEAL

3	RE-ISSUED FOR REZONING	24-05-10
2	ISSUED FOR REZONING	23-01-31
1	ISSUED FOR DRAFT REVIEW	22-12-01

REVISIONS

138 EAST 7TH AVENUE

138 East 7th Avenue
Vancouver, British Columbia

Scale: NTS

Drawn: MW

Reviewed: KL/KML

Project No. 06-810

COVER SHEET

L0.0

138 EAST 7TH AVENUE

SARAH MCLACHLAN SCHOOL OF MUSIC

138 East 7th Avenue, Vancouver BC

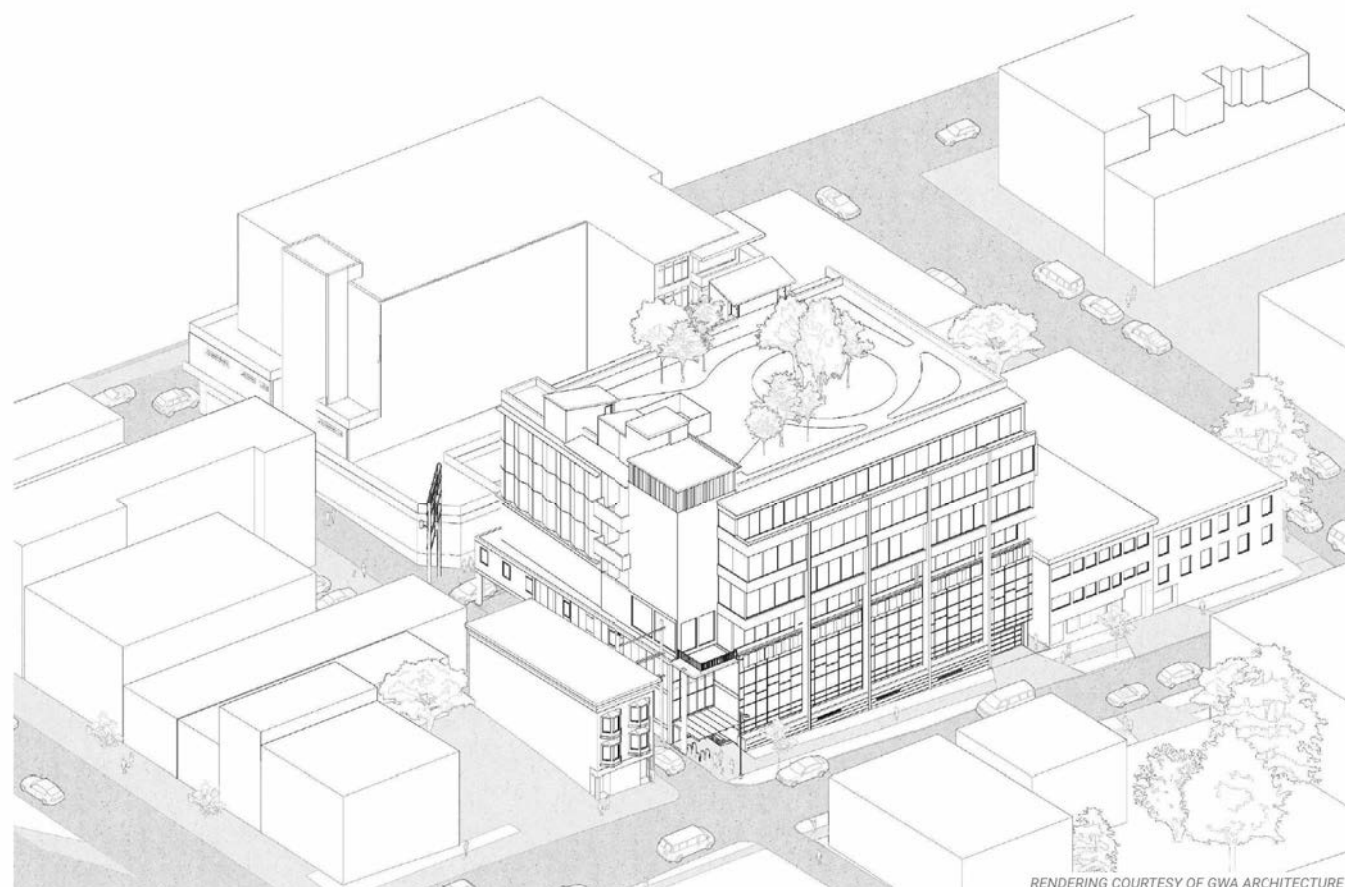
**LANDSCAPE ARCHITECTURAL DRAWING:
RE-ISSUED FOR REZONING
MAY 10, 2024**

LANDSCAPE DRAWING INDEX

- L0.0 COVER SHEET
- L0.1 CONTEXT
- L0.2 INSPIRATION
- L0.3 ANALYSIS
- L0.4 CHARACTER
- L0.5 SYMBOLISM
- L1.0 SITE PLAN - ROOF
- L1.1 SITE PLAN - LEVEL 3-6
- L1.2 SECTION
- L2.0 PLANTING PALETTE

