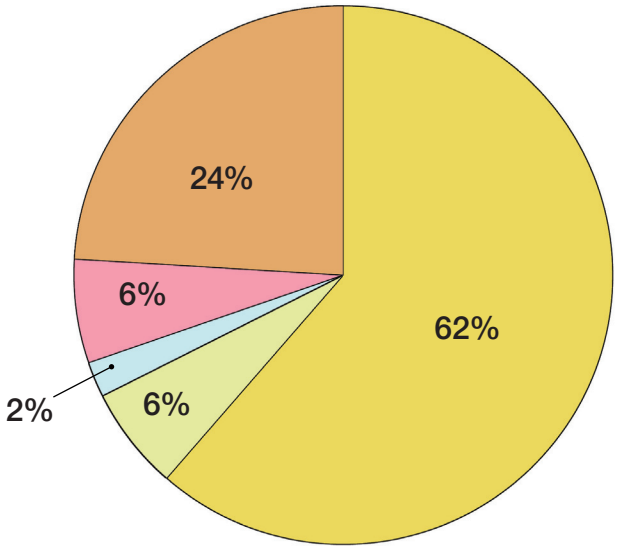


Project Program

The Project will be a mixed use development with a number of components that will service both the residents within the project, the neighborhood and the City as a whole. Along Burrard, we propose a flagship Toyota retail store at the corner with a service (repair) centre in the underground parkade; and a 14 storey Office Building with a restaurant at its base. Along Hornby we propose two residential towers, one 54 storeys and the other 35 storeys; with a 7 storey podium, composed of 2 levels of rental units, 1 level of amenity, and 3 levels of Office space, set above a double height retail base which includes a Scion showroom, cafe, & retail space with anchor grocery store along Hornby, along with lobbies for the office, and towers. The ground plane has been made as light as possible with a central porte cochere, which allows for the circulation of the many users; yet will remain active with glazing and entrances into various active components of the project.



- STRATA RESIDENTIAL = 608,778 SF
- RENTAL RESIDENTIAL = 53,888 SF
- AMENITY = 19,763 SF
- RETAIL = 62,008 SF
- OFFICE = 235,038 SF

- MECHANICAL & ROOF TERRACE
- LVL 4-14 - BOUTIQUE OFFICE
- LVL 2-3 - TOYOTA SHOWROOM
- LVL 1 - TOYOTA SHOWROOM & RESTAURANT
- LANE - TOYOTA SERVICES



TOWER B | COMMERCIAL

TOWER A & C | RESIDENTIAL

- MECHANICAL & ROOF TERRACE
- LVL 53 - 54 PENTHOUSE 2 STOREYS (TOWER A)
- LVL 8-46 MARKET RESIDENTIAL (TOWER A)
- LVL 8-35 MARKET RESIDENTIAL (TOWER C)
- LVL 6 - 7 RENTAL RESIDENTIAL (TOWER A & C)
- LVL 5 - AMENITY (TOWER A + C) & RENTAL UNITS (TOWER C)
- LVL 2-4 - OFFICES
- LVL 1 - LOBBIES, SCION SHOWROOM, CAFE, RETAIL CRU & GROCERY STORE

Project Statistics

The New Scheme Requires an additional 7.83 FSR above the outright 5.5 FSR. This would be derived from a number of public benefits on and off the site. Consistent with other rezonings brought forward by Reliance a significant amount of the added density will be addressed through the transfer of Heritage Density from Gastown and the Downtown Eastside. The transfer of this density not only contributes to the viability of the City's Heritage Density Bank, but most of it also comes from a Reliance owned donor site that delivered on Council policy by providing affordable market rental units in the Downtown Eastside (18 W. Hastings) at the Burns Block Micro-Lofts.

FSR		
Site Area	68,967	
Outright (HDB)	5	
Total Permitted	5.5	
Proposed	13.33	
Difference	7.83	
FSR Above Grade	13.03	(898,749 sf)
FSR Below Grade	0.30	(20,318 sf)
Total FSR	919,116	(919,119 sf)

Gross Area Breakdown						
Use		Phase A	Phase B	Phase C	Total	
Residential	Market Residential	409,017	-	199,760	608,778	
	Rental Residential	31,964	-	21,924	53,888	
	Total Residential	440,981	-	221,684	662,666	
Commercial	Office	Office	61,211	143,351	30,476	235,038
	Retail	Toyota Dealership	-	35,151	-	35,151
		Scion Showroom	3,262	-	-	3,262
		Restaurant	-	1,543	-	1,543
		Retail CRU & Grocery Store	3,374	-	17,965	21,339
		Coffee Shop	712	-	-	712
		Sub Total	7,349	36,694	17,965	62,008
	Total Commercial	68,560	180,045	48,441	297,046	
Public Benefit	Amenity	19,160	189	414	19,763	
Total Gross Area		528,701	180,234	270,540	979,475	
Proposed Exclusions		53,286	7,315	20,118	80,719	
FSR Area		475,415	193,280	250,422	919,116	
FSR Below Grade		-	20,361	-	20,361	
FSR Above Grade		475,415	172,919	250,422	898,755	
FSR Ratio (total)					13.33	

Unit Count Breakdown					
Phase	Type	Studio	1 Br	2 Br	Total
Phase A (TOWER A)	Market Units	33	164	219	416
	Rental Units	36	11	6	53
	Sub Total	69	175	225	469
Phase C (TOWER C)	Market Units	87	183	37	307
	Rental Units	20	12	2	34
	Sub Total	107	195	39	341
Project Totals		176	370	264	810
		22%	46%	32%	