

1305&1325 W 13TH AVE

VANCOUVER, BRITISH COLUMBIA

REZONING SUBMISSION

OCTOBER 8TH, 2025



CDI CHRIS DIKEAKOS
ARCHITECTS INC.



Project Information

Property Address

1305 & 1325 West 13th Avenue, Vancouver

Package Type

Application for Rezoning Submission

Submission Date

October 8th, 2025

Owner

Canderel
1590 - 505 Burrard Street, Vancouver BC V7X 1M5

Architect

Chris Dikeakos Architects
1635 West Broadway, Vancouver BC V6J 1W9



2025-10-08

Project Team



Canderel

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Canderel is a Canadian real estate company based in Montreal, Quebec, with 50 years of operation and seven corporate offices nationwide including Vancouver, Montreal, Quebec City, Toronto, Ottawa, Edmonton and Calgary. It specializes in property management, leasing, project management, construction, commercial and residential development, and investment services.



Chris Dikeakos Architects

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CDA is one of North America's leading architectural firms in high-rise residential and mixed-use design. Celebrating 30 years in business, CDA has been designing communities and shaping the skylines of many municipalities in the Lower Mainland. Our work has extended across Canada, including Calgary, Edmonton, and Toronto, and into the U.S. on with projects in Seattle, San Francisco, Los Angeles, and San Diego.



2025-10-08

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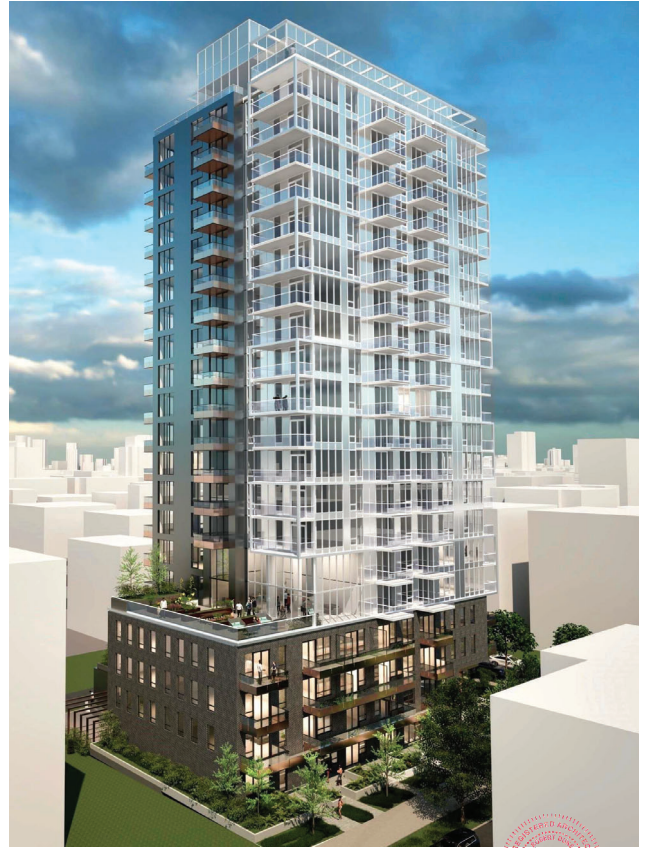
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1.0 Introduction

- 1.1 Project Overview
- 1.2 Rezoning Intent
- 1.3 Proposal Summary
- 1.4 Development Summary



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1.1

Project Overview

The proposed development is located within the Fairview South Neighbourhood, bordered by Hemlock Street to the east, Birch Street to the west, W 13th Avenue to the south, and the laneway to the north. The project site is surrounded by an existing 10-storey market strata residential tower to the east and a 10-storey rental residential tower to the north.

The development consists of a 20-storey residential tower that includes two levels of underground parking. The lower portion features a four-level podium incorporating a mix of below-market rental and market rental units, while the upper fifteen levels are dedicated to market rental housing. Below-market rental units are also provided on Level 5, further increasing the accessibility of affordable housing within the development. Residents will have access to indoor amenities on the first, fifth, and twenty-first floors, as well as outdoor amenities on these same levels.

The project offers a diverse range of housing types, including studio apartments, one-bedroom units, two-bedroom units, and three-bedroom family homes. The primary residential entrance is positioned along W 13th Avenue near the southeast corner, with additional ground-level entrances providing access to below-market rental city homes.

This rezoning proposal aims to support the City of Vancouver's housing strategy by enhancing the rental housing supply and offering a combination of below-market and market rental options within the Fairview South Neighbourhood.



1.2

Rezoning Intent

Canderel and Chris Dikeakos Architects are pleased to formally submit an updated rezoning application to the City of Vancouver for our proposed development located at 1305 and 1325 West 13th Avenue, Vancouver. A previous rezoning application was submitted in June 2024, and this booklet serves as an update to that application, reflecting refinements and additional information in response to community and City feedback.

We received the Rezoning Enquiry Letter of Response on May 12, 2023, and since then, our team has diligently addressed the City's comments to develop a robust rezoning proposal. The subject site is currently occupied by an existing 3-storey rental building containing 22 units constructed in 1959, and a single-detached home constructed in 1912. Under the Broadway Plan, our rezoning application aligns and complies with the need for increased rental housing in the Fairview South - Area B neighbourhood.

The proposed development features a mixed-tenure building serving 36 secured below-market rental homes and 136 secured market rental homes within a 20-storey building and a density of 6.5 FSR. Our proposed development significantly increases the rental housing supply by providing 172 total homes, of which 20% of the residential floor area is secured as below-market rental.

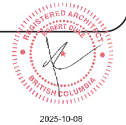
Thoughtful landscaping, including a publicly accessible plaza in the southeast corner at the intersection of Birch Street and 13th Avenue, fosters a pedestrian-friendly and welcoming environment.



1.3

Proposal Summary

	Broadway Plan	Proposed
Zoning	RM3 FSOB Faireview South Area B	CD1 FSOB Faireview South Area B
Uses	Rental	Below Market Rental, Market Rental
Floor Space Ratio	6.5 FSR	6.5 FSR
Below Market rental FSR	20% of the Residential floor area	20% of the Residential floor area
Below Market Rental Units	N/A	36
Market Rental Units	22	136
Site Coverage	N/A	N/A
Setbacks	W13th Avenue: 3.7m (12ft) Birch Street: 3.7m (12ft) Centre of Lane: 12.1m (40ft) West Property: 2.4m (8ft)	W13th Avenue: 3.7m (12ft) Birch Street: 3.7m (12ft) Centre of Lane: 12.1m (40ft) West Property: 2.4m (8ft)
Heights	20 storeys	20 storeys + Amenity



1.4

Development Summary

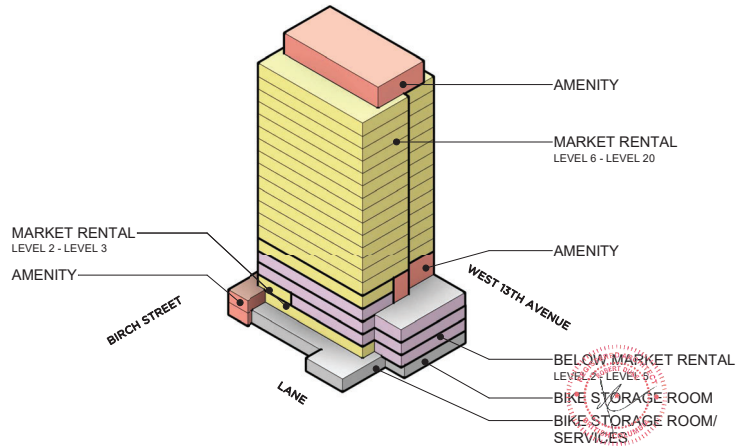
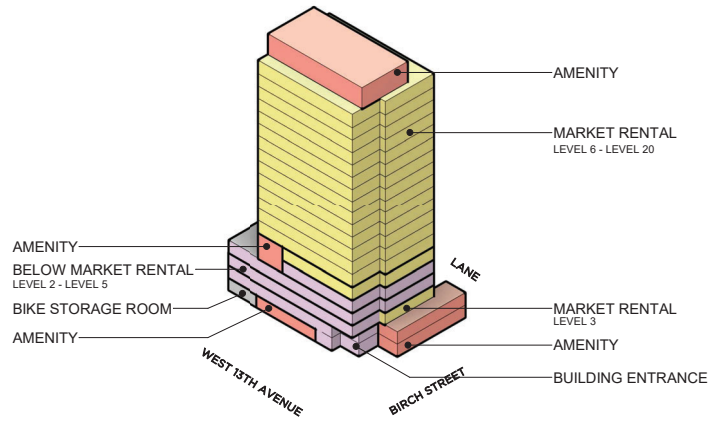
18,761 SITE AREA
SQUARE FEET (TOTAL)

121,947 TOTAL AREA - FAR 6.50
SQUARE FEET (TOTAL)

6.50 TOTAL FAR
RATIO

172 TOTAL UNITS
36 BELOW MARKET RENTAL + 136 MARKET RENTAL

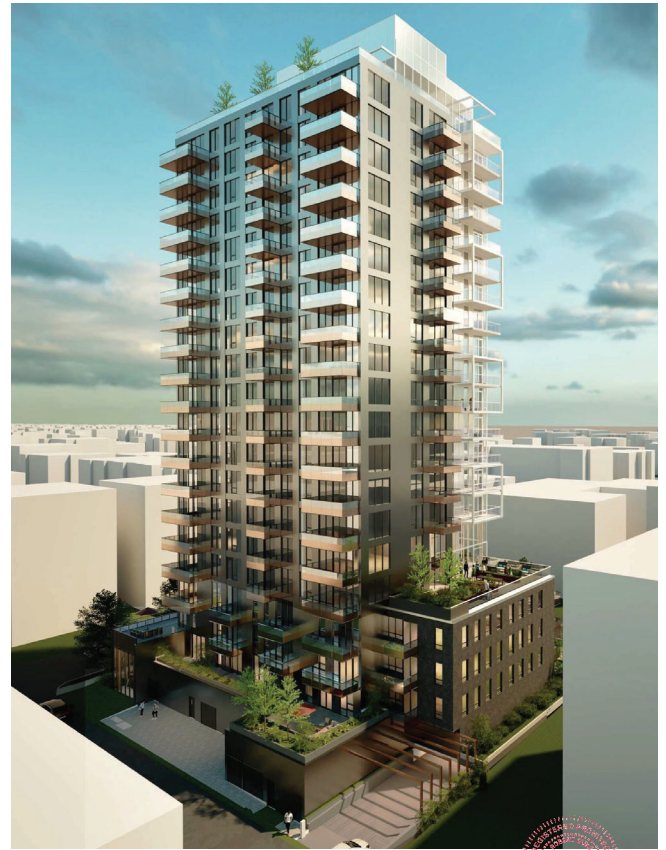
20 LEVELS
LEVEL 21 ROOFTOP AMENITY



2.0

Site Analysis

- 2.1 Aerial View of Site
- 2.2 Aerial View of Site
- 2.3 Site Location and Views
- 2.4 Zoning Map
- 2.5 Fairview Neighbourhood Land use
- 2.6 Fairview South Land Use & FSR
- 2.7 Policy Context



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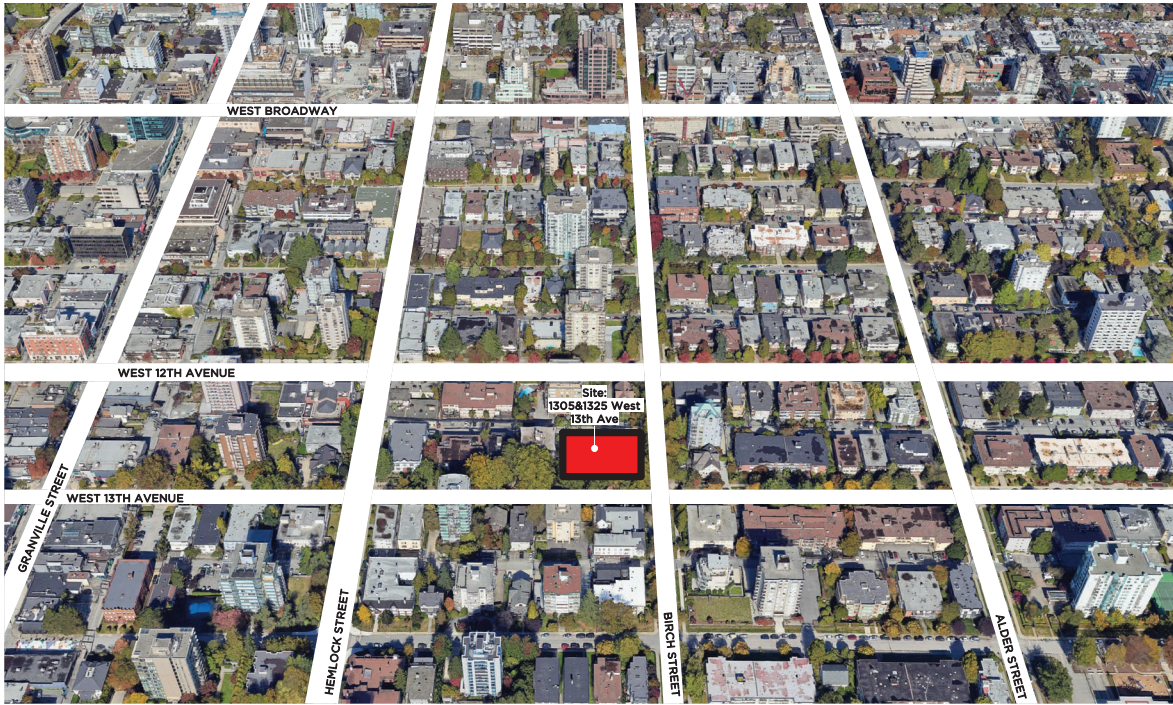
2.1

