



Revised and Reissued for Rezoning Amendment (Delete CAS) - August 1, 2025



Wall Financial Corporation  
1010 Burrard Street, Vancouver, B.C.

Proposed Residential Development  
889 Drake Street, Vancouver, B.C.

Butties Architecture Inc.

Development Permit Application - Architectural Drawing List			2025-08-01
Job No. 2201	889 Drake Street	DP-2023-00327	
Sheet number	Content	Scale	
DPa0.00	Cover Sheet	N/A	
<b>1.00 Project Images</b>			
DPa0.01	CD-1 Reasoning Text Amendment - Rationale	N.T.S.	
DPa0.02	Sustainable Measures	N.T.S.	
DPa0.03	Development Statistics Summary	N.T.S.	
DPa0.04	Area and Residential Unit Summary	N.T.S.	
DPa0.05	Parking Summary	N.T.S.	
DPa0.06	Relocation Request	N.T.S.	
DPa0.07	Relocation Request	N.T.S.	
DPa0.08	Relocation Request	N.T.S.	
DPa0.09	Relocation Request	N.T.S.	
DPa0.10	Relocation Request	N.T.S.	
DPa0.11	Relocation Request	N.T.S.	
DPa0.12	Relocation Request	N.T.S.	
DPa0.13	Aerial View from Southwest	N.T.S.	
DPa0.14	Aerial View from Northwest	N.T.S.	
DPa0.15	Aerial View from Northeast	N.T.S.	
DPa0.16	3D Views along Hornby Street	N.T.S.	
DPa0.17	3D Views along the Corner of Hornby and Drake Streets	N.T.S.	
DPa0.18	3D Views along Lane	N.T.S.	
DPa0.19	3D Views Level 6 Amenity Deck	N.T.S.	
DPa0.20	3D Views Level 6 Amenity Deck	N.T.S.	
<b>1.00 Project Information</b>			
DPa1.01	Existing Site Survey + Civil Building Grades	1" = 20'	
DPa1.02	Context Plan	N/A	
DPa1.03	Context Photos	1/8" = 1'-0"	
DPa1.04	Tower Separation Plan	1/8" = 1'-0"	
DPa1.05	Streetcape Elevations	1" = 50'	
DPa1.06	Spring Equinox Shadow Studies March 21	N.T.S.	
DPa1.07	Fall Equinox Shadow Studies September 22	N.T.S.	
DPa1.08	Shadow Impact Analysis on Burrard Place - Equinox @ 10:00 am	N.T.S.	
DPa1.09	Shadow Impact Analysis on Burrard Place - Equinox @ 10:11 am	N.T.S.	
DPa1.10	Shadow Impact Analysis on Burrard Place - Equinox @ 10:22 am	N.T.S.	
DPa1.11	Shadow Impact Analysis on Burrard Place - Equinox @ 12:00 noon	N.T.S.	
DPa1.12	Shadow Impact Analysis on Burrard Place - March 21 @ 12:30	N.T.S.	
DPa1.13	Shadow Impact Analysis on Burrard Place - March 21 @ 12:40	N.T.S.	
DPa1.14	Shadow Impact Analysis on Burrard Place - March 21 @ 12:47	N.T.S.	
DPa1.15	View Cone Analysis (3.1 Granville, B1 Charleston)	N.T.S.	
DPa1.16	View Cone Analysis (3.1 Queen Elizabeth to Downtown)	N.T.S.	
<b>Plans</b>			
DPa2.00	Level P6: Parkade	1/8" = 1'-0"	
DPa2.01	Level P5: Parkade	1/8" = 1'-0"	
DPa2.02	Level P4: Parkade	1/8" = 1'-0"	
DPa2.03	Level P3: Parkade	1/8" = 1'-0"	
DPa2.04	Level P2: Parkade	1/8" = 1'-0"	
DPa2.05	Level P1: Parkade	1/8" = 1'-0"	
DPa2.06	Level P0: Parkade	1/8" = 1'-0"	
DPa2.07	Level 1: Residential Lobby + CRU	1/8" = 1'-0"	
DPa2.08	Level 2: Residential + Amenity	1/8" = 1'-0"	
DPa2.09	Level 3: Residential	1/8" = 1'-0"	
DPa2.10	Level 4: Residential	1/8" = 1'-0"	
DPa2.11	Level 5: Residential	1/8" = 1'-0"	
DPa2.12	Level 6: Residential	1/8" = 1'-0"	
DPa2.13	Level 7: Residential + Amenity	1/8" = 1'-0"	
DPa2.14	Level 8 - 30: Residential	1/8" = 1'-0"	
DPa2.14a	Level 8 - 30: Residential	1/8" = 1'-0"	
DPa2.15	Level 31: Residential	1/8" = 1'-0"	
DPa2.16	Level 32: Residential	1/8" = 1'-0"	
DPa2.17	Level 33: Residential	1/8" = 1'-0"	
DPa2.18	Level 34: Residential	1/8" = 1'-0"	
DPa2.19	Level 35: Residential Penthouse	1/8" = 1'-0"	
DPa2.20	Level 36: Mechanical Room	1/8" = 1'-0"	
DPa2.21	Level 37: Elevator Machine Room	1/8" = 1'-0"	
DPa2.22	Overall Foot Print	1/8" = 1'-0"	
<b>3.00 Elevations</b>			
DPa3.01	Hornby Street Elevation (North)	1/8" = 1'-0"	
DPa3.02	Drake Street Elevation (West)	1/8" = 1'-0"	
DPa3.03	Level Elevation (South)	1/8" = 1'-0"	
DPa3.04	Side Yard Elevation (East)	1/8" = 1'-0"	
<b>4.00 Sections</b>			
DPa4.01	Building Section A-A	1/8" = 1'-0"	
DPa4.02	Building Section B-B	1/8" = 1'-0"	
DPa4.03	Building Section C-C	1/8" = 1'-0"	
DPa4.04	Building Section D-D	1/8" = 1'-0"	
DPa4.05	Detail Sections - Level 6 Amenity	1/4" = 1'-0"	
DPa4.06	Detail Sections - Level 7 Amenity	1/4" = 1'-0"	
DPa4.07	Detail Sections - Level 8 Amenity	1/4" = 1'-0"	
DPa4.08	Detail Elevations + Section - Cultural Amenity Space	1/8" = 1'-0"	
DPa4.09	Detail Elevations + Section - Residential + CAS Lower Lobby	1/8" = 1'-0"	
DPa4.10	Detail Section Thru CAS Lower Lobby + Main Gallery	1/8" = 1'-0"	