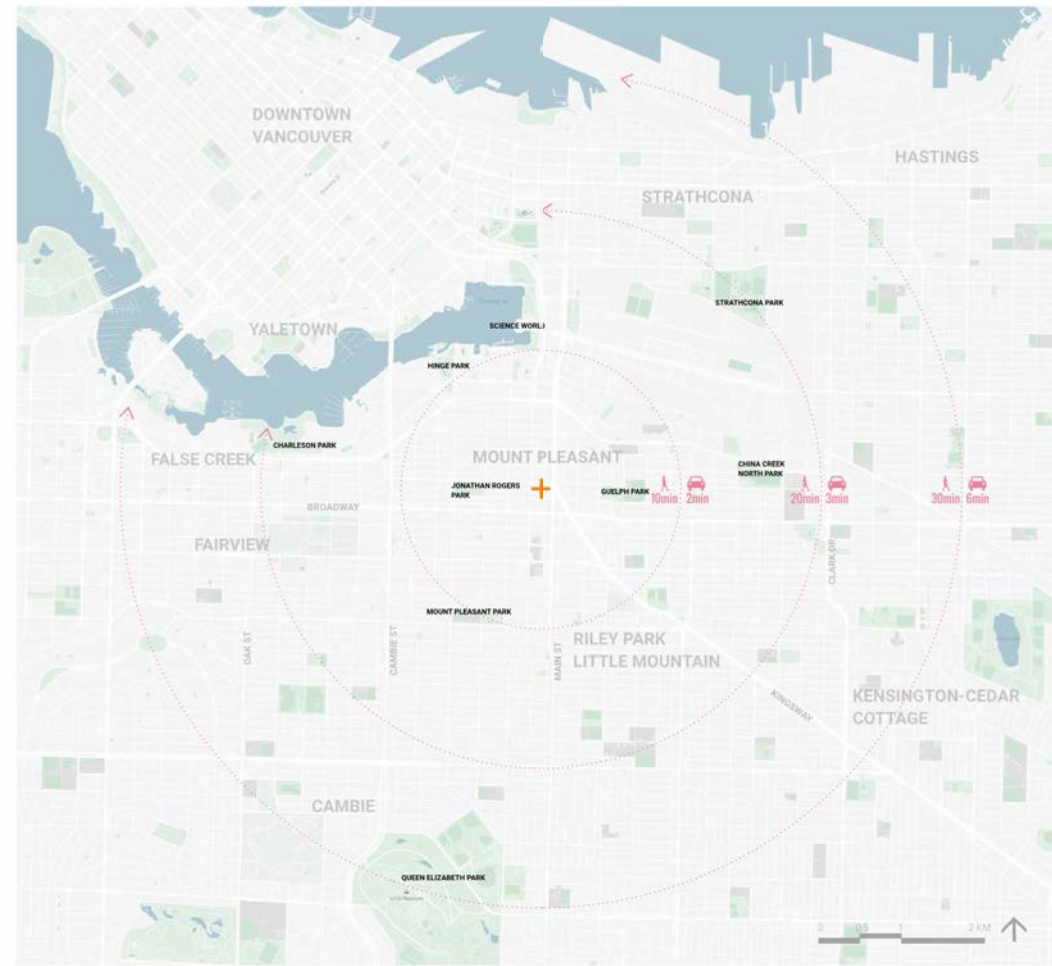
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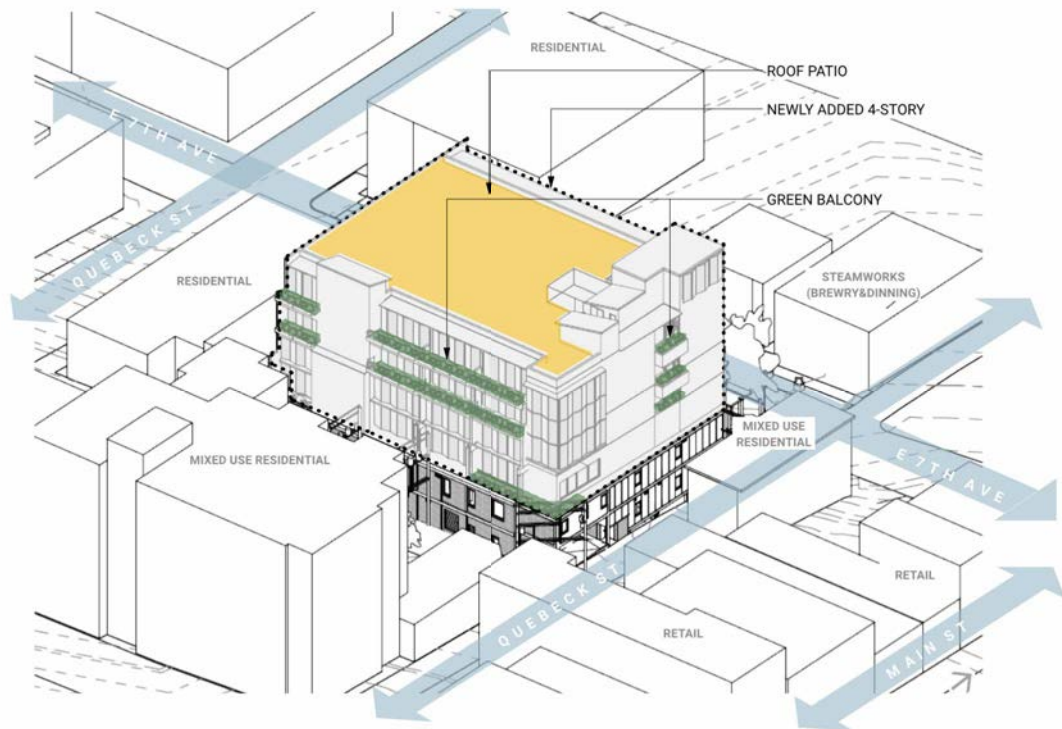


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CONTEXT



NEIGHBORHOOD VIBE



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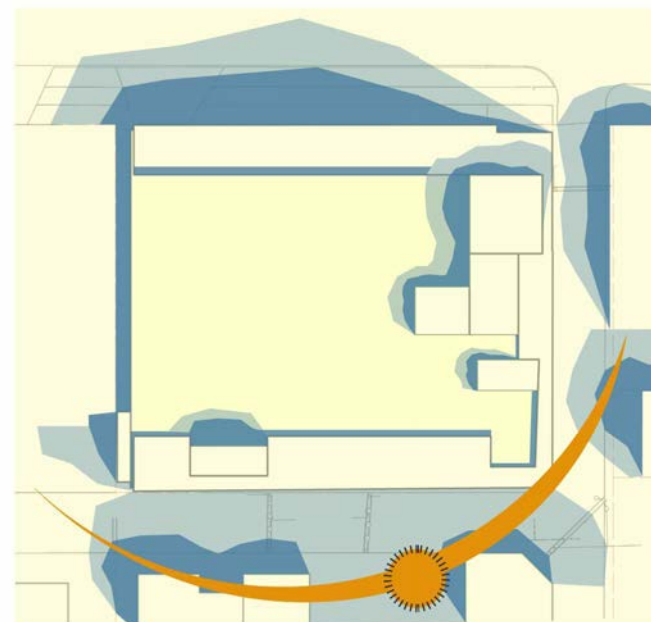
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138 EAST 7TH AVENUE
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Vancouver, British Columbia