Aerial View of Site



2.2

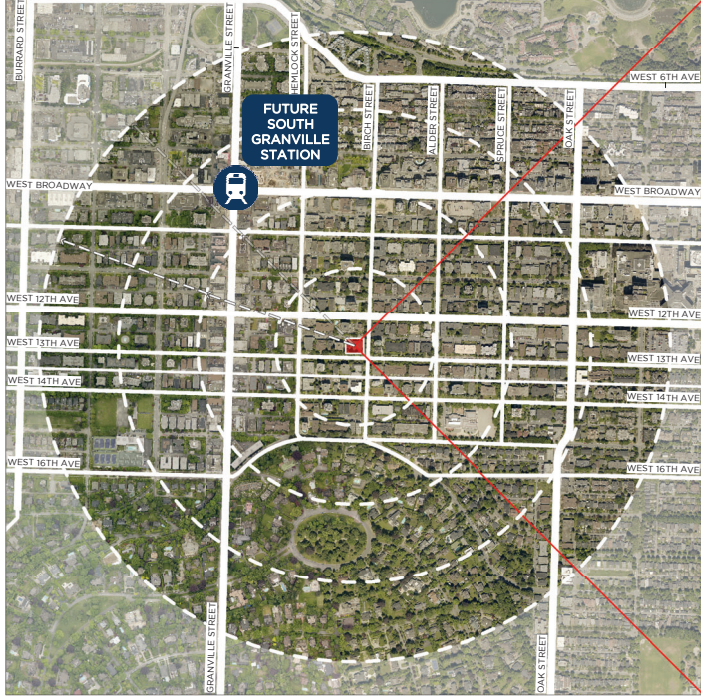
Aerial View of Site



2.3

Site Location and Views

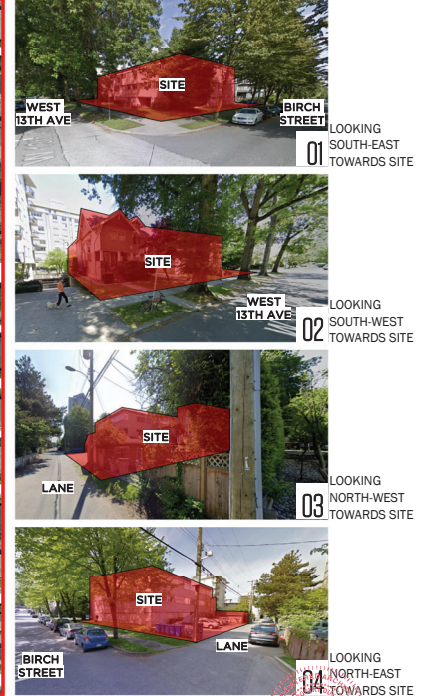
Context Map



Site Map



Street Views

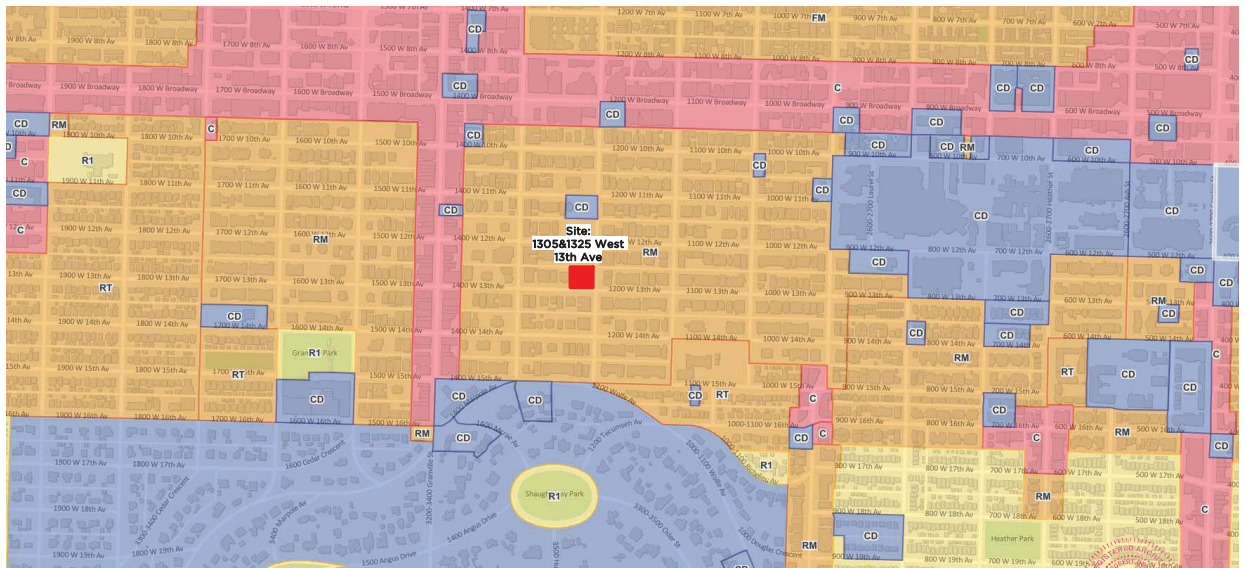


2.4

Zoning Map

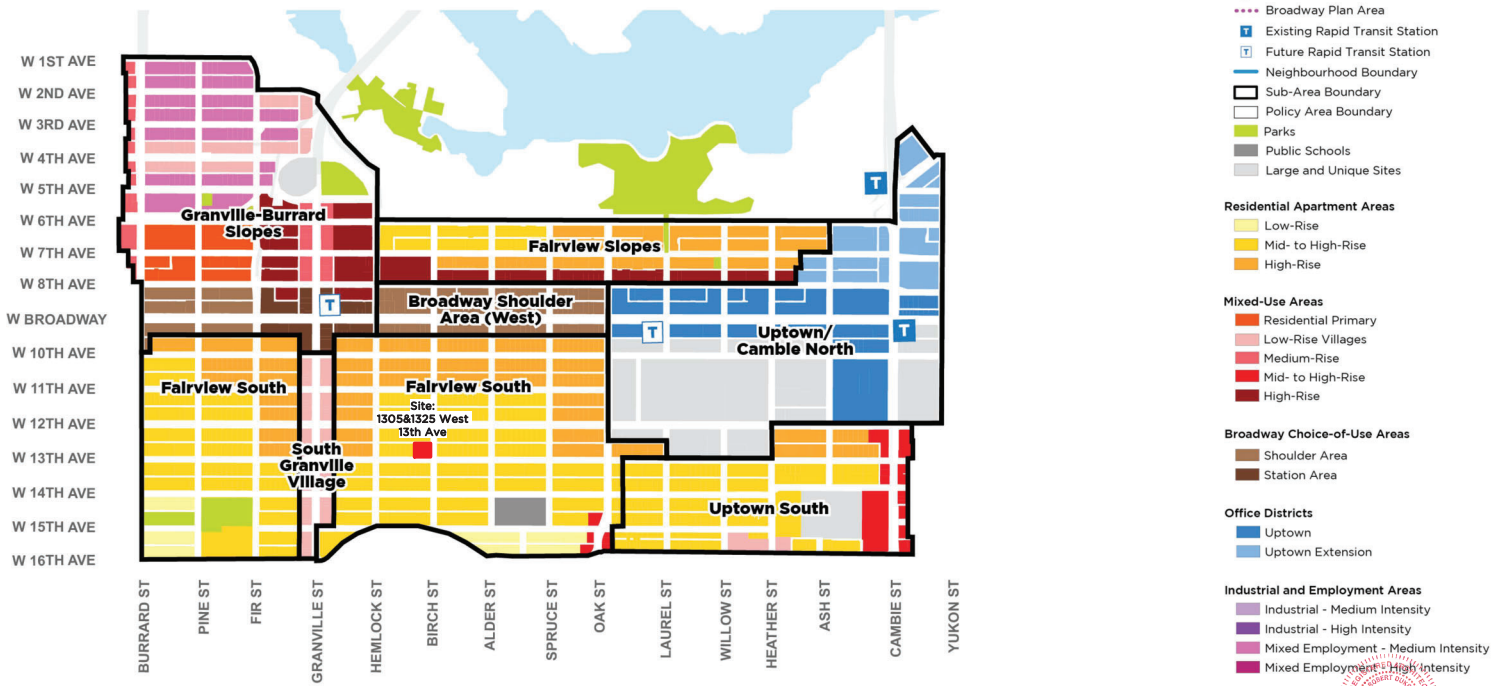
The subject site's current zoning is RM-3 residential. The proposed zoning designation is CD1, and will encompass below market rental and market rental housing.

- Legend**
- Zoning Classification**
- Commercial
 - Comprehensive Development
 - Historical Area
 - Industrial
 - Limited Agriculture
 - Residential
 - Residential Inclusive
 - Residential Rental



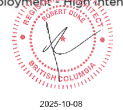
2.5

Fairview Neighbourhood Land use



1305&1325 W 13TH AVE

SITE ANALYSIS



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2.7

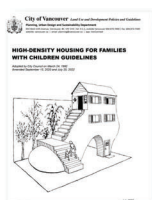
Policy Context

An examination of the policies, guidelines, bylaws, bulletins, and building codes overseeing the approval process for the site has shaped a project aiming to meet the goals and demands outlined within the regulatory structure. Alongside the Vancouver Building By-Law, zoning bylaws, and parking regulations, the pivotal documents pertinent to the proposed project include:

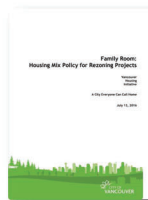
Broadway Plan (2022)



High-Density Housing for Families and Children Guidelines (1992)



Family Room: Housing Mix Policy for Rezoning Projects (2016)



Housing Strategy (2017)



Green Buildings Policy for Rezoning (2010, last amended 2023)



Vancouver Plan (2050)



Making Space for Arts and Culture: Cultural Infrastructure Plan (2018)



Tenant Relocation and Protection Policy (2015, last amended 2019)



Development Cost Levy By-law



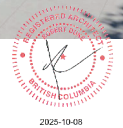
Development Cost Levies Information Bulletin (2018)



3.0

Rezoning Rationale

- 3.1 Transit Connectivity
- 3.2 Pedestrian Cycling Connectivity
- 3.3 Green Spaces
- 3.4 Green Spaces
- 3.5 Tower Separation Plan
- 3.6 Design Considerations
- 3.7 Design Principles



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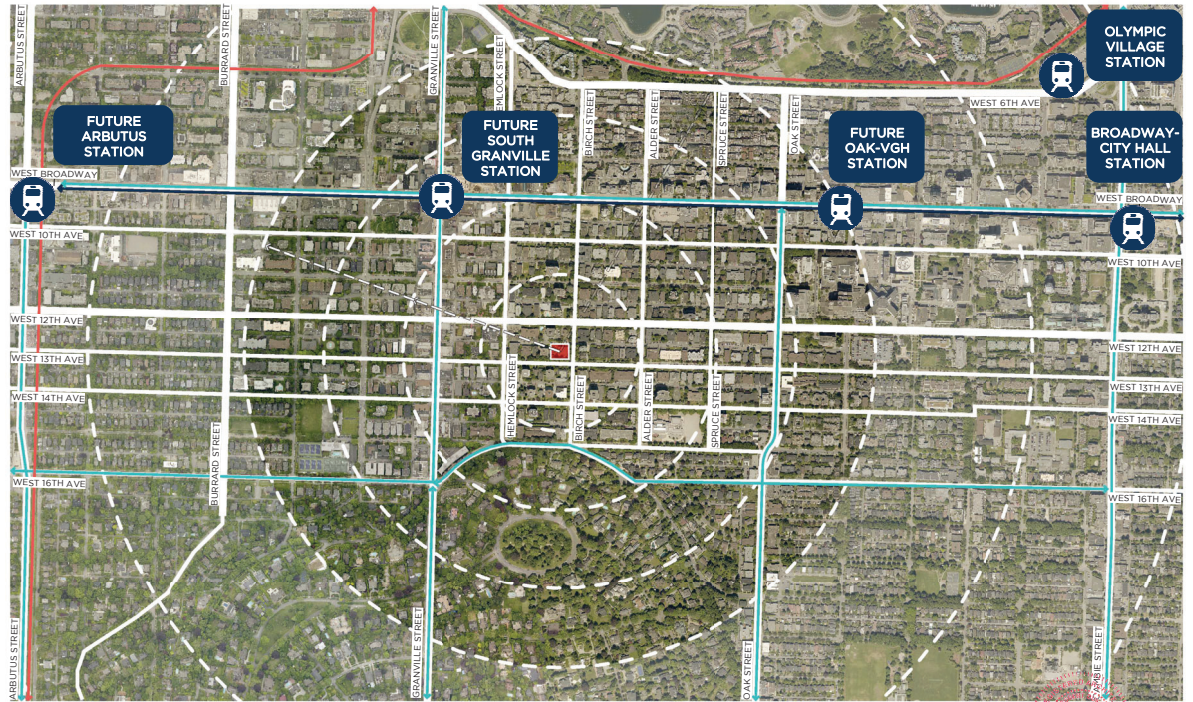
3.1

Transit Connectivity

Public transport plays a critical role in Vancouver's network, ensuring that people can access jobs, food, parks, community services, schools, social opportunities, childcare, and other needs. Transit is particularly important for people with low incomes, women, youth, seniors, and people with disabilities. As the proposed development provides a range of housing types including strata and social housing, a diverse range of people have access to the Future Millennium Line Broadway Extension, as well as bus networks. Currently the site is adjacent to a future network gap between the West 4th Ave and West Broadway corridor, and is within a 5 minute walk to bus and skytrain routes. Providing more homes for people to inhabit the neighbourhood will encourage higher transit use, and reduce reliance on auto-centric modes of travel.

LEGEND

-  FUTURE MILLENNIUM LINE BROADWAY EXTENSION
-  FUTURE MILLENNIUM LINE UBC EXTENSION
-  FUTURE RAPID TRANSIT STATION
-  FUTURE STREETCAR
-  FUTURE NETWORK GAP FOR CONSIDERATION
-  EXISTING BUS SPEED AND RELIABILITY FOCUS CORRIDOR



3.2

Pedestrian Cycling Connectivity

Greenways provide active transportation and recreation opportunities for people of all ages and abilities. These car-lite and car-free corridors connect to key destinations, provide more open space, and enhance natural systems and public life.

The site is 1 block west of the future greenways along Alder Street, and 1 block north of the future West 14th Greenway. By improving the walking environments of the bounding streets of the site, more people will be encouraged to take part in walking and cycling and enhance the neighbourhood's safety. The high quality network of walking connections will animate the public realm and provide opportunities for social interactions and access to amenities and services in the neighbourhood.



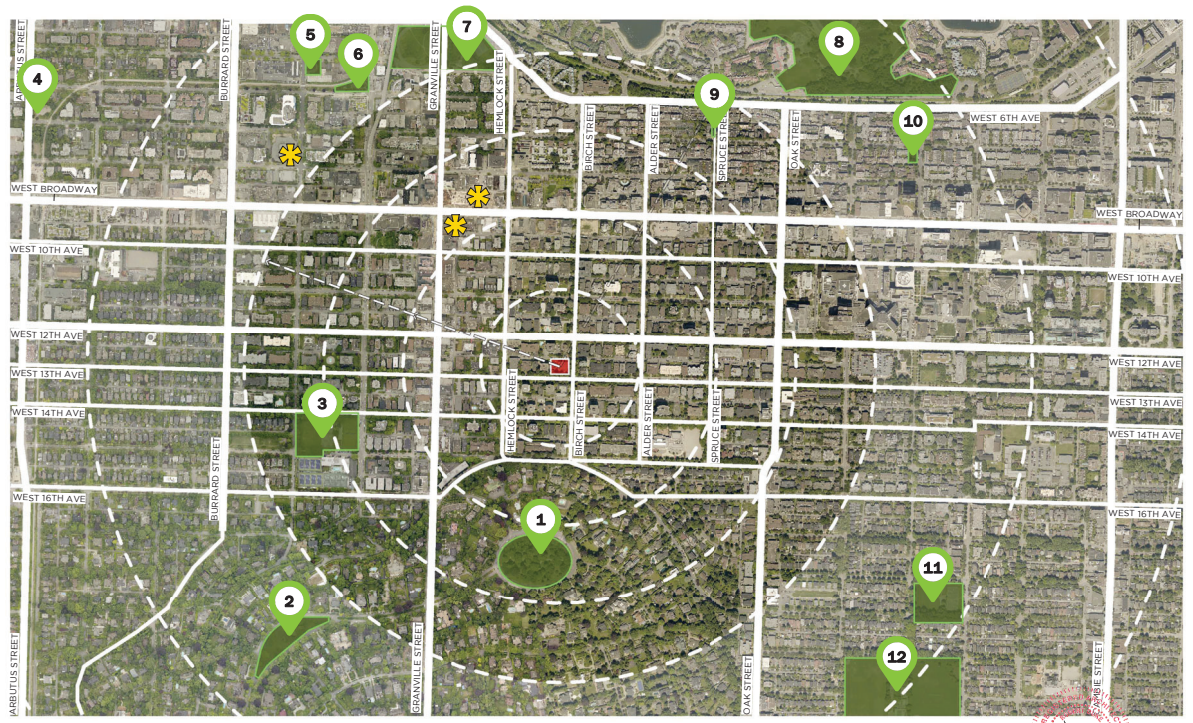
- LEGEND**
- EXISTING GREENWAY
 - - - FUTURE GREENWAY
 - EXISTING BIKE ROUTE
 - - - FUTURE BIKE ROUTE



3.3

Green Spaces

- 1** SHAUGHNESSY PARK
1300 THE CRESCENT
- 2** ANGUS PARK
3600 ANGUS DRIVE
- 3** GRANVILLE PARK
3001 FIR STREET
- 4** DELAMONT PARK
2091 W 7TH AVE
- 5** 5TH AND PINE
5TH AND PINE
- 6** 6TH AND FIR
1605 W 6 AVE
- 7** GRANVILLE LOOP PARK
1435 W 5TH AVE
- 8** CHARLESON PARK
999 CHARLESON
- 9** CHOKLIT PARK
W 7H AVE AND SPRUCE
- 9** WILLOW PARK
802 W 7TH AVE
- 11** HEATHER PARK
702 W 18TH AVE
- 12** DOUGLAS PARK
801 W 22ND AVE



■ POP LOCATION
 ★ POTENTIAL KEY SITE FOR LARGER POP

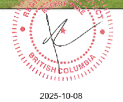
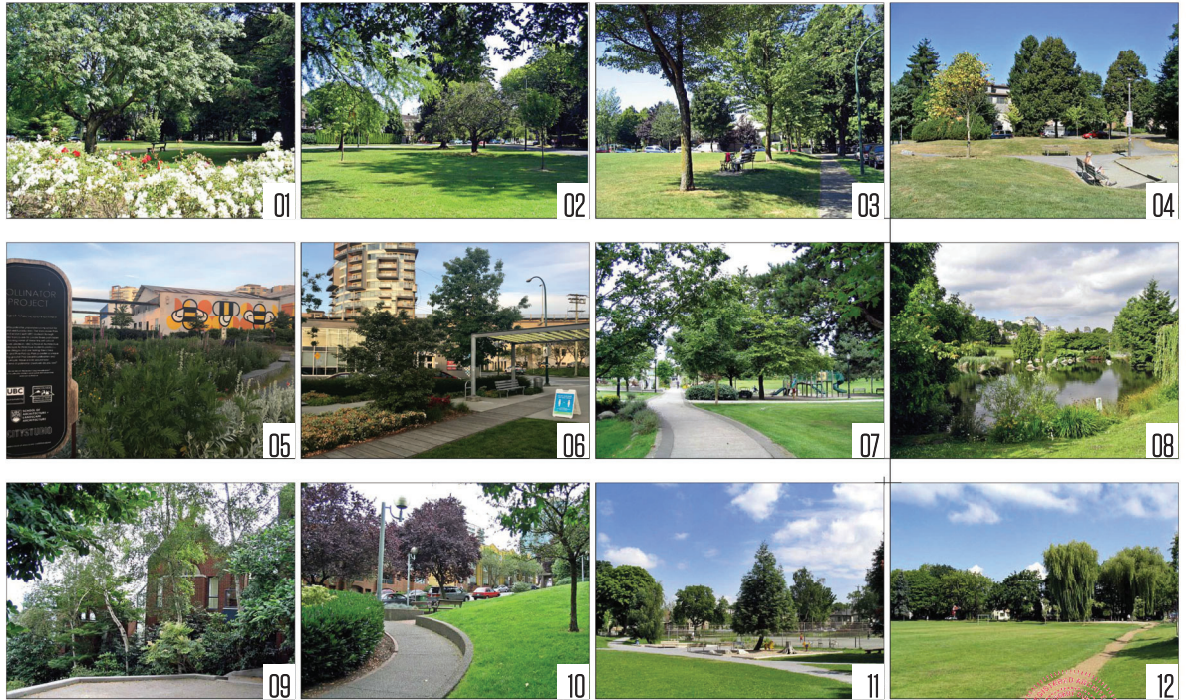


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3.4

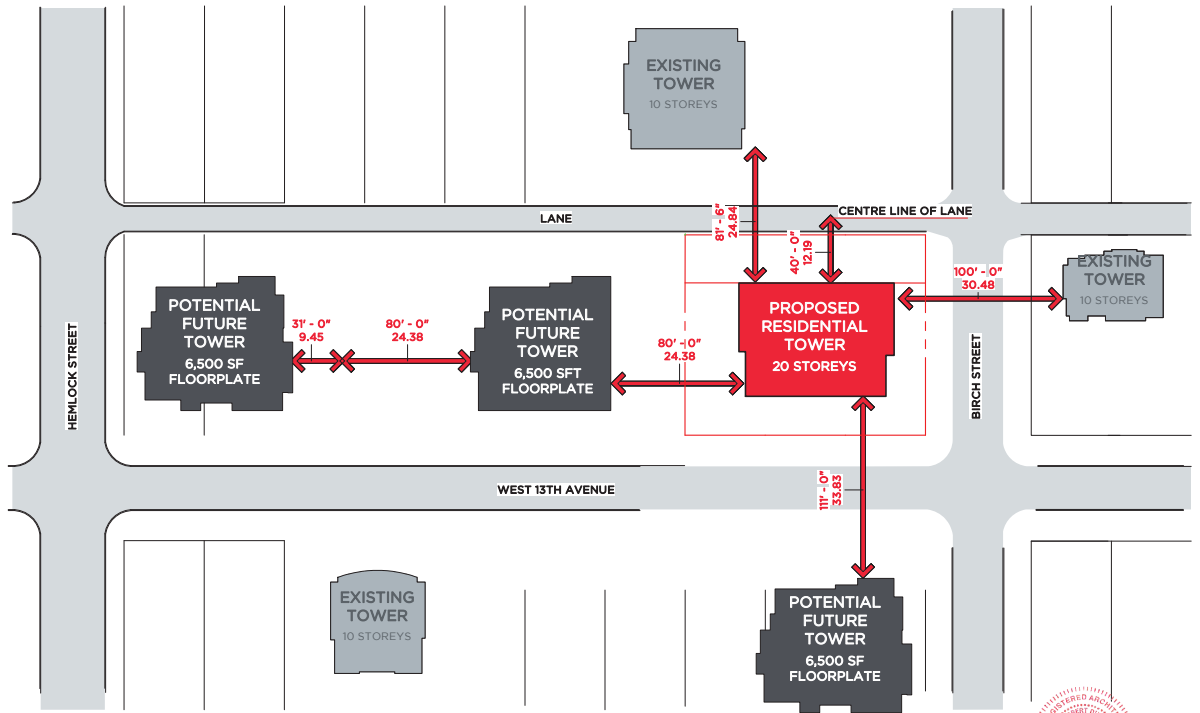
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- 11** HEATHER PARK
702 W 18TH AVE
- 12** DOUGLAS PARK
801 W 22ND AVE



3.5

Tower Separation Plan



- LEGEND**
- PROPOSED TOWER
 - POTENTIAL FUTURE TOWERS
 - EXISTING BUILDINGS
 - TOWER SEPARATION



3.6

Design Considerations

The ground level of the proposed development has been designed to activate all surrounding frontages and enhance the pedestrian experience. The primary residential entrance is located at the corner of West 13th Avenue and Birch Street, providing a clear and welcoming access point for residents and visitors.

Along West 13th Avenue, the frontage is enlivened through active uses such as the bike access, two guest suites, and a bike clubhouse area, all of which contribute to street-level activity and community interaction.

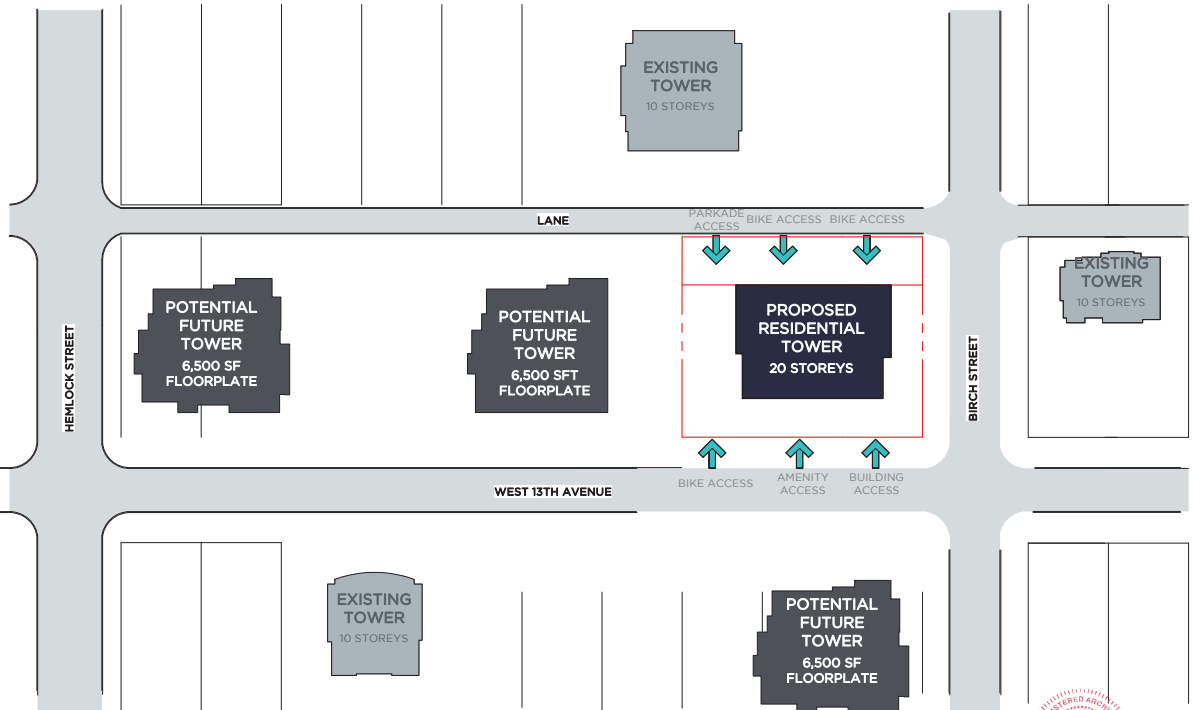
On Birch Street, the design features a double-height gym amenity space with extensive glazing, creating visual transparency and a strong connection between indoor activity and the public realm.

The laneway is efficiently programmed with essential service and functional components. The lane remains animated through the presence of the active bike entry points and thoughtfully integrated exits.

Together, these elements support a dynamic and well-connected ground level, reinforcing safety, accessibility, and a vibrant public interface on all frontages.

LEGEND

- PROPOSED TOWER
- POTENTIAL FUTURE TOWERS
- EXISTING BUILDINGS
- BUILDING ACCESS



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3.7

Design Principles



Sustainability

In addition to a high performance and energy efficient building, a holistic approach to sustainability considers the social, environmental, and economic factors of the development and community.



Green Space

Planting provides access to nature for residents and the community, and enhances the urban fabric of the neighbourhood.



Transportation and Connectivity

Providing alternatives to auto-centric travel, several options for multi-modal transport include proposed and existing SkyTrain stations, as well as buses, bike routes, and several amenities within walking distance



Enhanced Public Realm

Anchoring the proposed development is ground-oriented retail and a 26'-3" (8.0m) setback along 2nd Avenue, providing ample space for landscape and pedestrians



Accessible Housing

In addition to market strata housing, 26 social housing homes are provided on levels 3-5



Context and Scale

Surrounded by mid-rises and contemporary institutional buildings, the architectural language and massing respond to the existing heights, geometry, amenities, and need for housing in the neighbourhood



Spaces for Social Interaction

Several amenities for shared and private use are dispersed throughout the proposed project, providing opportunities to connect with others and share access to panoramic views



4.0

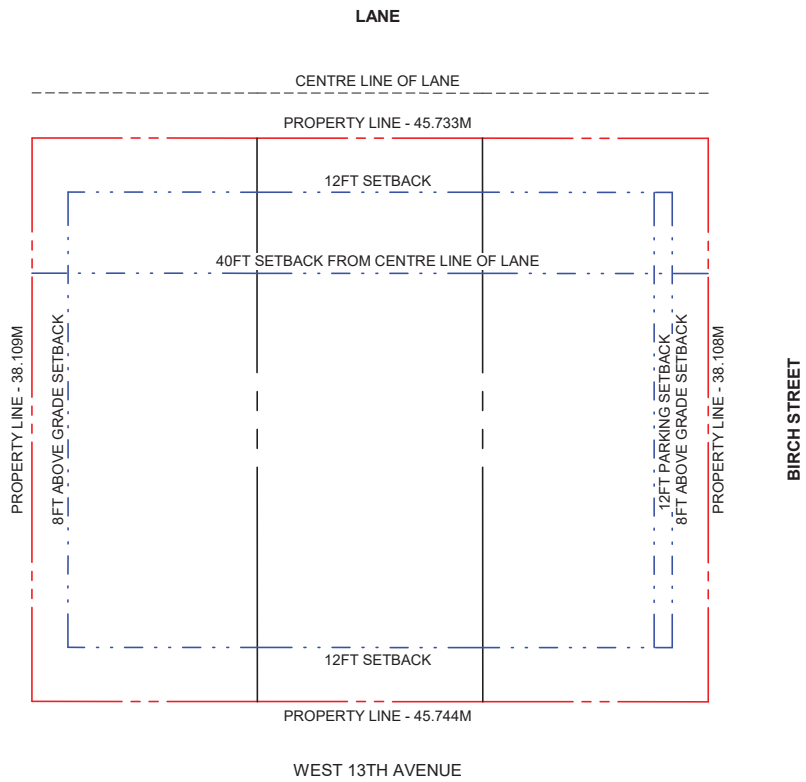
Architectural Drawings

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4.6	Level 1	4.21	West Elevation	4.36	FSR Plan - Level 1
4.7	Level 2	4.22	East Elevation	4.37	FSR Plan - Level 2
4.8	Level 3	4.23	North Elevation	4.38	FSR Plan - Level 3
4.9	Level 4	4.24	Shadow Studies	4.39	FSR Plan - Level 4
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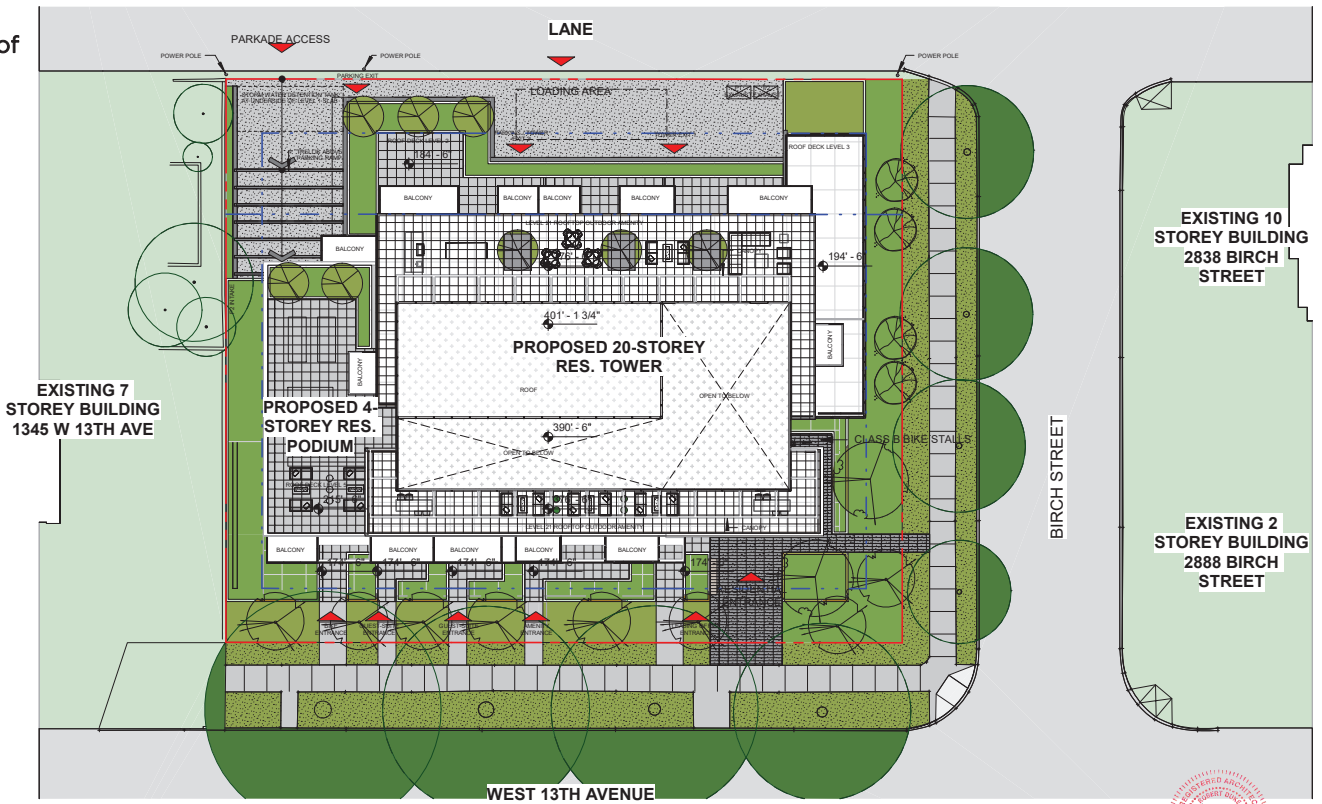
4.1