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CONTEXT



SUN & SHADE

- FULL SHADE
- PART SHADE
- FULL SUN
- SUN



PROGRAM

- SOCIAL ZONE
- RELAXING ZONE
- EDIBLE PLANTING
- ENTRY



SOIL DEPTH

- 900MM
- 300-450MM



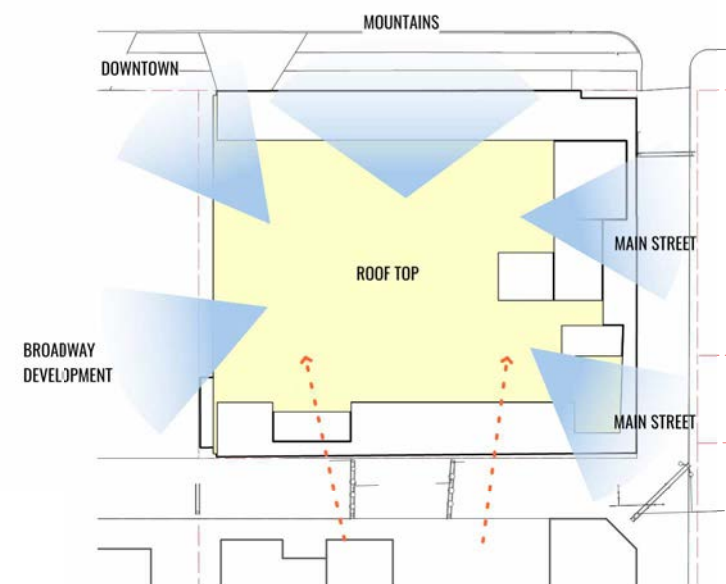
SPACE CAPACITY - PERFORMANCE

- PEOPLE = APPROX. 60 - 100
- STAGE/SEATING
- ENTRY



SPACE CAPACITY - LUNCH BREAK

- PEOPLE = APPROX. 60 (SITTING DOWN)
- SEATING/STAGE
- ENTRY



VIEW

- VIEW CONE
- VIEW FROM NEIGHBOR

KEYPLAN

SEAL

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138 EAST 7TH AVENUE

138 East 7th Avenue
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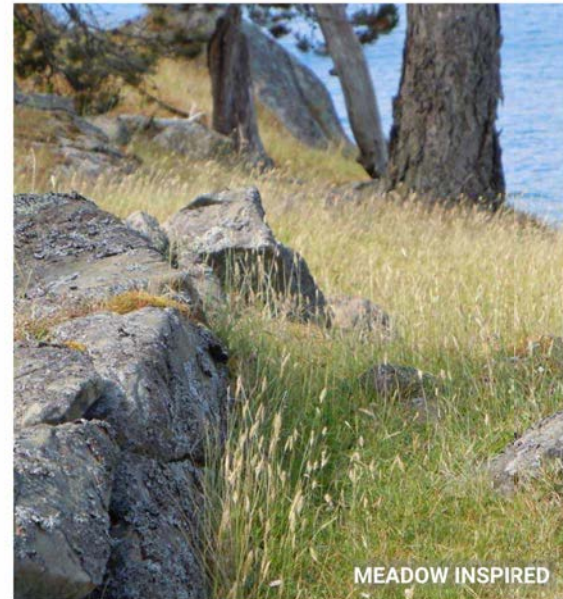
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Reviewed: KL/KML

Project No. 06-810

ANALYSIS

LANDSCAPE



MEADOW INSPIRED



MOUNDED



RESILIENT



HABITAT & POLLINATOR



BIODIVERSITY & ABSORBENT

PROGRAM



FLEXIBLE



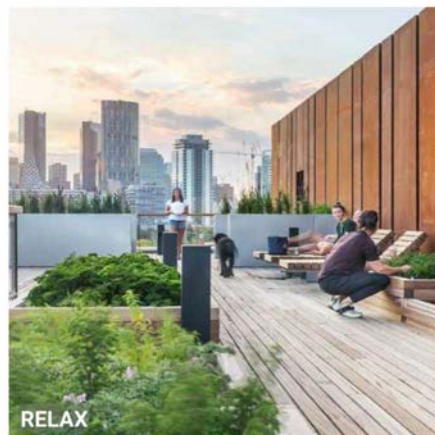
PERFORM



SOCIAL



GROW



RELAX



COLLABORATE



OUTDOOR WORKING

KEYPLAN

SEAL

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CHARACTER

KEYPLAN

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REVISIONS

138 EAST 7TH AVENUE

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SYMBOLISM



THE TREE OF LIFE

Sometimes referred to as the World Tree or the Tree of Knowledge, appearing in the mythology and folklore of cultures around the world.

Tree of Life meanings vary slightly from culture to culture. However, a common theme they all share is the idea that a mystical tree connects the physical and spiritual worlds. In addition, the Tree of Life is foundational to supporting all life.

WHAT DOES THE TREE OF LIFE MEAN?

While mythologies about the Tree of Life vary from culture to culture, in general the Tree of Life symbolizes a source of wisdom about the physical and supernatural worlds.

In most cultures, it connects the earthly, or material world of humans to the heavenly, or supernatural, world of the gods.

TREE OF LIFE MEANING IN CULTURAL MYTHOLOGY

Peoples as diverse as the Vikings, ancient Egyptians, Celts, Native Americans, Jewish mystics, and others all told stories of a Tree of Life. Essentially, the Tree of Life helped to explain the divine plan of how people got here and how they should conduct themselves on Earth.

SYMBOLISM

Ecosystems are home to more plant species than any other terrestrial ecosystem in coastal British Columbia. Many of these species occur nowhere else in Canada.

These habitats support 104 species of birds, 7 amphibians, 7 reptiles and 33 mammal species.

Intact Garry Oak ecosystems and associated understory plants have become rare, and in some locations are critically imperiled and at risk of extinction

Referred to as the World Tree or the Tree of Knowledge,

Mystical tree connects the physical and spiritual worlds. Foundational to supporting all life.

Physical and spiritual nourishment, transformation and liberation, union and fertility.

Often seen as a symbol of femininity due to its long branches and flowing leaves, the trunk is seen as masculine

Symbol of rebirth, new beginnings, protection, and growth.

It's a sacred tree within the mythology of the Celts and is thought to have very protective influences.