Base Plan



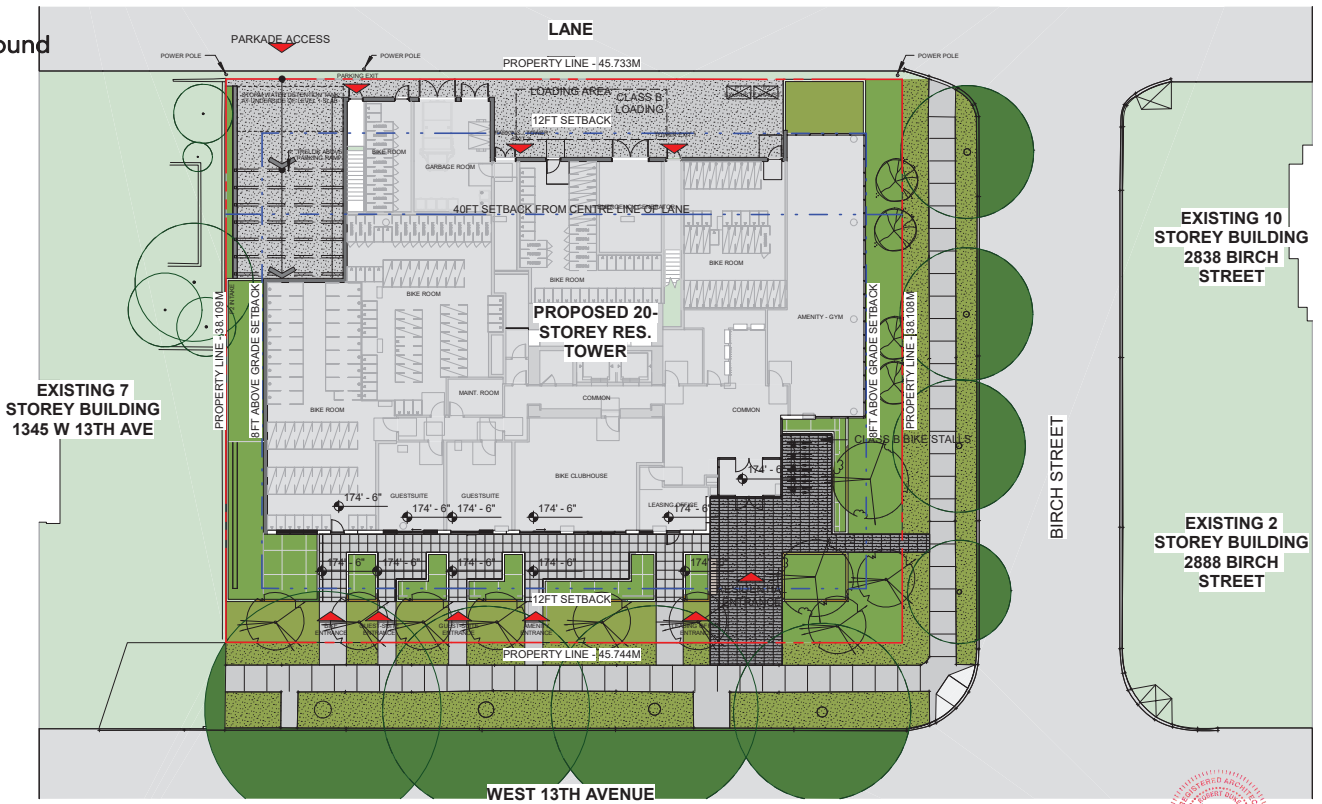
4.2

Site Plan - Roof



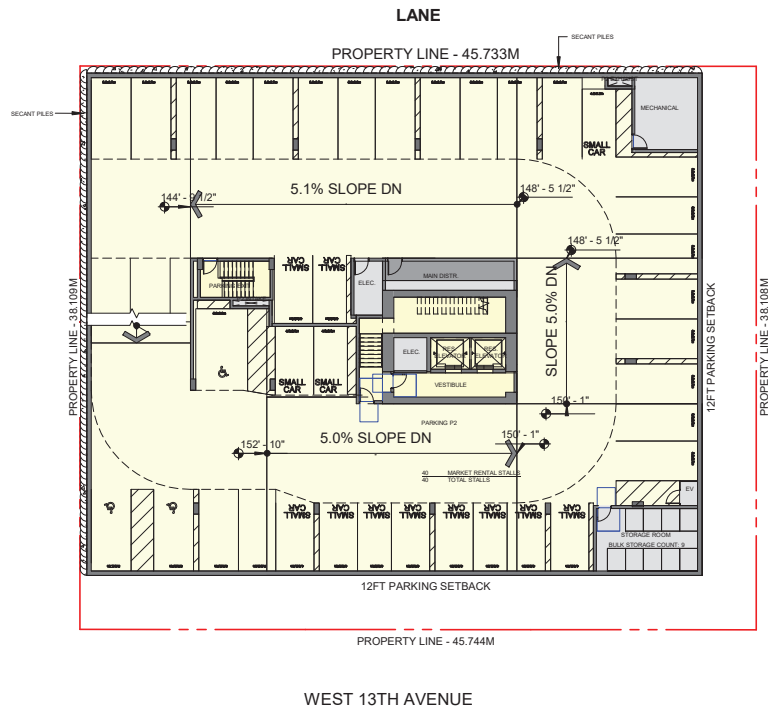
4.3

Site Plan - Ground



4.4

Level P2



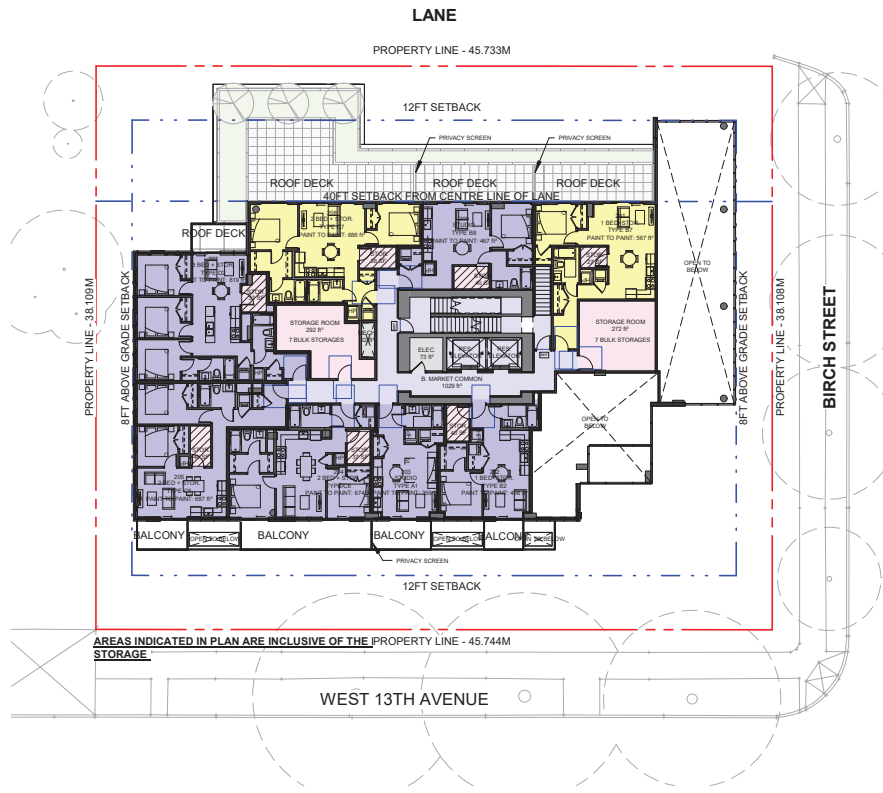
- COLOUR LEGEND:
- PARKING
 - PARKING COMMON
 - SERVICE

PARKING SCHEDULE			
LEVEL	STALL TYPE	STALL USE	COUNT
LEVEL P2	ACCESSIBLE - 5.5m x 2.7m	RESIDENTIAL	2
LEVEL P2	ACCESSIBLE VAN- 5.5m x 3.5m	RESIDENTIAL	1
LEVEL P2	REGULAR - 5.5m x 2.5m	RESIDENTIAL	6
LEVEL P2	REGULAR - 5.5m x 2.7m	RESIDENTIAL	18
LEVEL P2	SMALL CAR - 4.6m x 2.3m	RESIDENTIAL	5
LEVEL P2	SMALL CAR - 4.6m x 2.6m	RESIDENTIAL	8
RESIDENTIAL: 40			40