Birch wood is believed to ward off evil, banish fears and build courage. Associated with beauty and tolerance

Represents triumph of life over darkness in some religions.

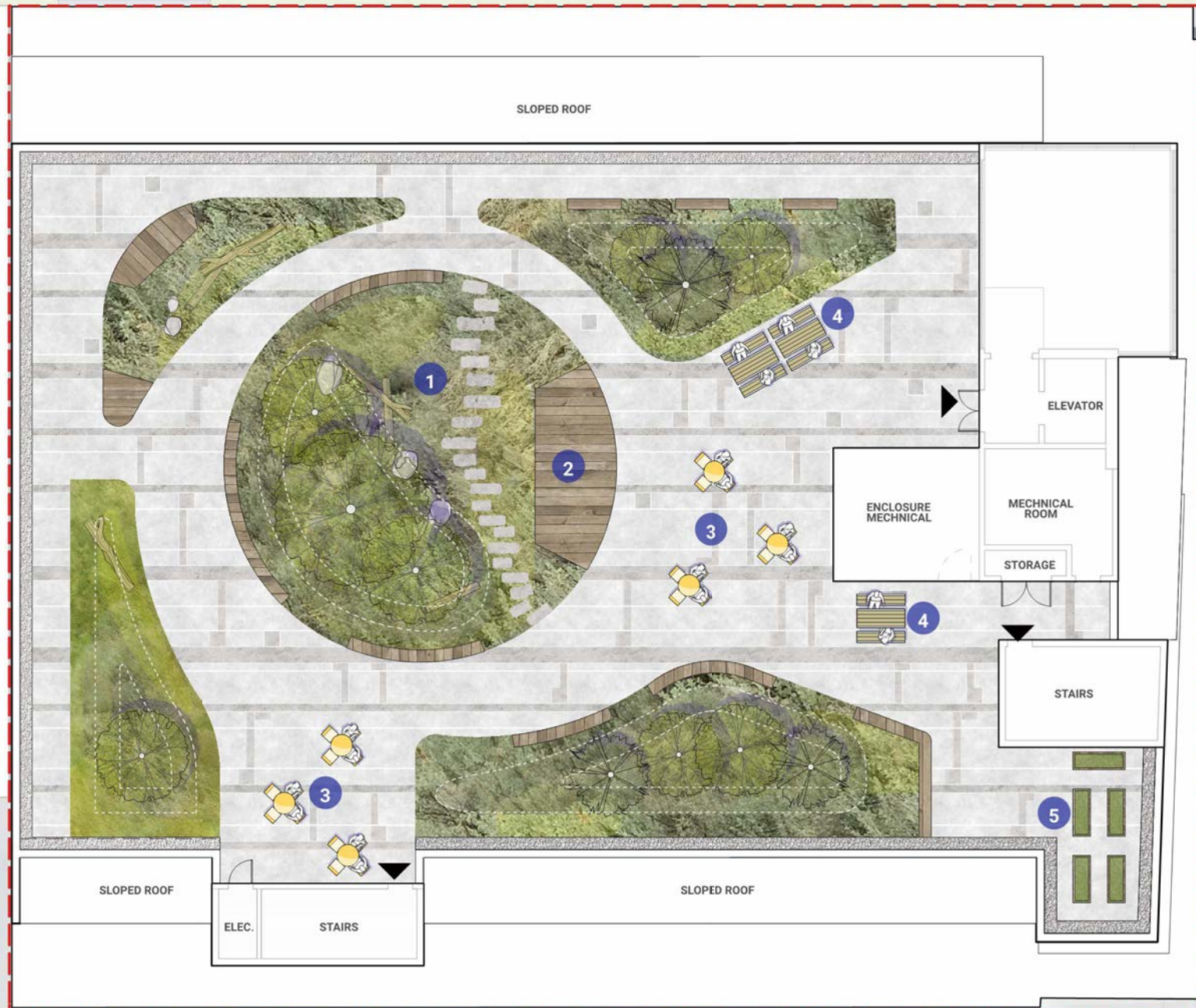
They are strong, and stubborn – and fight for survival in any location they are placed,

Highly adaptable, during strong winds, they often bend to avoid breaking

Symbolizes immortality and eternity



E 7TH AVE



PROGRAM LEGEND

- 1 CENTRAL MEADOW
- 2 BENCH PLATFORM
- 3 MOVABLE TABLES&CHAIRS
- 4 OUTDOOR DINING/WORKING
- 5 VEGGIE BED
- ▲ BUILDING ENTRY/EXIT

MATERIAL LEGEND

- | KEY | DESCRIPTION |
|-----|---|
| | SLAB PAVER
COLOR: NATURAL & CHARCOAL |
| | WOOD DECK/SEATING |
| | PLANTING |
| | GRAVEL SURFACE |
| | DINNING TABLE & CHAIRS
(BY OWNER) |
| | PICNIC TABLE
(BY OWNER) |
| | STEPPING STONE |
| | BOULDER |
| | HABITAT LOGS |
| | PROPOSED CONIFEROUS TREE |
| | PROPOSED DECIDUOUS TREE |

KEYPLAN

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REVISIONS

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**LANDSCAPE PLAN
ROOF TOP**

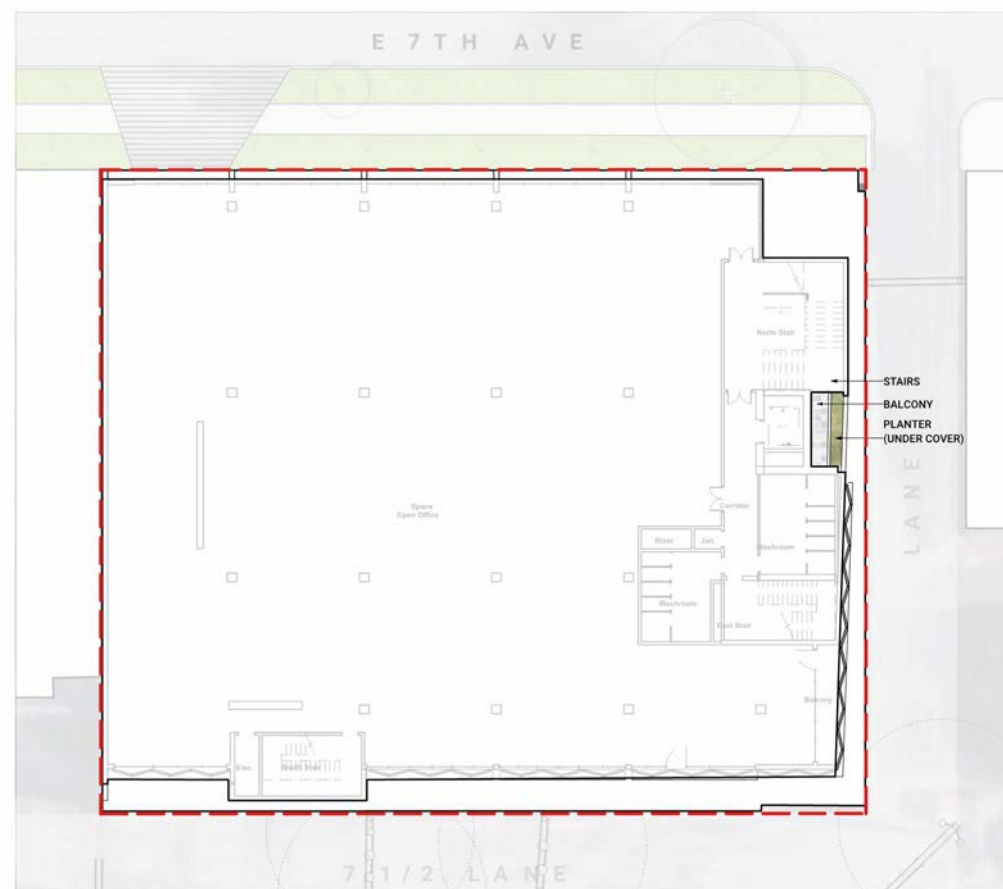


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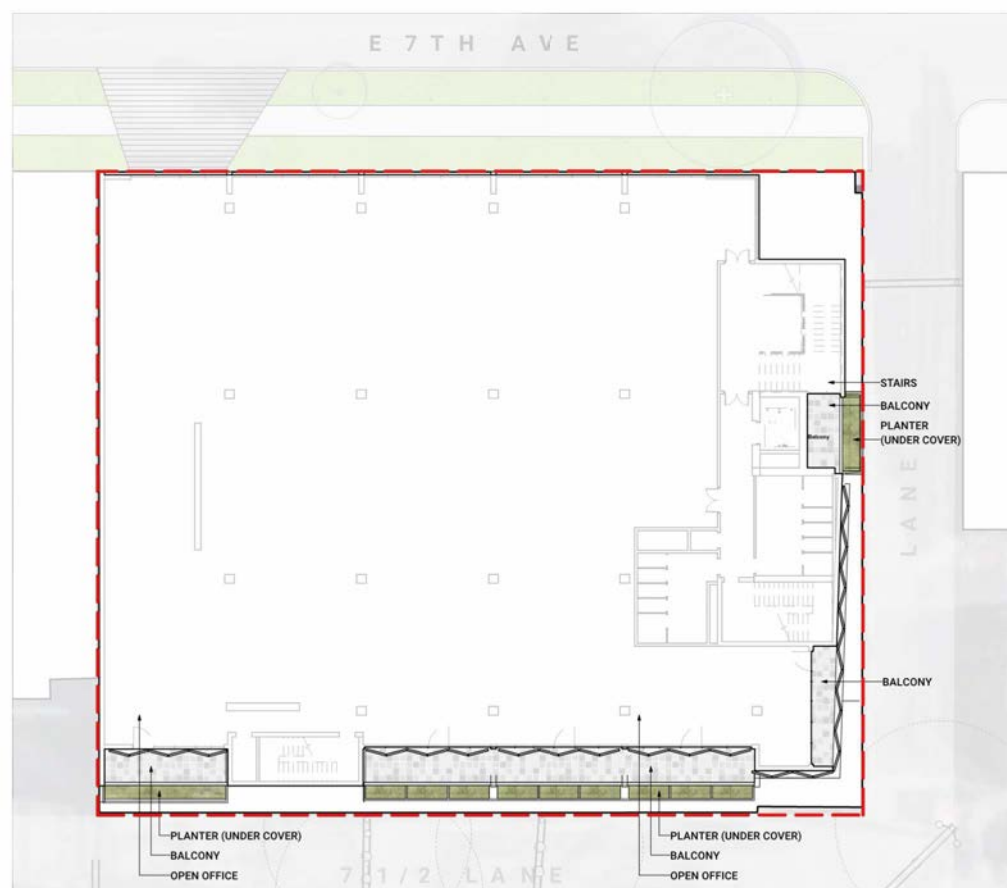