4.7

Level 2



- COLOUR LEGEND:
- BALCONY
 - BELOW-MARKET COMMON
 - BELOW-MARKET RENTAL
 - MARKET RENTAL
 - SERVICE
 - STOR. EXCLUSION

AREAS INDICATED IN PLAN ARE INCLUSIVE OF THE PROPERTY LINE - 45.744M STORAGE



4.8

Level 3

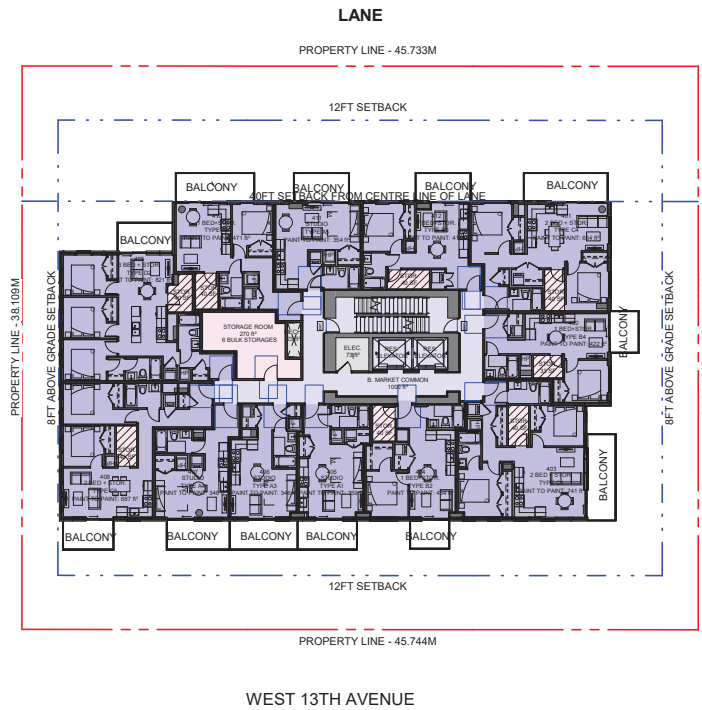


- COLOUR LEGEND:
- BELOW-MARKET COMMON
 - BELOW-MARKET RENTAL
 - MARKET RENTAL
 - SERVICE
 - STOR. EXCLUSION



4.9

Level 4

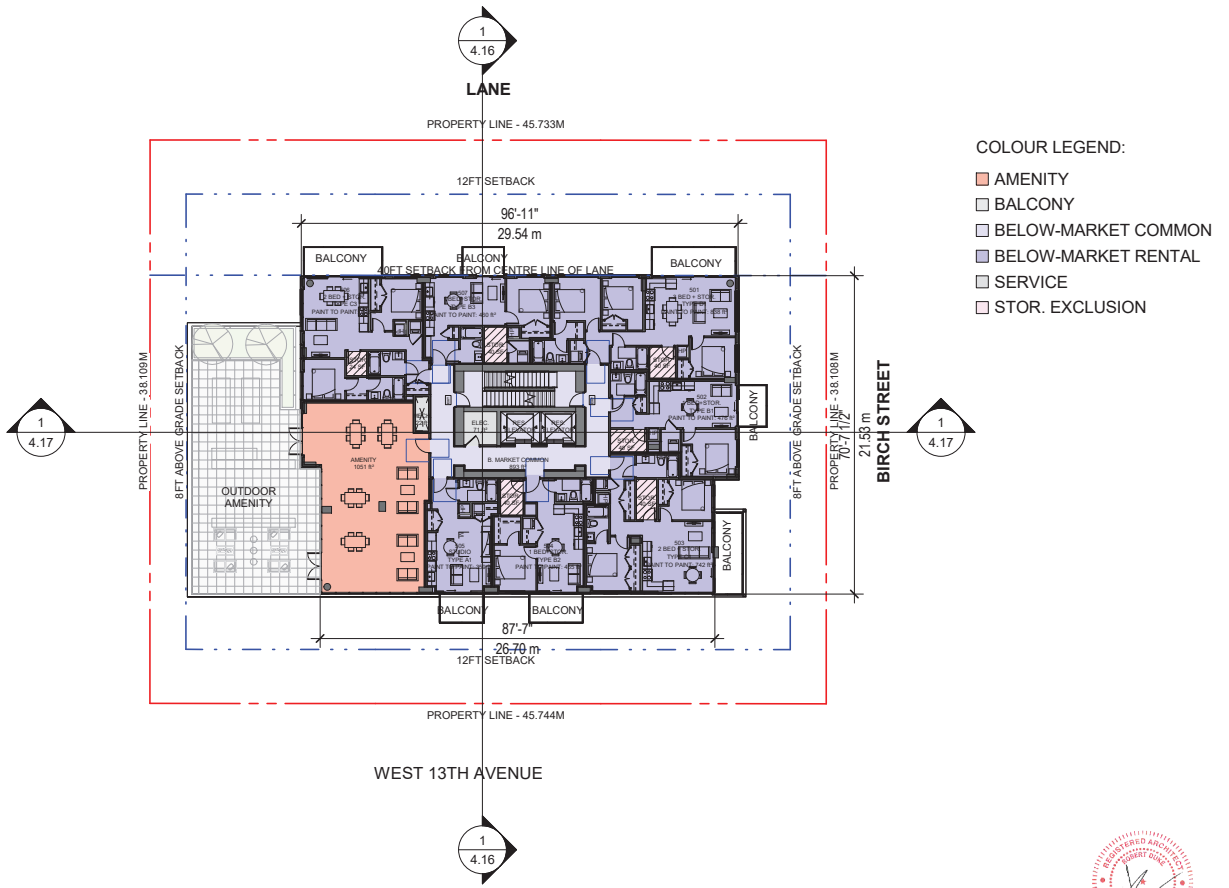


- COLOUR LEGEND:
- BELOW-MARKET COMMON
 - BELOW-MARKET RENTAL
 - SERVICE
 - STOR. EXCLUSION



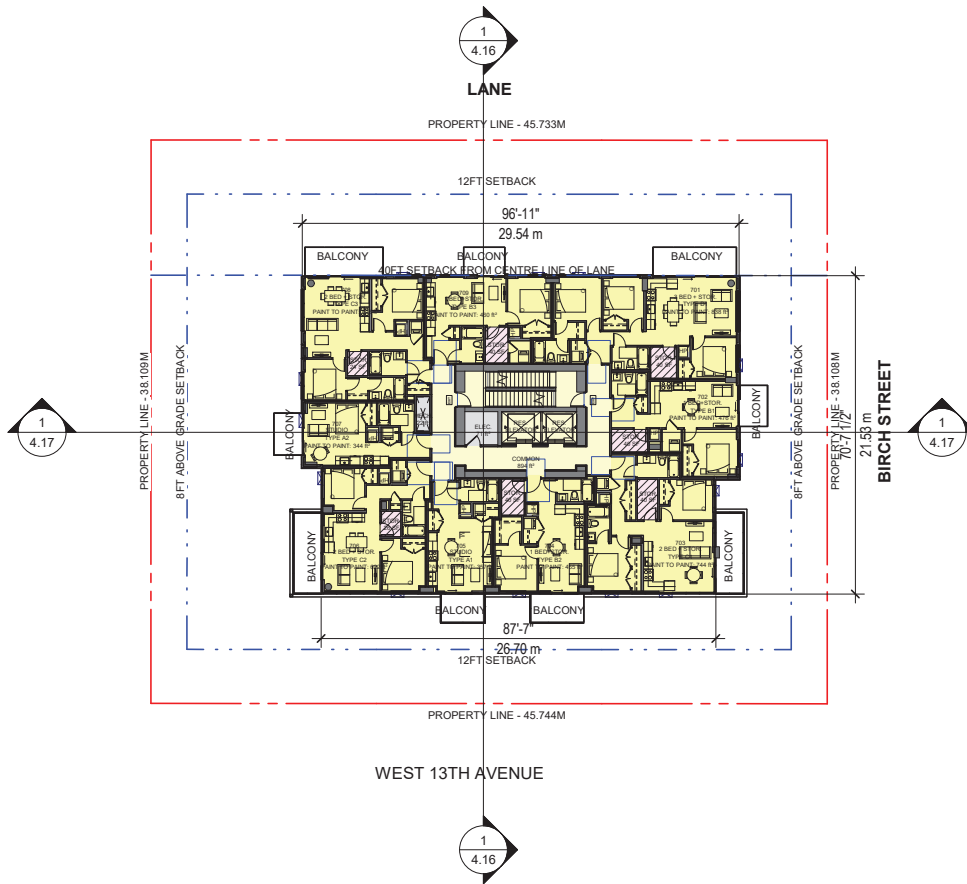
4.10

Level 5



4.12

Levels 7-20

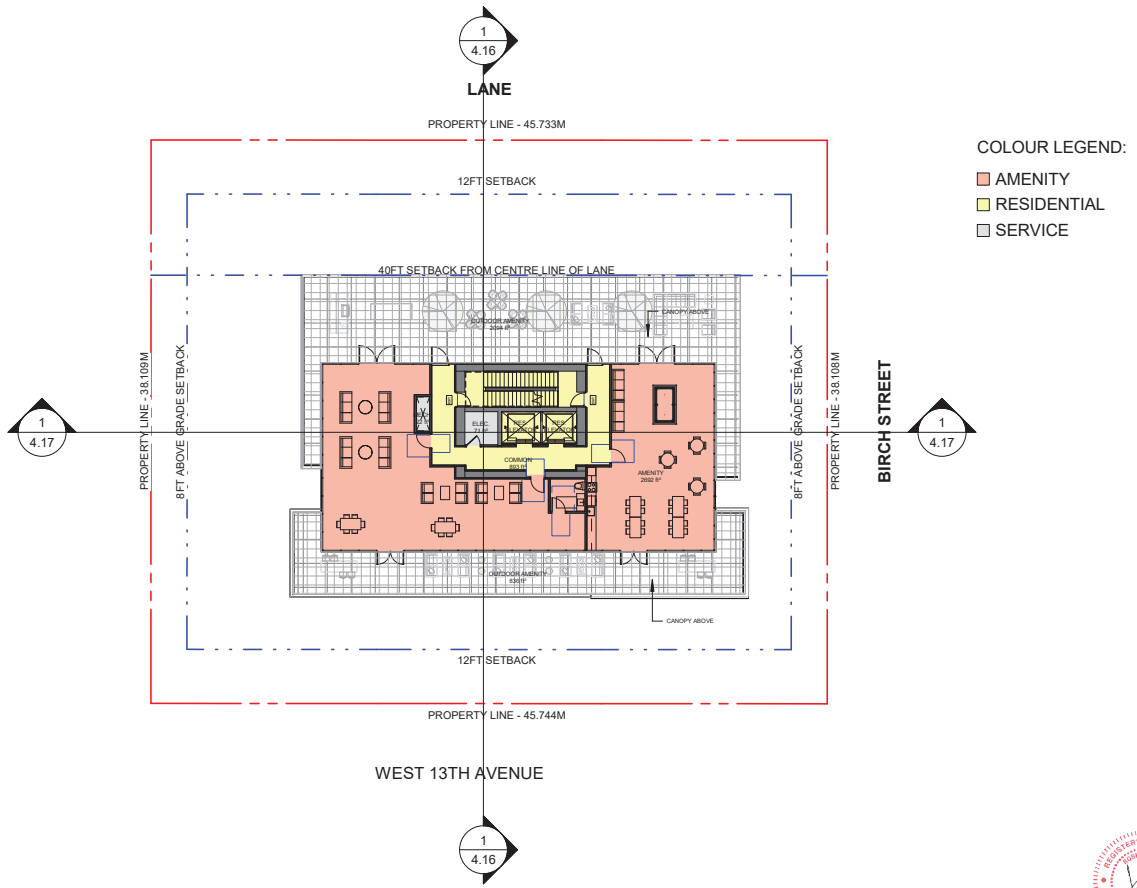


- COLOUR LEGEND:
- MARKET COMMON
 - MARKET RENTAL
 - SERVICE
 - STOR. EXCLUSION



4.13

Level 21



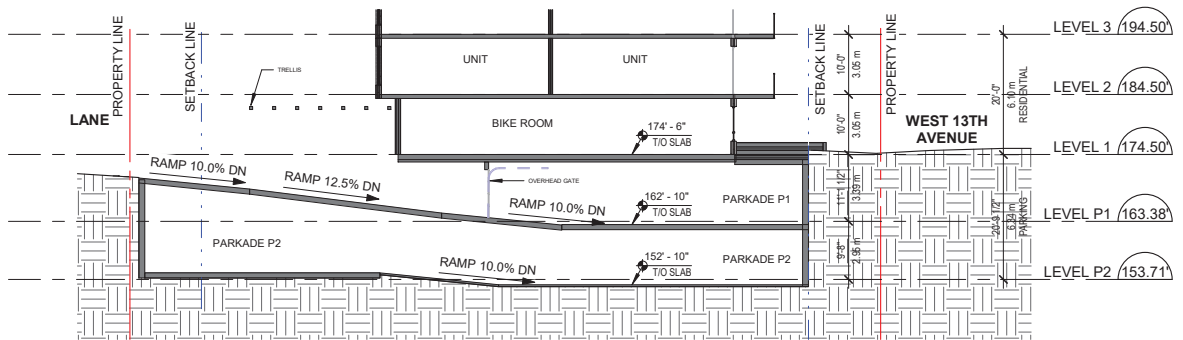
COLOUR LEGEND:

- AMENITY
- RESIDENTIAL
- SERVICE



4.18

Parkade Section

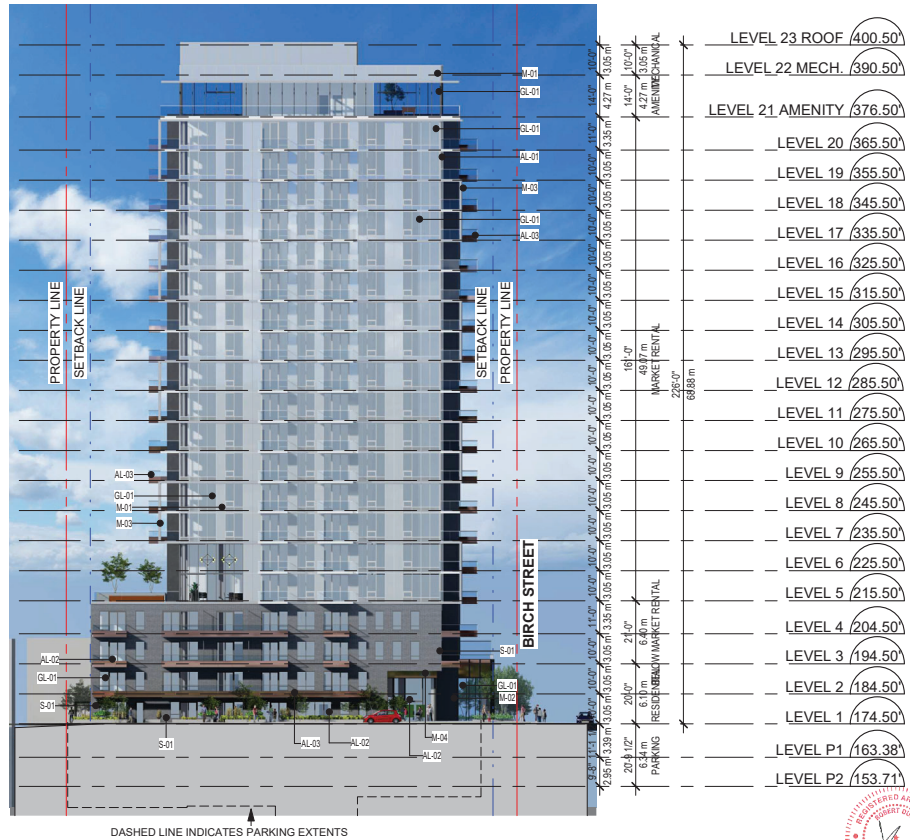


① PARKING SECTION PARKADE RAMP
1/16" = 1'-0"

4.20

South Elevation

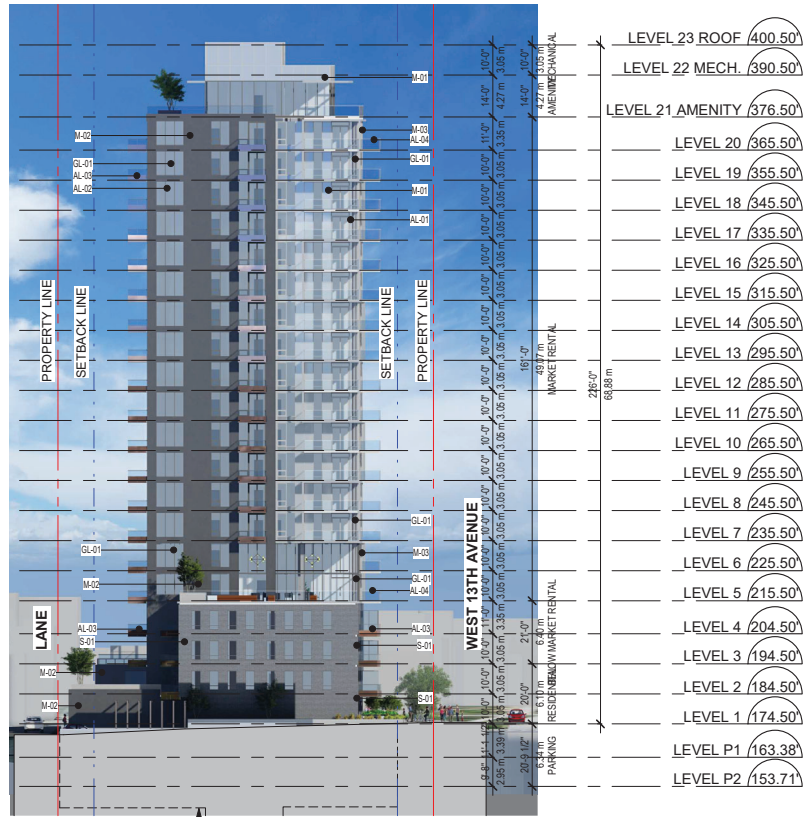
MATERIAL LEGEND	
Key Value	Keynote Text
AL-01	ALUMINUM MULLION - SILVER
AL-02	ALUMINUM MULLION - CHARCOAL
AL-03	ALUMINUM GUARD (CHARCOAL) WITH SAFETY GLASS
AL-04	ALUMINUM GUARD (WHITE) WITH SAFETY GLASS
GL-01	TOWER VISION GLASS
GL-02	SPANDREL GLASS - ACCENT COLOUR
M-01	METAL PANEL - SILVER
M-02	METAL PANEL - CHARCOAL
M-03	METAL PANEL - WHITE
M-04	METAL PANEL - ACCENT COLOUR
S-01	BRICK CLADDING - CHARCOAL



4.21

West Elevation

MATERIAL LEGEND	
Key Value	Keynote Text
AL-01	ALUMINUM MULLION - SILVER
AL-02	ALUMINUM MULLION - CHARCOAL
AL-03	ALUMINUM GUARD (CHARCOAL) WITH SAFETY GLASS
AL-04	ALUMINUM GUARD (WHITE) WITH SAFETY GLASS
GL-01	TOWER VISION GLASS
GL-02	SPANDREL GLASS - ACCENT COLOUR
M-01	METAL PANEL - SILVER
M-02	METAL PANEL - CHARCOAL
M-03	METAL PANEL - WHITE
M-04	METAL PANEL - ACCENT COLOUR
S-01	BRICK CLADDING - CHARCOAL



DASHED LINE INDICATES PARKING EXTENTS



2025-10-08

4.22

East Elevation

MATERIAL LEGEND	
Key Value	Keynote Text
AL-01	ALUMINUM MULLION - SILVER
AL-02	ALUMINUM MULLION - CHARCOAL
AL-03	ALUMINUM GUARD (CHARCOAL) WITH SAFETY GLASS
AL-04	ALUMINUM GUARD (WHITE) WITH SAFETY GLASS
GL-01	TOWER VISION GLASS
GL-02	SPANDREL GLASS - ACCENT COLOUR
M-01	METAL PANEL - SILVER
M-02	METAL PANEL - CHARCOAL
M-03	METAL PANEL - WHITE
M-04	METAL PANEL - ACCENT COLOUR
S-01	BRICK CLADDING - CHARCOAL



DASHED LINE INDICATES PARKING EXTENTS

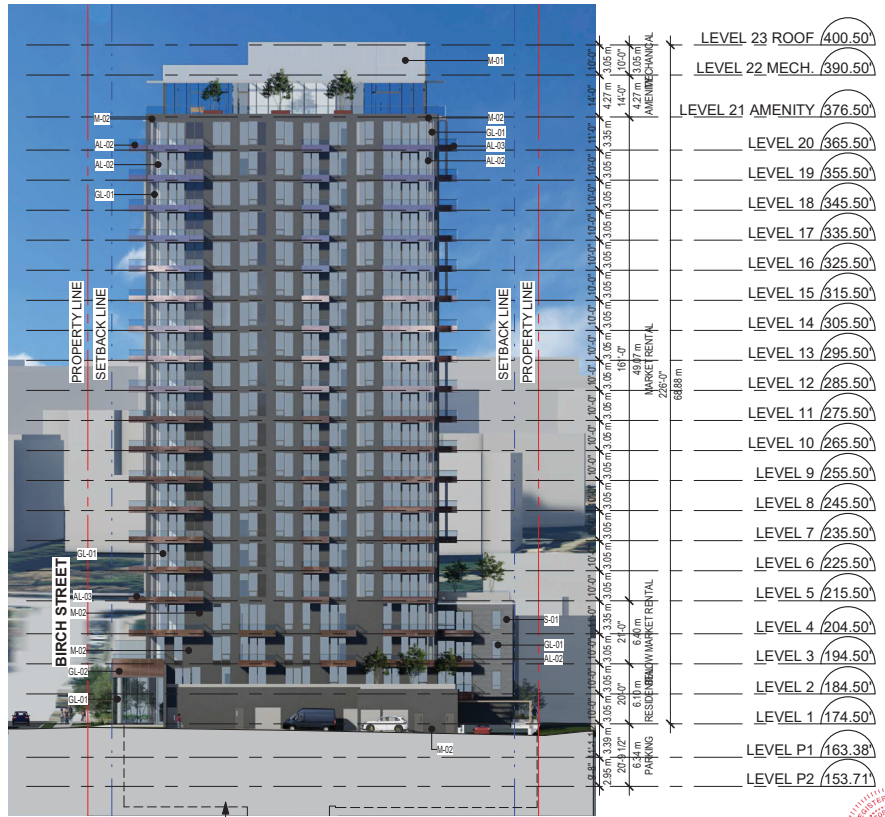


2025-10-08

4.23

North Elevation

MATERIAL LEGEND	
Key Value	Keynote Text
AL-01	ALUMINUM MULLION - SILVER
AL-02	ALUMINUM MULLION - CHARCOAL
AL-03	ALUMINUM GUARD (CHARCOAL) WITH SAFETY GLASS
AL-04	ALUMINUM GUARD (WHITE) WITH SAFETY GLASS
GL-01	TOWER VISION GLASS
GL-02	SPANDREL GLASS - ACCENT COLOUR
M-01	METAL PANEL - SILVER
M-02	METAL PANEL - CHARCOAL
M-03	METAL PANEL - WHITE
M-04	METAL PANEL - ACCENT COLOUR
S-01	BRICK CLADDING - CHARCOAL



DASHED LINE INDICATES PARKING EXTENTS



4.24

Shadow Studies



MARCH 10 AM



MARCH 12 PM



MARCH 4 PM



MARCH 2 PM

4.25

Shadow Studies



JUNE 10 AM



JUNE 12 PM



JUNE 4 PM



JUNE 2 PM



4.26

Shadow Studies



SEPTEMBER 10 AM



SEPTEMBER 12 PM



SEPTEMBER 4 PM



SEPTEMBER 2 PM



4.27

Rendering



1305&1325 W 13TH AVE

ARCHITECTURAL DRAWINGS

2025-10-08

4.28

Rendering



4.29

Rendering



4.30

Rendering



4.31

Rendering



1305&1325 W 13TH AVE

ARCHITECTURAL DRAWINGS



2025-10-08

4.32

Rendering



4.33

Development Data PROJECT DEVELOPMENT DATA

1305 and 1325 West 13th Avenue, Vancouver, BC

- A. Project:**
20 Storey Residential Tower - Secured Market Rental + Secured Below Market Rental
- B. Legal Description:**
City Address: Existing Legal
1305 West 13th Avenue Lots 11 and 12 of block 412, District Lot 526, Plan 1278 P.I.D. 014-681-471 and 014-681-480
1325 West 13th Avenue Lot 13 of block 412, District Lot 526, Plan 1278 P.I.D. 014-681-498
- C. Zoning:**
Current Zoning: RM3
Broadway Corridor Plan: Fairview South-Area B - FSOB
Proposed Zoning: CD1
- D. Setbacks:**
Req. Setback Proposed Setback
West 13th Avenue 3.70m (12 ft) 3.70m (12 ft)
Borch Street 3.70m (12 ft) below grade 3.70m (12 ft) below grade
Lane 40 ft from center line of lane 40 ft from center line of lane
West Property Line 2.40m (8 ft) 2.40m (8 ft)
- E. Building Height:**
Max. Allowable Building Height 20 Storeys
Proposed Building Height 20 Storeys + rooftop amenity
- F. Total Site Coverage Calculations:**
Gross Site Area 18,781 sq ft 1742.95 sq m
Net Site Area 18,781 sq ft 1742.95 sq m
- Lot Coverage 10.68 sq ft 974.37 sq m
Percentage of Lot Coverage 56.9%

Proposed Building Height:

Levels	Height of Levels	Imperial	Metric	Number of levels
Levels P2	10	2.95	1	
Level P1	11	3.30	1	
Level 1	10	3.05	1	
Levels 2-3	10	3.05	2	
Levels 4	11	3.35	1	
Levels 5-19	10	3.05	15	
Level 20	11	3.35	1	
Level 21 Amenity	14	4.27	1	
Level 22	10	3.05	1	
Overall Height from finished grade				21
Proposed*	216.00	65.94		21
Permitted	/	/		20

* Overall height from finished grade does not include level 22 mechanical

FSR SUMMARY

USE	NET FSR sq.ft.	NET FSR sq.m.	FSR
Residential	121,947 sq.ft.	11329.25 sq.m.	6.50

G. Floor Area Statistics:

Residential Floor Area:

Level	Number of Floors	Unit Area Per Floor	Total Unit Area	Common Area Per Floor	Total Common Area	Gross Area Per Floor	Gross Area Total
Level 1	1	0 sq ft	0 sq ft	4,939 sq ft	4,939 sq ft	4,939 sq ft	4,939 sq ft
Level 2	1	5,258 sq ft	5,258 sq ft	1,721 sq ft	1,721 sq ft	6,979 sq ft	6,979 sq ft
Level 3	1	6,817 sq ft	6,817 sq ft	1,344 sq ft	1,344 sq ft	8,161 sq ft	8,161 sq ft
Level 4	1	6,817 sq ft	6,817 sq ft	1,344 sq ft	1,344 sq ft	8,161 sq ft	8,161 sq ft
Level 5	1	4,533 sq ft	4,533 sq ft	2,060 sq ft	2,060 sq ft	6,593 sq ft	6,593 sq ft
Level 6	1	4,549 sq ft	4,549 sq ft	988 sq ft	988 sq ft	5,537 sq ft	5,537 sq ft
Level 7 - Level 20	14	5,594 sq ft	78,316 sq ft	14,000 sq ft	196,000 sq ft	92,316 sq ft	1,292,424 sq ft
L21 - Amenity	1	0 sq ft	0 sq ft	3,678 sq ft	3,678 sq ft	3,678 sq ft	3,678 sq ft
Total	21		106,290 sq ft		30,074 sq ft		136,363 sq ft

* Residential Floor area is calculated from centre line of walls and to the exterior face of glazing. Refer to table below for paint to paint calculation

Exclusions:

Amenity/Lobby per level	Bulk Storage per level	HP closet per level	Total Exclusions	Total FSR Area	%FLOOR (Total Exclusions/Total FSR Area)
2,704 sq ft	0 sq ft	0 sq ft	2,704 sq ft	2,234 sq ft	0.0%
0 sq ft	830 sq ft	49 sq ft	879 sq ft	6,099 sq ft	75.4%
0 sq ft	583 sq ft	73 sq ft	656 sq ft	7,504 sq ft	83.5%
0 sq ft	583 sq ft	73 sq ft	656 sq ft	7,504 sq ft	83.5%
1,063 sq ft	224 sq ft	43 sq ft	1,330 sq ft	5,263 sq ft	68.8%
0 sq ft	224 sq ft	43 sq ft	267 sq ft	5,270 sq ft	82.2%
0 sq ft	248 sq ft	55 sq ft	303 sq ft	63,074 sq ft	84.8%
3,678 sq ft	0 sq ft	0 sq ft	3,678 sq ft	0 sq ft	
7,445 sq ft	0 sq ft	0 sq ft	14,412 sq ft	121,947 sq ft	

Below Market Rental Calculation - Paint to Paint

Dwelling Unit area paint to paint	MSR paint to paint
Levels	Area
Level 2	4,716.0 sq ft
Level 3	6,074.0 sq ft
Level 4	6,074.0 sq ft
Level 5	4,037.0 sq ft
Level 6	4,037.0 sq ft
Level 7	5,002.0 sq ft
Level 8	5,002.0 sq ft
Level 9	5,002.0 sq ft
Level 10	5,002.0 sq ft
Level 11	5,002.0 sq ft
Level 12	5,002.0 sq ft
Level 13	5,002.0 sq ft
Level 14	5,002.0 sq ft
Level 15	5,002.0 sq ft
Level 16	5,002.0 sq ft
Level 17	5,002.0 sq ft
Level 18	5,002.0 sq ft
Level 19	5,002.0 sq ft
Level 20	5,002.0 sq ft
Total	94,966.0 sq ft

MSR paint to paint

Levels	Area
Level 2	3,463.0 sq ft
Level 3	5,420.0 sq ft
Level 4	6,074.0 sq ft
Level 5	4,037.0 sq ft
Level 6	4,037.0 sq ft
Level 7	5,002.0 sq ft
Level 8	5,002.0 sq ft
Level 9	5,002.0 sq ft
Level 10	5,002.0 sq ft
Level 11	5,002.0 sq ft
Level 12	5,002.0 sq ft
Level 13	5,002.0 sq ft
Level 14	5,002.0 sq ft
Level 15	5,002.0 sq ft
Level 16	5,002.0 sq ft
Level 17	5,002.0 sq ft
Level 18	5,002.0 sq ft
Level 19	5,002.0 sq ft
Level 20	5,002.0 sq ft
Total	75,972.0 sq ft

I. Residential Unit Count Statistics

Below Market Rental Unit Count Statistics

Level	Studio	1 Bed	2 Bed	3 Bed	Total
Level 2	1	2	2	1	6
Level 3	4	4	2	1	11
Level 4	4	4	3	1	12
Level 5	1	3	2	1	7
Total Below Market Units	10	13	9	4	36
% Below Market Units	27.78%	36.11%	25.00%	11.11%	

Market Rental Unit Count Statistics

Level	Studio	1 Bed	2 Bed	3 Bed	Total
Level 2	1	0	1	0	2
Level 3	0	0	1	0	1
Level 4	1	3	2	1	7
L7-20 - Market Rental	2	3	3	11	126
Total Market Rental Units	30	45	46	15	136
% Market Rental Units	22.00%	33.09%	33.82%	11.03%	

Total Unit Count Below Market Rental + Market Rental Statistics

Level	Studio	1 Bed	2 Bed	3 Bed	Total
Level 2	2	2	3	1	8
Level 3	4	4	3	1	12
Level 4	4	4	3	1	12
Level 5	1	3	2	1	7
Level 6	1	3	2	1	7
L7-20 - Market Rental	2	3	3	11	126
Total Units	39	55	63	18	172
% Units	23%	32%	31%	10%	

Residential Unit Count by type Paint to Paint

Unit Type	# Bed	Unit Count	Unit Area (sq ft)	Bulk Storage Area (sq ft)	Total Unit Area (sq ft)	Total Unit Area (sq m)
A1	0 BED	19	357.0 sq ft	0.0 sq ft	357.0 sq ft	33.2 sq m
A2	0 BED	14	344.0 sq ft	0.0 sq ft	344.0 sq ft	32.0 sq m
A3	0 BED	2	346.0 sq ft	0.0 sq ft	346.0 sq ft	32.1 sq m
A4	0 BED	2	346.0 sq ft	0.0 sq ft	346.0 sq ft	32.1 sq m
A5	0 BED	2	354.0 sq ft	0.0 sq ft	354.0 sq ft	32.9 sq m
B1	1 BED	16	478.0 sq ft	40.0 sq ft	518.0 sq ft	47.9 sq m
B2	1 BED	19	455.0 sq ft	40.0 sq ft	495.0 sq ft	46.0 sq m
B3	1 BED	16	460.0 sq ft	40.0 sq ft	500.0 sq ft	46.5 sq m
B4	1 BED	2	422.0 sq ft	33.0 sq ft	455.0 sq ft	42.3 sq m
B5	1 BED	2	471.0 sq ft	40.0 sq ft	511.0 sq ft	47.5 sq m
B6	1 BED	2	418.0 sq ft	40.0 sq ft	458.0 sq ft	42.5 sq m
B7	1 BED	1	561.0 sq ft	27.0 sq ft	588.0 sq ft	54.6 sq m
B8	1 BED	1	467.0 sq ft	40.0 sq ft	507.0 sq ft	47.1 sq m
C1	2 BED	18	744.0 sq ft	40.0 sq ft	784.0 sq ft	72.8 sq m
C2	2 BED	14	622.0 sq ft	24.0 sq ft	646.0 sq ft	60.2 sq m
C3	2 BED	16	708.0 sq ft	24.0 sq ft	732.0 sq ft	68.2 sq m
C4	2 BED	2	654.0 sq ft	40.0 sq ft	694.0 sq ft	64.5 sq m
C5	2 BED	3	687.0 sq ft	40.0 sq ft	727.0 sq ft	67.3 sq m
C6	2 BED	1	674.0 sq ft	40.0 sq ft	714.0 sq ft	66.3 sq m
C7	2 BED	1	707.0 sq ft	38.0 sq ft	745.0 sq ft	69.2 sq m
D1	3 BED	16	838.0 sq ft	40.0 sq ft	878.0 sq ft	81.0 sq m
D2	3 BED	3	819.0 sq ft	40.0 sq ft	859.0 sq ft	79.5 sq m
Total		172				

4.34

Development Data

J. Parking Statistics

	Units	Visitor	Small Car	H/C	H/C VAN	Electrical Vehicle	Total
Required Ratio	/	/	/	Parking By-law 4.1.4	Parking By-law 4.1.4	All stalls to have EV provisions	/
Proposed Ratio	0.35 x unit	0.05 x unit	/	Parking By-law 4.1.4	Parking By-law 4.1.4		
Required	/	/	/	7	2		/
Proposed	60	9	21	7	2		69

Loading Class A		Loading Class B		Passenger Class A		Electrical Vehicle	Total
Required Ratio	Parking By-law 5.2.1 & 5.2.6	Required Ratio	Parking By-law 5.2.1 & 5.2.6	Required Ratio	Parking By-law 7.2.1 & 7.2.5	/	/
Proposed Ratio	/	Proposed Ratio	/	Proposed Ratio	/		
Required	1	Required	1	Required	2		4
Proposed	1	Proposed	1	Proposed	2		4

Use	Proposed stalls	Proposed Visitor stalls	Proposed Small Car	Proposed H/C	Proposed H/C VAN	Electrical Vehicle	Total Proposed
Res. stalls	53	9	21	5	2	/	69
Loading stalls	4	0	0	/	/		4
							73

*1 H/C stall to be visitor

Levels	Parking stalls	Visitors	H/C	H/C VAN	Loading Class A	Loading Class B	Passenger Class A	Total per level
Level P2	37	0	2	1	0	0	0	40
Level P1	16	9	3	1	1	0	2	32
Level 1	0	0	0	0	0	1	0	1
Total	53	9	5	2	1	1	2	73

* Residential stalls to be energized, no EV charger installed
 * Market Rental Visitors and Below Market Visitors are shared

K. Bike Storage Statistics

Bike Storage Type Requirements	% Required	Required/Permitted	Bike Storage Provided	
			Level 1	Level P1
Class A		319		
Class A - Horizontal	-	-	3	0
Class A - Horizontal - 2 stalls per space	-	-	86	14
Class A - Locker (Standard) 1800 x 600mm	10% min.	(32)	33	0
Class A - Oversize 2400 x 900 mm	5% min.	(16)	17	0
Class A - Vertical 1000 x 600 mm	30% max.	(96)	96	6
Class A - Stacked 1800 x 600 mm	30% max.	(96)	72	0
Class B		10	10	0
Total		329	337	0

Parking Bylaw requirements - Section 6-6.2.1.2	
Class A	1.5/Unit where Unit <65 sq.m.
Class A	2.5/Unit where 65<Unit <105 sq.m.
Class A	3.0/Unit where 105 sq.m. <Unit
Class B	2/20 Units + 1/20 units thereafter



4.35

Development Data

H. Indoor & Outdoor Amenity

Amenity Type	sq.m./unit	# of Units	Required (sq.m.)	Provided (sq.m.)	Required (sq.ft.)	Provided (sq.ft.)
Indoor	1.70	172	292	692	3147	7,445
Outdoor	2.00		344	441	3703	4,745
Total Area Indoor + Outdoor Amenity			636	1,132	6850	12,190

I. Private outdoor space

Use	NET FSR	Max. 12% Balcony area	Balcony area provided
Below Market Rental	24,389 sq.ft.	2,927 sq.ft.	2,927 sq.ft.
Market Rental	97,557 sq.ft.	11,707 sq.ft.	11,707 sq.ft.
TOTAL		14,634 sq.ft.	14,634 sq.ft.

Each Family unit to have a private open space which is 1.8m (5.9 ft) deep by 2.7m (8.9 ft) wide

L. Bulk storage and in-suite storage

Bulk storage and in-suite storage Requirements - 1 per dwelling unit	Storage Provided	
	Max. Area (sq.m.)	Min. dimensions (m)
In-Suite Storage Above Surface	3.70	1.2w x 1.2d x 2.1h
Bulk Storage Below Surface	10.00	1.2w x 1.2d x 2.1h
Total		172

Above Grade storages calculation

	Units per level	Storage per level	Total Above Grade Storages
L2 - Below Market Rental	8	19	19
L3 - Below Market Rental	12	14	14
L4 - Below Market Rental	12	14	14
L5-6 - Market Rental	7	6	12
L7-20 - Market Rental	9	7	98
Total Above Grade Storages			157

* Residential storage rooms have been provided on levels 2,3 and 4

M. Recycling and garbage stor

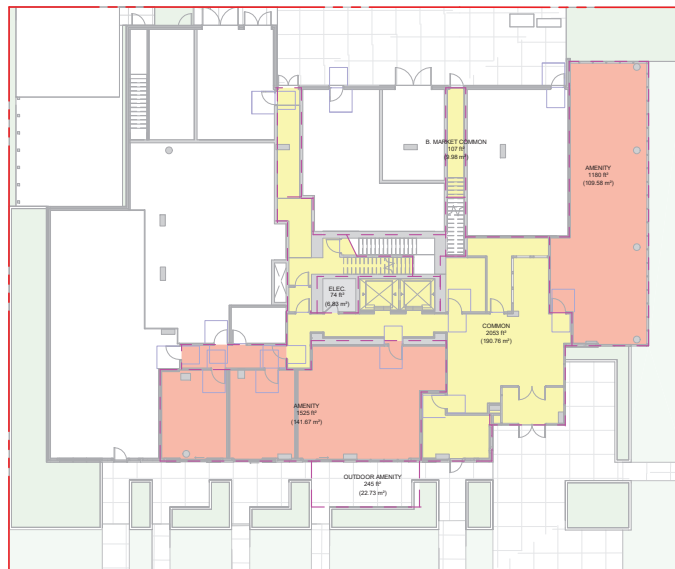
Waste	Container Type	A # of Units	B		C = A x B Total Volume (litres/week)	D Container Capacity (L)	E = C / D # of Containers	F Footprint of Container (sq.m.)	G Manoeuver Factor	H = F x G Req. Area (sq.m.)	I = F x G Req. Area (sq.ft.)
			Generation Rate (litres/unit/week)								
Garbage	4 yard bin	172	53		9,116	3,058	3	2.52	2.25	16.90	181.94
Recycling - Glass	240L Cart		21		361	240	2	0.42	2.25	1.42	15.31
Recycling - Mixed Paper	360L Cart		15		2,580	360	7	0.63	2.25	10.16	109.35
Recycling - Cardboard	4 yard bin		27.5		4,730	3,058	2	2.52	2.25	8.77	94.40
Recycling - Mixed cont.	360L Cart		18.5		3,152	360	9	0.63	2.25	12.53	134.86
Compostables	3 yard bin		14		2,408	2,294	1	1.98	2.25	4.68	50.34
Total									54	586	

* Based on City of Vancouver Engineering Services - Garbage and recycling storage amenity design supplement



4.36

FSR Plan - Level 1



FSR COLOUR LEGEND

- AMENITY
- OUTDOOR AMENITY
- RESIDENTIAL
- SERVICE

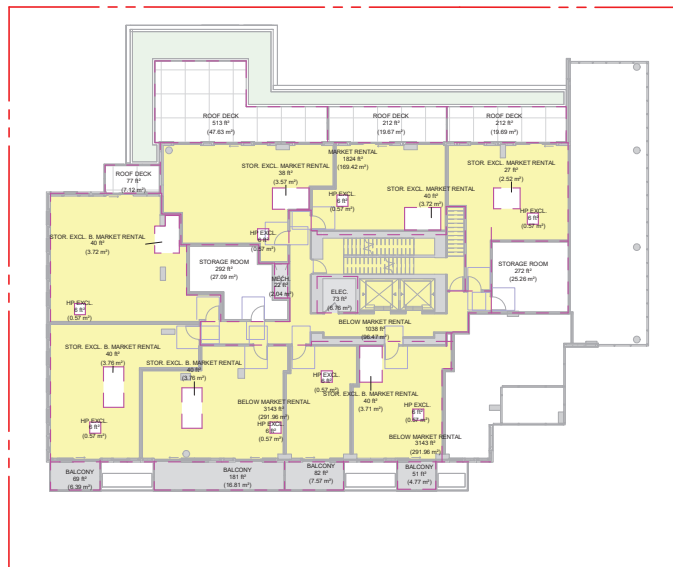
AREA SCHEDULE		
Level	Area Type	Area
LEVEL 1	AMENITY	2704 SF
LEVEL 1	RESIDENTIAL	2161 SF
LEVEL 1	SERVICE	74 SF
TOTAL GFA:		4939 SF

AREA PLAN - OUTDOOR AMENITY		
Level	Area Type	Area
LEVEL 1	OUTDOOR AMENITY	244.68 SF
TOTAL OUTDOOR AMENITY AREA:		244.68 SF