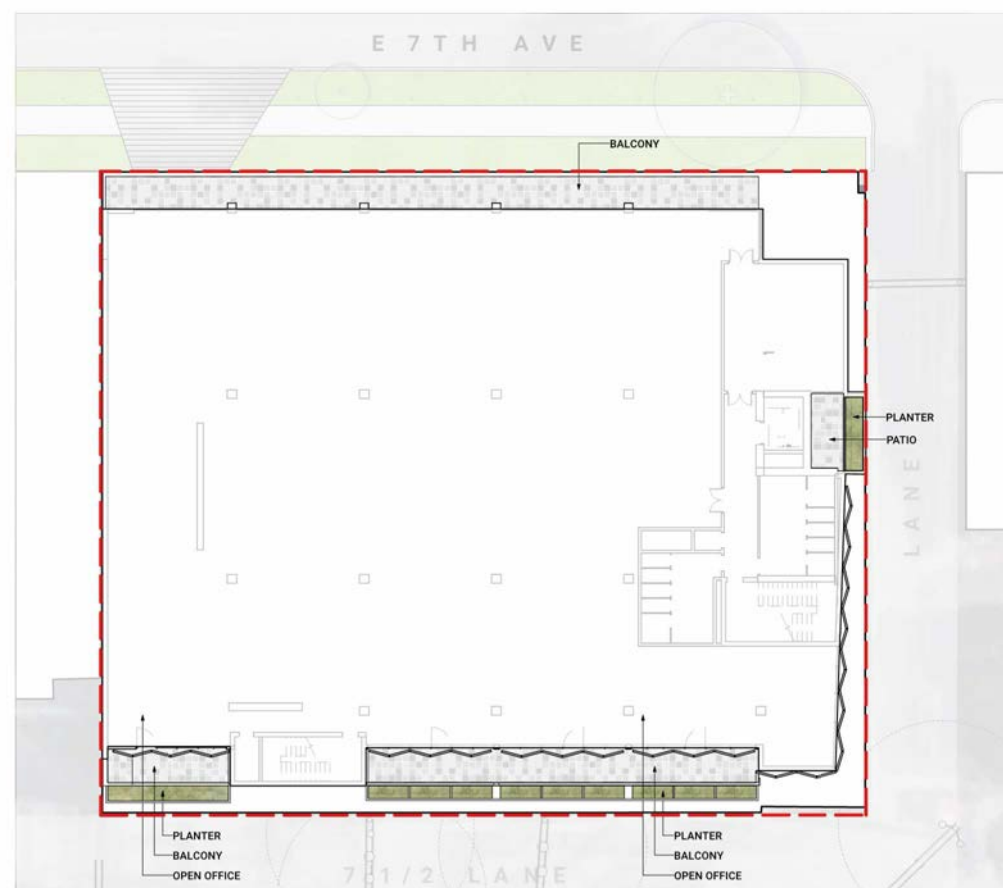
1 LEVEL 3 PLAN
Scale: 1:200



2 LEVEL 4 PLAN
Scale: 1:200



3 LEVEL 5 PLAN
Scale: 1:200



4 LEVEL 6 PLAN
Scale: 1:200

MATERIAL LEGEND

KEY	DESCRIPTION
	PLANTER
	SLAB PAVER

PLANTING MATERIAL

BOTANICAL NAME	COMMON NAME
SHRUB	
ARBUTUS UNEDO 'COMPACTA'	STRAWBERRY BUSH
BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD
MAHONIA REPENS	CREeping OREGON GRAPE
POLYPODIUM GLYCYRRHIZA	LICORICE FERN
POLYSTICHUM MUNITUM	SWORD FERN
ROSA NOOTKANA	NOOTKA ROSE
VACCINIUM OVATUM 'THUNDERBIRD'	EVERGREEN HUCKLEBERRY
GROUNDCOVER	
ARCTOSTAPHYLOS UVA URSII	KINNIKINNICK
SEDUM SPP.	SEDUM

KEYPLAN

SEAL

NO.	DESCRIPTION	DATE
3	RE-ISSUED FOR REZONING	24-05-10
2	ISSUED FOR REZONING	23-01-31
1	ISSUED FOR DRAFT REVIEW	22-12-01

REVISIONS

138 EAST 7TH AVENUE

138 East 7th Avenue
Vancouver, British Columbia

Scale: _____ NTS

Drawn: _____ MW

Reviewed: _____ KL/KML

Project No. _____ 06-810

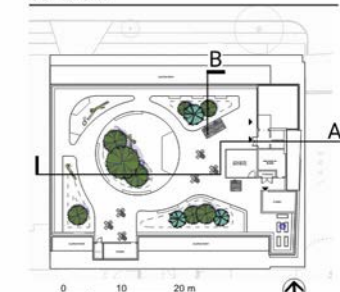
LANDSCAPE PLAN
LEVEL 3-6



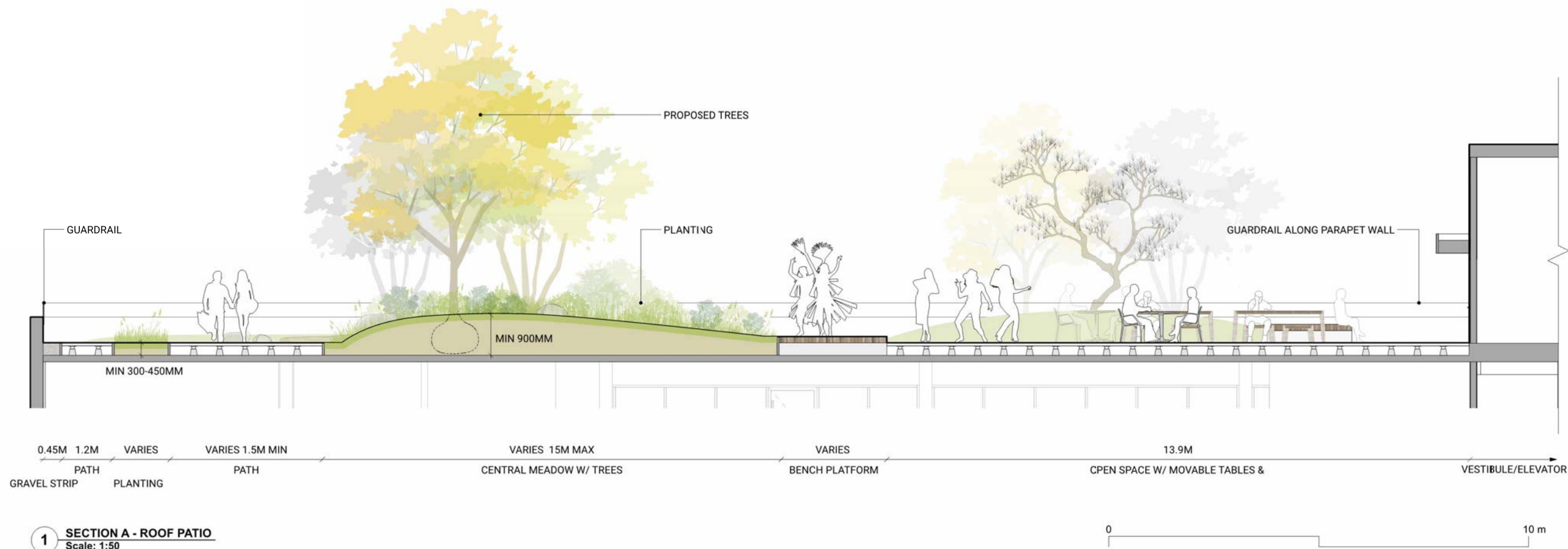
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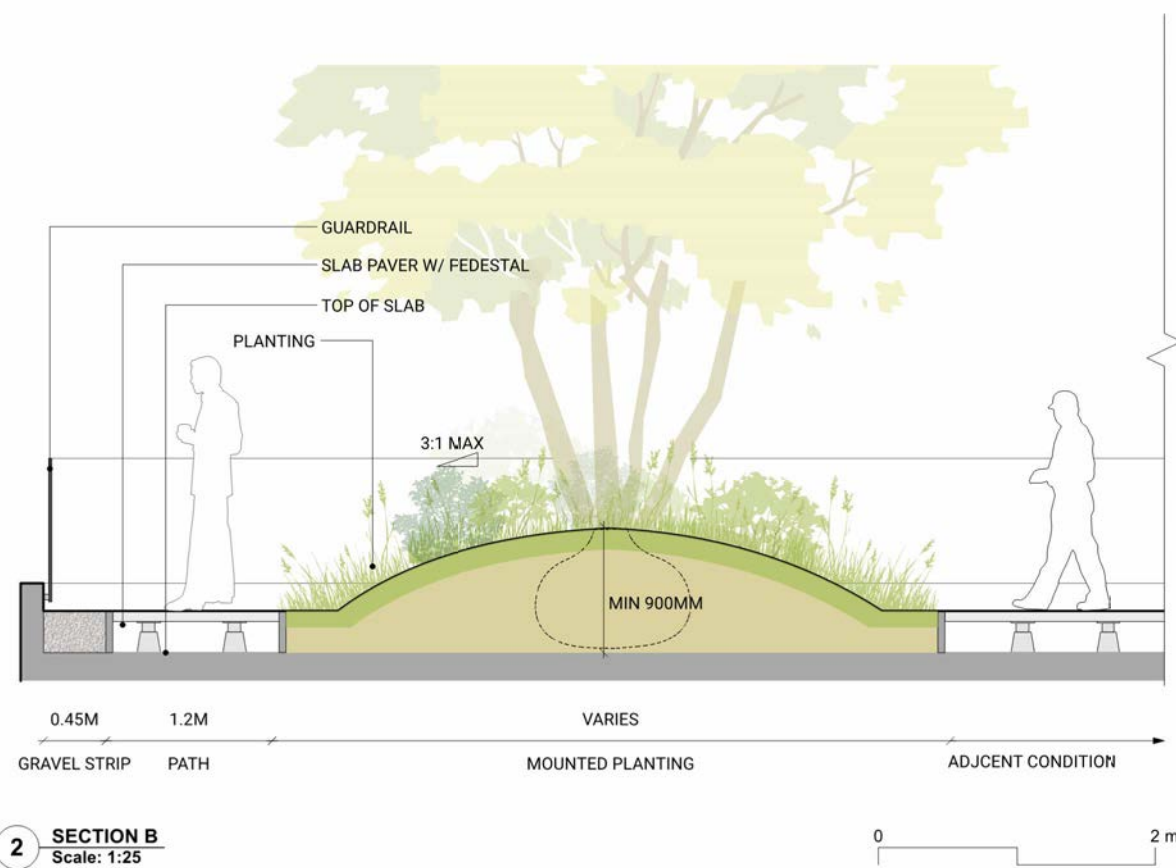
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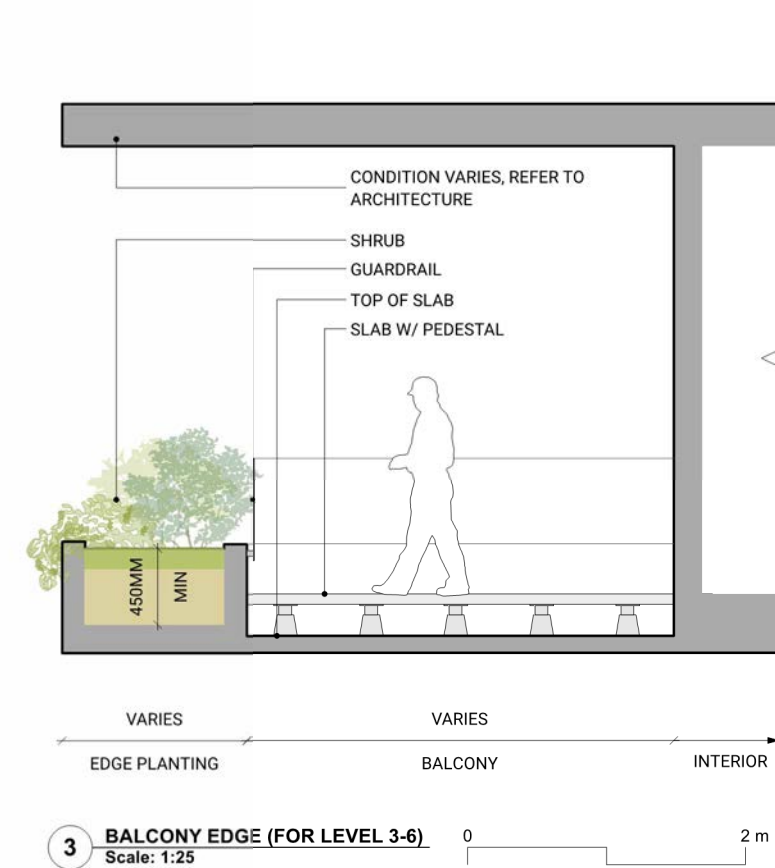
KEYPLAN