4.37

FSR Plan - Level 2



FSR COLOUR LEGEND

- BALCONY
- HP EXCLUSION
- RESIDENTIAL
- ROOF DECK
- SERVICE
- STOR. EXCLUSION

AREA SCHEDULE

Level	Area Type	Area
LEVEL 2	HP EXCLUSION	49 SF
LEVEL 2	RESIDENTIAL	6005 SF
LEVEL 2	SERVICE	95 SF
LEVEL 2	STOR. EXCLUSION	830 SF
TOTAL GFA:		6978 SF

AREA PLAN - PRIVATE OUTDOOR SPACE

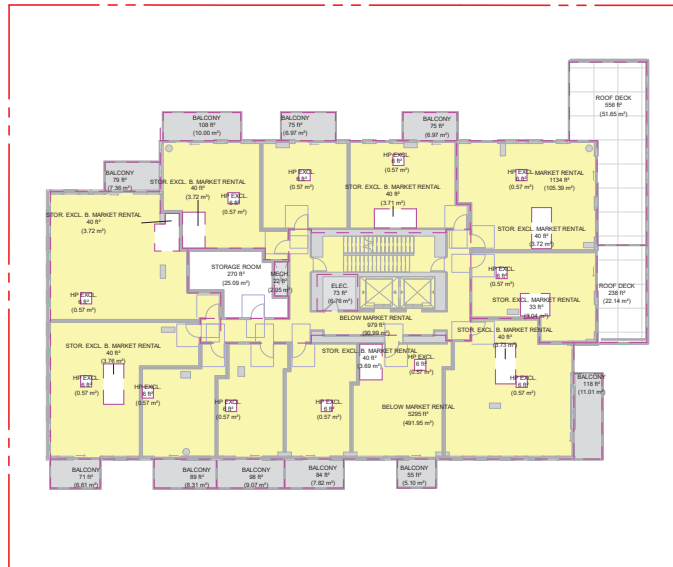
Level	Area Type	Area
LEVEL 2	BALCONY	383 SF
TOTAL BALCONY AREA:		383 SF



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4.38

FSR Plan - Level 3



FSR COLOUR LEGEND

- BALCONY
- HP EXCLUSION
- RESIDENTIAL
- ROOF DECK
- SERVICE
- STOR. EXCLUSION

AREA SCHEDULE

Level	Area Type	Area
LEVEL 3	HP EXCLUSION	73 SF
LEVEL 3	RESIDENTIAL	7409 SF
LEVEL 3	SERVICE	95 SF
LEVEL 3	STOR. EXCLUSION	583 SF
TOTAL GFA:		8161 SF

AREA PLAN - PRIVATE OUTDOOR SPACE

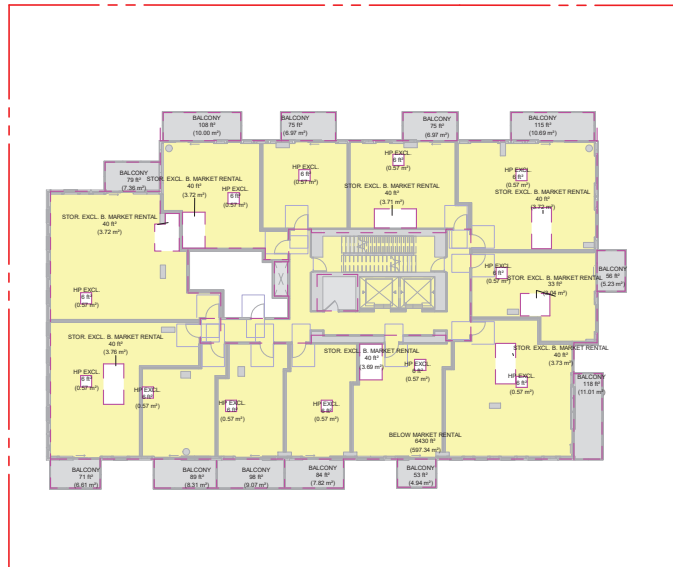
Level	Area Type	Area
LEVEL 3	BALCONY	853 SF
TOTAL BALCONY AREA:		853 SF



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4.39

FSR Plan - Level 4

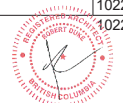


FSR COLOUR LEGEND

- BALCONY
- HP EXCLUSION
- RESIDENTIAL
- SERVICE
- STOR. EXCLUSION

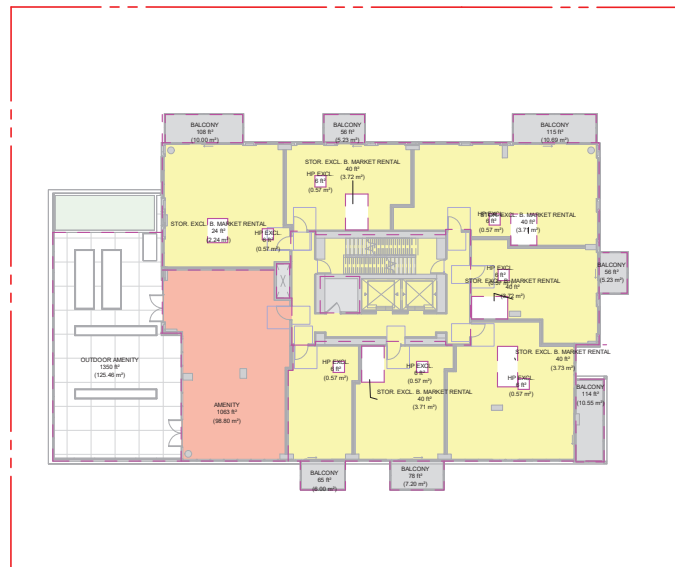
AREA SCHEDULE		
Level	Area Type	Area
LEVEL 4	HP EXCLUSION	73 SF
LEVEL 4	RESIDENTIAL	7409 SF
LEVEL 4	SERVICE	95 SF
LEVEL 4	STOR. EXCLUSION	583 SF
TOTAL GFA:		8161 SF

AREA PLAN - PRIVATE OUTDOOR SPACE		
Level	Area Type	Area
LEVEL 4	BALCONY	1022 SF
TOTAL BALCONY AREA:		1022 SF



4.40

FSR Plan - Level 5



FSR COLOUR LEGEND

- AMENITY
- BALCONY
- HP EXCLUSION
- OUTDOOR AMENITY
- RESIDENTIAL
- SERVICE
- STOR. EXCLUSION

AREA SCHEDULE		
Level	Area Type	Area

LEVEL 5	AMENITY	1063 SF
LEVEL 5	HP EXCLUSION	43 SF
LEVEL 5	RESIDENTIAL	5170 SF
LEVEL 5	SERVICE	93 SF
LEVEL 5	STOR. EXCLUSION	224 SF
TOTAL GFA:		6593 SF

AREA PLAN - PRIVATE OUTDOOR SPACE		
Level	Area Type	Area

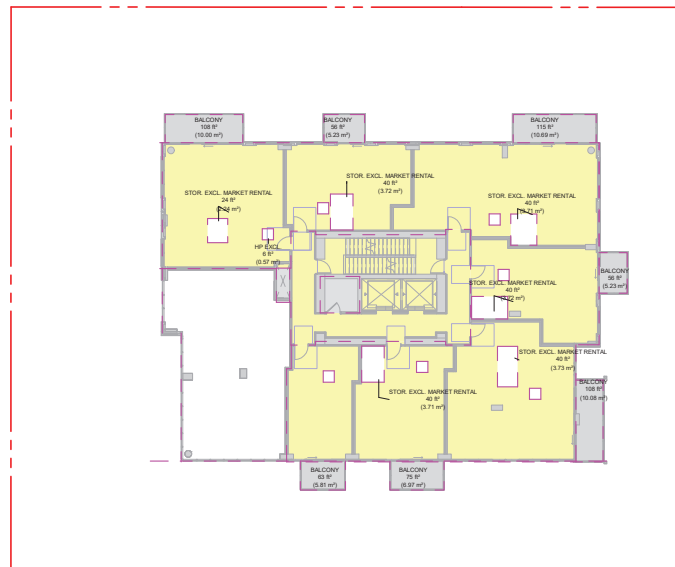
LEVEL 5	BALCONY	591 SF
TOTAL BALCONY AREA:		591 SF



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4.41

FSR Plan - Level 6

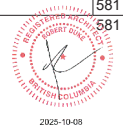


FSR COLOUR LEGEND

- BALCONY
- HP EXCLUSION
- RESIDENTIAL
- SERVICE
- STOR. EXCLUSION

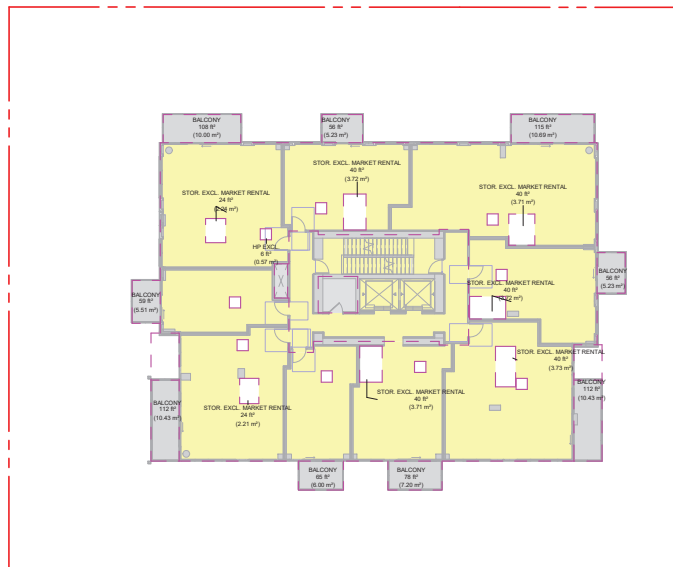
AREA SCHEDULE		
Level	Area Type	Area
LEVEL 6	HP EXCLUSION	43 SF
LEVEL 6	RESIDENTIAL	5176 SF
LEVEL 6	SERVICE	93 SF
LEVEL 6	STOR. EXCLUSION	224 SF
TOTAL GFA:		5536 SF

AREA PLAN - PRIVATE OUTDOOR SPACE		
Level	Area Type	Area
LEVEL 6	BALCONY	581 SF
TOTAL BALCONY AREA:		581 SF



4.42

FSR Plan - Levels 7-20

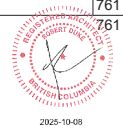


FSR COLOUR LEGEND

- BALCONY
- HP EXCLUSION
- RESIDENTIAL
- SERVICE
- STOR. EXCLUSION

AREA SCHEDULE		
Level	Area Type	Area
LEVEL 8	HP EXCLUSION	55 SF
LEVEL 8	RESIDENTIAL	6197 SF
LEVEL 8	SERVICE	93 SF
LEVEL 8	STOR. EXCLUSION	248 SF
TOTAL GFA:		6593 SF

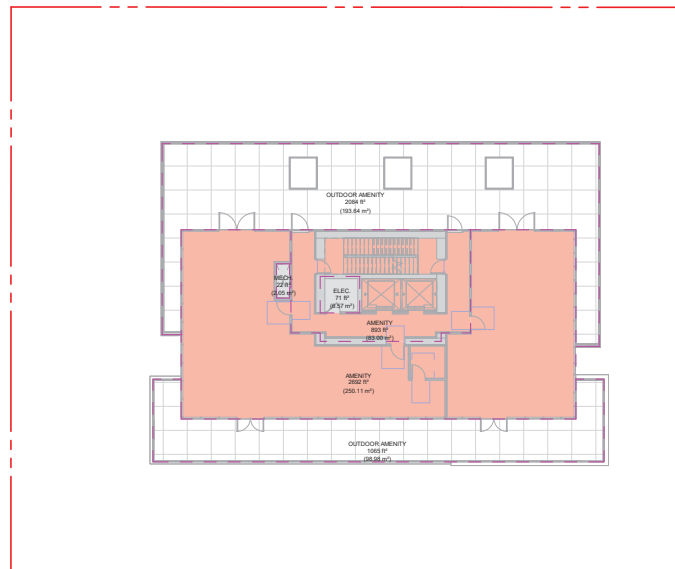
AREA PLAN - PRIVATE OUTDOOR SPACE		
Level	Area Type	Area
LEVEL 8	BALCONY	761 SF
TOTAL BALCONY AREA:		761 SF



2025-10-08

4.43

FSR Plan - Level 21



FSR COLOUR LEGEND

- AMENITY
- OUTDOOR AMENITY
- SERVICE

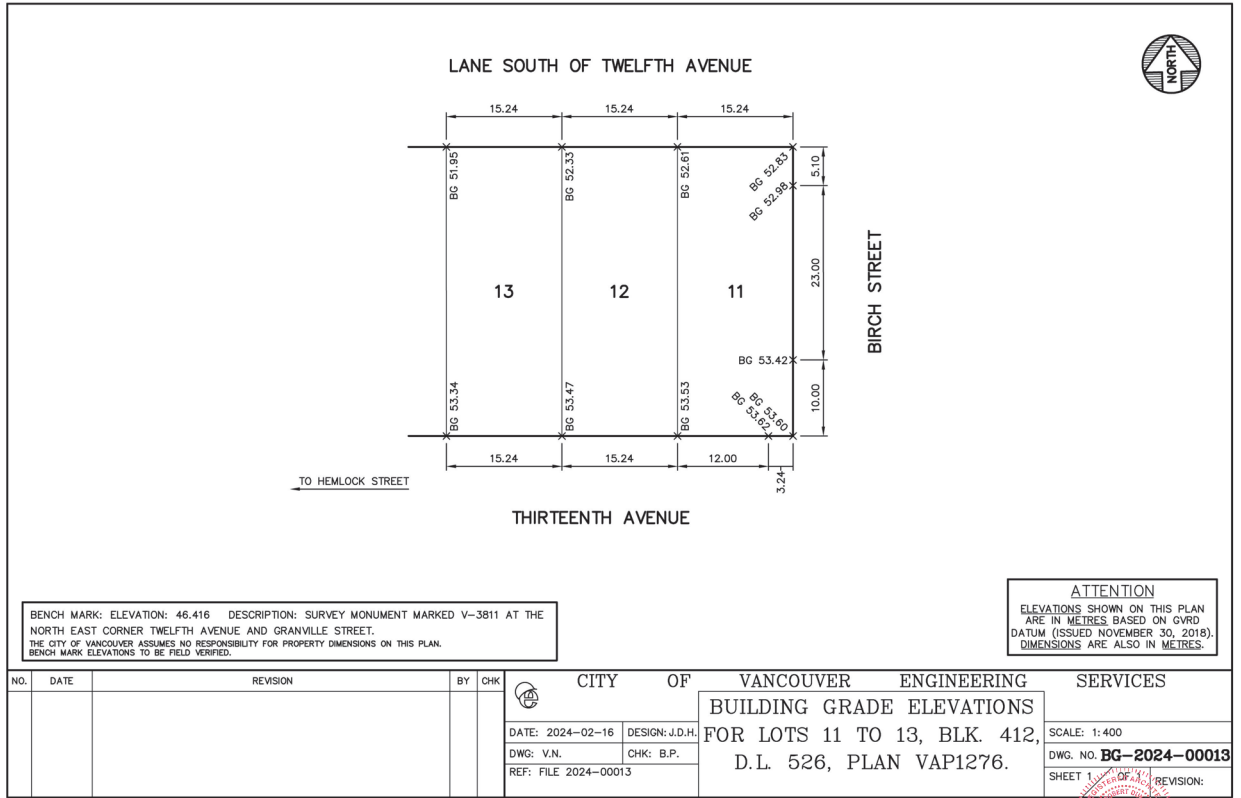
AREA SCHEDULE		
Level	Area Type	Area
LEVEL 21	AMENITY	3586 SF
LEVEL 21	AMENITY	93 SF
TOTAL GFA:		3678 SF

AREA PLAN - OUTDOOR AMENITY		
Level	Area Type	Area
LEVEL 21	OUTDOOR AMENITY	3149.79 SF
AMENITY		
TOTAL OUTDOOR AMENITY AREA:		3149.79 SF