1 SECTION A - ROOF PATIO
Scale: 1:50



2 SECTION B
Scale: 1:25



3 BALCONY EDGE (FOR LEVEL 3-6)
Scale: 1:25



SEAL

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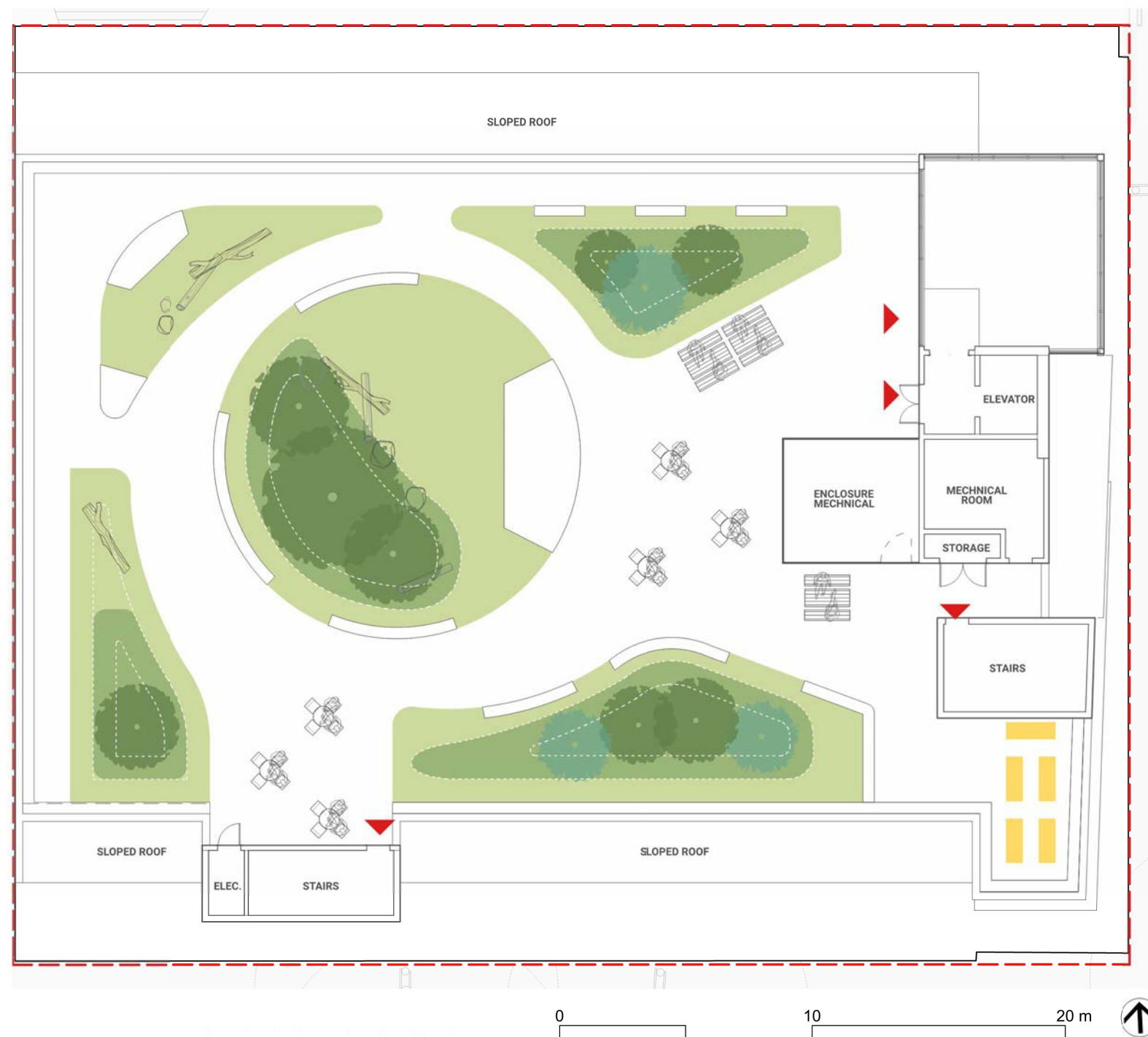
Project No. 06-810

SECTION

SYMBOL	BOTANICAL NAME	COMMON NAME
TREE		
	ACER JAPONICUM	JAPANESE MAPLE
	BETULA NIGRA	RIVER BIRCH
	QUERCUS GARRYANA	GARRY OAK
	PINUS CONTORTA CONTORTUS	SHORE PINE
SHRUB		
	ARBUTUS UNEDO 'COMPACTA'	STRAWBERRY BUSH
	BUXUS MICROPHYLLA 'WINTER GEM'	WINTER GEM BOXWOOD
	MAHONIA REPENS	CREeping OREGON GRAPE
	POLYPODIUM GLYCYRRHIZA	LICORICE FERN
	POLYSTICHUM MUNITUM	SWORD FERN
	ROSA NOOTKANA	NOOTKA ROSE
	VACCINIUM OVATUM 'THUNDERBIRD'	EVERGREEN HUCKLEBERRY
MEADOW GRASS		
	CAREX TUMULICOLA	BERKELY SEDGE
	CAREX Densa	DENSE SEDGE
	FESTUCA GLAUCA	BLUE FESCUE
	HAKENCHLOA 'AUREOLA'	GOLDEN FOREST GRASS
	SISYRINCHIUM BELLUM	CALIFORNIA BLUE-EYED GRASS
PERENNIAL/BLUB		
	ARMERIA MARITIMA	COMMON THRIFT
	ECHINACAE SPP.	PURPLE CONE FLOWER
	ESCHSCHOLZIA CALIFORNICA	CALIFORNIA POPPY
	BRODIAEA SPP.	CLUSTER LILLY
	CAMASSIA SPP.	COMMON CAMAS
GROUNDCOVER		
	ARCTOSTAPHYLOS UVA URSII	KINNIKINNICK
	SEDUM SPP.	SEDUM
EDIBLE		
	ALLIUM SCHOENOPRASUM	CHIVE
	FRAGARIA CHILOENSIS	COASTAL STRAWBERRY
	HELICTOTRIOCHON SEMPERVIRENS	THYME
	ROSMARINUS OFFICIANLIS	ROSEMARY
	VACCINIUM CORYMBOSUM	NORTHERN BLUE BLUEBERRY

PLANTING NOTES

1. ALL PLANTING SHALL BE IN ACCORDANCE WITH THE CANADIAN LANDSCAPE STANDARD LATEST EDITION.
2. SEE SPECIFICATIONS AND DETAILS FOR PLANTING METHODS, REQUIREMENTS, SOIL TESTING, MATERIALS AND PLAN PROTECTION.
3. ALL PLANTING AREAS SHALL BE WATERED WITH AN IN-GROUND HIGH EFFICIENCY AUTOMATIC IRRIGATION SYSTEM ,COMPLETED W/ RAINWATER SENSOR.
4. MINIMUM SOIL DEPTH: 900MM FOR TREE, 450MM FOR SHRUB, 300MM FOR GRASS, PERENNIAL, BULB, GROUNDCOVER AND EDIBLE PLANTS.



KEYPLAN

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PLANTING PALETTE