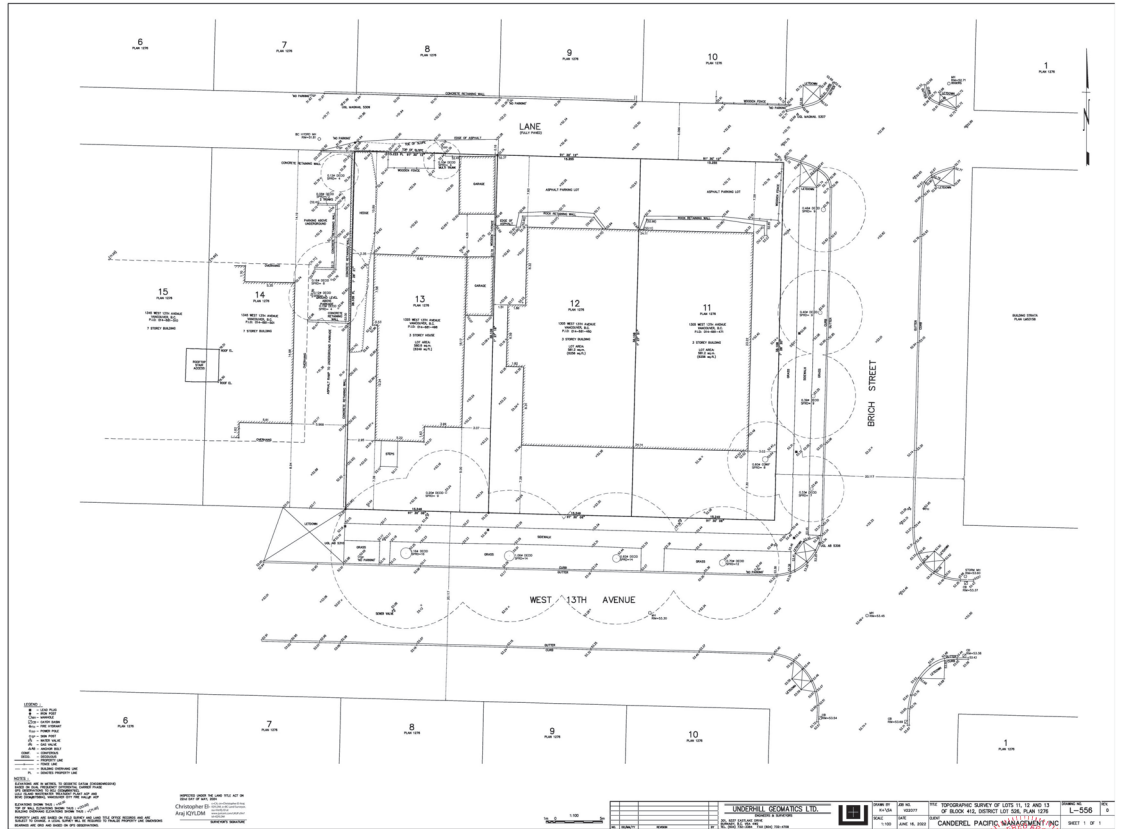
4.44

Building Grades



4.45

Survey



5.0

Landscape Drawings

- 5.1 Landscape Cover Sheet
- 5.2 Landscape Image Board
- 5.3 Landscape Overall Plan
- 5.4 Landscape Level 1
- 5.5 Landscape Level 2
- 5.6 Landscape Level 3
- 5.7 Landscape Level 5
- 5.8 Landscape Level 21



2025-10-08

5.1

Landscape Cover Sheet

MULTI-FAMILY RES. DEVELOPMENT
1305 & 1325 W 13th Avenue, Vancouver, BC

LANDSCAPE DRAWINGS PREPARED BY: Durante Kneib

DRAWING LIST

SHEET	DRAWING TITLE
L-0.0	Landscape Cover Sheet
L-0.1	Landscape Impact Board
L-1.0	Landscape Overall Plan
L-1.1	Landscape Level 1
L-1.2	Landscape Level 2
L-1.3	Landscape Level 3
L-1.4	Landscape Level 5
L-1.5	Landscape Level 21

MATERIALS LEGEND

	ASPHALT
	CIP CONCRETE PAVING - Vehicular Area
	CIP CONCRETE PAVING - Pedestrian Only
	FEATURE PAVERS Size: 24" x 8"
	HYDRAPRESSED SLAB Size: 24" x 24" x 1 1/2" Color: colored
	CRP STRIP
	NEW PLANTING
	HEDGES
	SAND BASED SODDED LAWN

FURNISHING LEGEND

	METAL BIKE RACKS
	WOOD BENCH
	KITCHEN COUNTER W/ BBQ COOKING & SINK
	POTTING BENCH
	GARDEN PLOT
	METAL PLANTER
	DECORATIVE PLANTER POT
	DINING TABLE AND CHAIRS
	MOVABLE TABLE AND CHAIRS
	FURNITURE
	FURNITURE
	WORK STUDY FURNITURE

LANDSCAPE NOTES

- All work shall meet or exceed the requirements as outlined in the current Edition of the Canadian Landscape Standard.
- Plant areas and related container classes are specified according to the Canadian Landscape Standard current Edition. For container classes and related plant areas, when the contractor is to provide, the Contractor shall provide all other plants, both plants and containers, shall be as specified in the drawings, with the plants to be in containers, with the plants to be in containers, with the plants to be in containers.
- All plant material used on this project shall be hardy in this climate. Plant types have been selected with this as a primary criteria. The Contractor shall guarantee that plant material supplied has equal provenance, or it is developed from cuttings or seeds collected in an area of similar climatic characteristics.
- Substitutions in plant material will not be considered unless written proof is submitted thirty (30) days prior to scheduled installation using a specified plant cannot be obtained within the specified area of work.
- All trees to be installed in accordance with CNLA Standards.
- For all existing on site services and survey symbols refer to survey drawings.
- All landscaping and treatment of the open portions of the site shall be completed in accordance with the approved drawings within 60 months of the date of issuance of all required occupancy permits, or any use or occupancy of the proposed development not requiring an occupancy permit, and thereafter permanently maintained in good condition.

OFF-SITE NOTES

- This plan is "NOT FOR CONSTRUCTION" and is to be submitted for review to Engineering Services a minimum of 8 weeks prior to the start of any construction proposed for public property. No work on public property may begin until such plans are approved by the City of Vancouver. Approval and related permits are required. Please contact Engineering, Development and Major Projects and/or your Engineering, Building Site Inspector for details.
- Tree species, tree quantity and location to be submitted to the satisfaction of the General Manager of Engineering Services. New tree volume, or proportion of Engineering Services may be required to obtain acceptable soil column base of on site conditions. Specifications shall meet or exceed a minimum 100mm diameter and installed with approved root barriers. The grade shall be appropriate for tree growth and any off-street site facility. Planting depth of root ball must be below sidewalk grade.
- Concept Park Board or predevelopment review/consultance for tree species specification and for inspection after tree planting completion.
- New street trees to be confirmed prior to issuance of the building permit.
- Call Park Board at 311 for tree species selection and planting requirements. Park Board to inspect and approve after tree planting completion.
- Existing street furniture in street right-of-way shall be protected during construction. Final location of proposed street furniture shall be confirmed with Street Furniture Coordinator. If removal, relocation or substitution of street furniture shall be by the City's street furniture contractor and coordinated with City of Vancouver Street Furniture Coordinator. Notification is required a minimum of 8 weeks prior to construction.
- Final Green Infrastructure (GI) design to be coordinated with Streets and Transportation and built as per the satisfaction of the City Engineer.
- Off-site design submitted as part of the DP application are preliminary, and that a final off-site geometric design will be provided by City of Vancouver through the DP process.
- Green Infrastructure improvements will be required as per City issued design.
- No Permanent Irrigation system shall be installed in the street Right of Way.
- All plant material within the same continuous playing area that is located on street on street Right of Way within 10.0m(32.8 ft) shall be maintained from the date of an installation, installation consisting, minimum to a minimum of 100mm diameter and 100mm height. Signage must be maintained for safety reasons, shall not exceed a mature height of 2.8m(9.2 ft) measured from the sidewalk.
- All plant material within the Street Right of Way that is located outside of the areas described in the bullet above shall not exceed 1.83m(6.0 ft) height, measured from the sidewalk.
- Plant shall be planted in such a way as to not encroach on the sidewalk, street, lane, and/or fire lane and shall provide a minimum 1.83m(6.0 ft) buffer of low grower/cover in planting bed adjacent to sidewalk.

IRRIGATION NOTES

- All on-site "Soft Landscape Areas" are to be irrigated with high efficiency automatic irrigation systems, including rain sensors, to RMC Standards.
- Irrigation sub-outs and hose bib locations will be provided to mechanical and electrical consultants for coordination.
- Irrigation system is design-built. Landscape contractor to provide irrigation design/layout for review by Landscape Coordinator for approval.
- No viable irrigation lines will be accepted.
- All irrigation lines to be equipped with spark protectors.
- Irrigation controller to be located in mechanical room.

No.	Date	Item
1	2025-09-08	ISSUED FOR RECORDING

dk
DURANTE KNEIB LTD. LANDSCAPE ARCHITECTS
107 - 1077 - 10th Street - Vancouver BC V6J 1K6
P: 604.684.4011 | F: 604.684.3077 | www.dkca.ca
Client:

Project:
MULTI-FAMILY RES. DEVELOPMENT
1305 & 1325 W 13th Avenue, Vancouver, BC

Drawn by:	LP
Checked by:	DC
Date:	2025-09-03
Scale:	1/8" = 1'-0"

Drawing Title:
Landscape Cover Sheet

Project No.:	25017
Sheet No.:	L-0.0

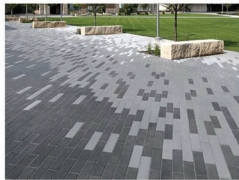


5.2

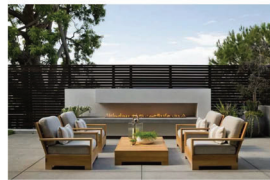
Landscape Image Board



WOOD BENCH



FEATURE PAVING



OUTDOOR LIVING



KITCHEN AND DINING



URBAN AGRICULTURE
Garden Plots



EDIBLE PLANTS
Salmonberry



EDIBLE PLANTS
Tomato



FLOWERING TREES
Magnolia 'Galaxy'
Galaxy Magnolia



SHADE TREE
Acer Circinatum
Vine Maple



LARGE SHRUB
Amelanchier alnifolia 'Regent'
Serviceberry



POLLINATOR PLANTS
Echinacea purpurea
Purple Coneflower



POLLINATOR PLANTS
Erica carnea
Winter Heath



POLLINATOR PLANTS
Ribes sanguineum
Red Flowering Currant



NATIVE PLANTS
Adiantum aleuticum
Western Maidenhair Fern



NATIVE PLANTS
Arctostaphylos uva-ursi
Kinnikinnick

1 2025-05-20 ISSUED FOR RECORDING
No. / Date / Item
Project:
Sheet:

dk
DUNNAPR KANEK LTD. LANDSCAPE ARCHITECTS
107-1087 West 28th Avenue Vancouver BC V6L 1K6
P 604.684.4051 F 604.684.5077 I www.dknk.ca
Client:

Project:
**MULTI-FAMILY RES.
DEVELOPMENT**

1305 & 1325 W 13th Avenue,
Vancouver, BC

Drawn by: LP
Checked by: DC
Date: 2025-05-23
Scale: 1/8" = 1'-0"
Drawing Title:

**Landscape Image
Board**

Project No.:
25017
Sheet No.:

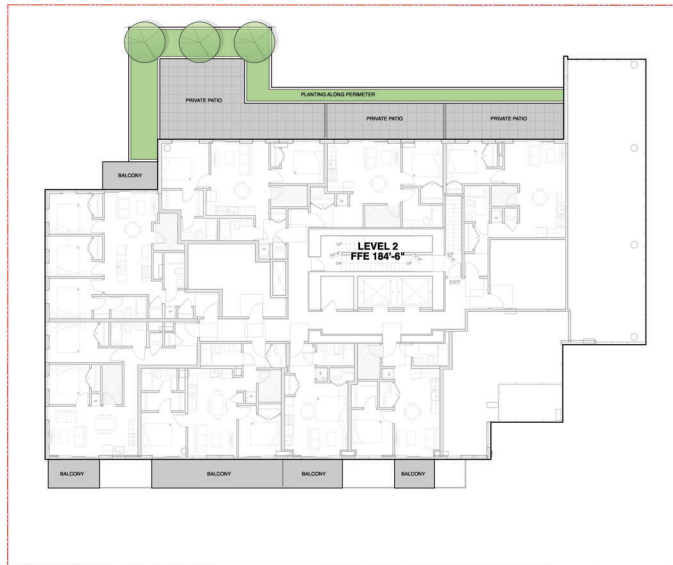
L-0.1



2025-10-08

5.5

Landscape Level 2



1 2025-05-20 ISSUED FOR RECORDING
No. [] Date [] Item []
Revision: []
Stamp: []

dk
DUNN & KANEK LTD. LANDSCAPE ARCHITECTS
101 WEST 20TH STREET VANCOUVER BC V6M 1K6
P 604.684.4511 F 604.684.3877 | www.dk.ca/la
Client: []

Project:
**MULTI-FAMILY RES.
DEVELOPMENT**

1305 & 1325 W 13th Avenue,
Vancouver, BC

Drawn by: LP
Checked by: DC
Date: 2025-05-23
Scale: 1/8" = 1'-0"
Drawing Title:

Landscape Level 2

Project No.: 25017
Sheet No.:

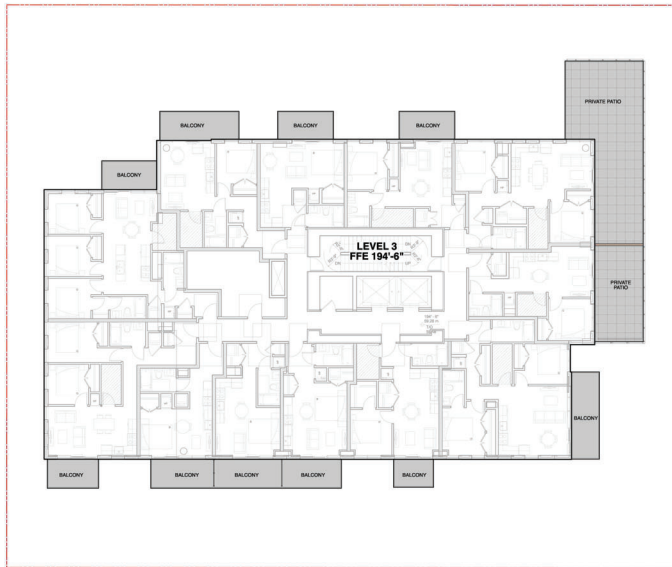


L-1.2

2025-10-08

5.6

Landscape Level 3



1 2025-05-20 ISSUED FOR RECORDING
No. | Date | Item
Revision
Stamp

dk
DUNN & KREIKER LTD. LANDSCAPE ARCHITECTS
107-1087 West 28th Avenue Vancouver BC V6L 1K6
P 604-684-8511 F 604-684-8577 | www.dkca.ca
Client

Project
**MULTI-FAMILY RES.
DEVELOPMENT**

1305 & 1325 W 13th Avenue,
Vancouver, BC

Drawn by: LP
Checked by: DC
Date: 2025-05-23
Scale: 1/8" = 1'-0"
Drawing Title:

Landscape Level 3

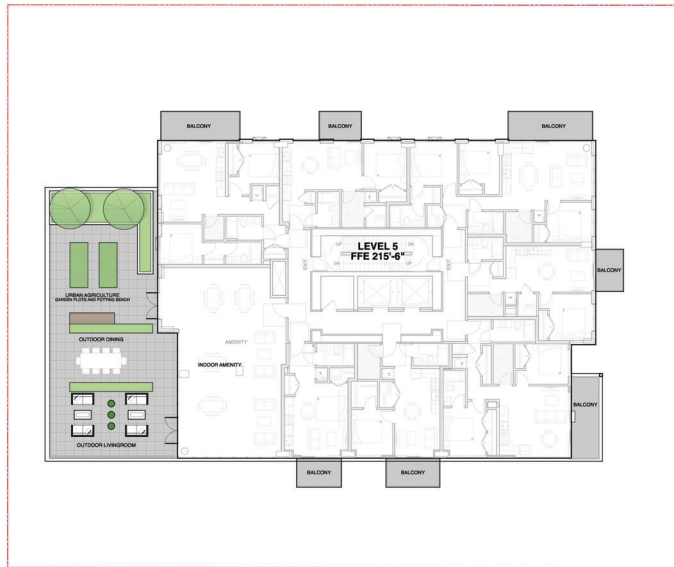
Project No.: 25017
Sheet No.:



L-1.3
2025-10-08

5.7

Landscape Level 5



1 2025-05-20 ISSUED FOR RECORDING
No. | Date | Item
Revision: _____
Stamp: _____

dk
DUNN & KREWK LTD. LANDSCAPE ARCHITECTS
107-1087 Stouffville Avenue, Stouffville, ON L4R 1K6
P: 905.884.4811 | F: 905.884.3877 | www.dkca.ca
Client: _____

Project:
**MULTI-FAMILY RES.
DEVELOPMENT**

1305 & 1325 W 13th Avenue,
Vancouver, BC

Drawn by: LP
Checked by: DC
Date: 2025-05-23
Scale: 1/8" = 1'-0"
Drawing Title: _____

Landscape Level 5

Project No.: 25017
Sheet No.: _____



L-1.4
2025-10-08