5.00 Horizontal Angle of Daylight		
DPa5.00a	Level 2: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.00b	Level 3: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.01	Level 4: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.02	Level 5: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.03	Level 6: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.04	Level 7: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.05	Level 8 - 30: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.05a	Level 27 - 29: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.06	Level 31: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.07	Level 32: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.08	Level 33: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.09	Level 34: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
DPa5.10	Level 35: Residential Horizontal Angle of Daylight	1/16" = 1'-0"
<b>6.00 FSR Area Calculation</b>		
DPa6.01	FSR - Level 1	1/8" = 1'-0"
DPa6.02	FSR - Level 2 Tower + CRU East	1/8" = 1'-0"
DPa6.03	FSR - Level 3 Residential	1/8" = 1'-0"
DPa6.04	FSR - Level 4 Residential	1/8" = 1'-0"
DPa6.05	FSR - Level 5	1/8" = 1'-0"
DPa6.06	FSR - Level 6	1/8" = 1'-0"
DPa6.07	FSR - Level 7	1/8" = 1'-0"
DPa6.08	FSR - Level 8 - 30	1/8" = 1'-0"
DPa6.08a	FSR - Level 27 - 29	1/8" = 1'-0"
DPa6.09	FSR - Level 31	1/8" = 1'-0"
DPa6.10	FSR - Level 32	1/8" = 1'-0"
DPa6.11	FSR - Level 33	1/8" = 1'-0"
DPa6.12	FSR - Level 34	1/8" = 1'-0"
DPa6.13	FSR - Level 35	1/8" = 1'-0"
DPa6.14	FSR - Level 36	1/8" = 1'-0"
DPa6.15	FSR - Level 37	1/8" = 1'-0"
<b>7.00 Area Allocation Plan</b>		
DPa7.01	Level P1 - Residential + CAS	1/8" = 1'-0"
DPa7.02	Level P2 - Residential + CAS	1/8" = 1'-0"
DPa7.03	Level P3 - Residential + CAS	1/8" = 1'-0"
DPa7.04	Level P0 - Parking + Service Room	1/8" = 1'-0"
DPa7.05	Level 1 - Residential + CAS	1/8" = 1'-0"
DPa7.06	Level 2 - Residential + CAS	1/8" = 1'-0"
DPa7.07	Level 2 - Residential + CAS	1/8" = 1'-0"


Development Permit Application - Landscape Drawing List			15-May-24
Job No. 2201	1290 Hornby Street		
Sheet number	Content	Scale	
DPa0.00	Cover Page	N/A	
<b>1.00 Landscape Plans</b>			
L1.01	Ground Level Illustrative Landscape Plan	1/8" = 1'-0"	
L1.02	Ground Level Precedent Imagery	1/8" = 1'-0"	
L1.03	Ground Level Tree Management	1/8" = 1'-0"	
L1.04	Ground Level Materials	1/8" = 1'-0"	
L1.05	Ground Level Grading	1/8" = 1'-0"	
L1.06	Ground Level Lighting	1/8" = 1'-0"	
L1.07	Level 2a Amenity Deck Illustrative Landscape Plan	1/8" = 1'-0"	
L1.08	Amenity Deck Precedent Images	1/8" = 1'-0"	
L1.09	Amenity Deck Seating and Materials	1/8" = 1'-0"	
L1.10	Amenity Deck Lighting	1/8" = 1'-0"	
L1.11	Roof Plan	1/8" = 1'-0"	
<b>2.00 Planting Plans</b>			
L2.01	Ground Level Planting Plan	1/8" = 1'-0"	
L2.02	Amenity Deck Planting Plan	1/8" = 1'-0"	
<b>3.00 Landscape Sections</b>			
L3.01	Landscape Sections	As Shown	
L3.02	Landscape Sections	As Shown	
L3.03	Landscape Sections	As Shown	
<b>4.00 Landscape Details</b>			
L4.01	Landscape Details	As Shown	
L4.02	Landscape Details	As Shown	
L4.03	Landscape Details	As Shown	
L4.04	Landscape Details	As Shown	

NOTE:  
The drawings listed on this sheet are for the CD-1 Bylaw Text Amendment to delete the Cultural Amenity Space and to convert the floor area back to residential and commercial use.

REVISION FOR CITY USE

1	[REDACTED]	[REDACTED]	[REDACTED]
2	[REDACTED]	[REDACTED]	[REDACTED]
3	[REDACTED]	[REDACTED]	[REDACTED]
4	[REDACTED]	[REDACTED]	[REDACTED]
5	[REDACTED]	[REDACTED]	[REDACTED]
6	[REDACTED]	[REDACTED]	[REDACTED]
7	[REDACTED]	[REDACTED]	[REDACTED]
8	[REDACTED]	[REDACTED]	[REDACTED]
9	[REDACTED]	[REDACTED]	[REDACTED]
10	[REDACTED]	[REDACTED]	[REDACTED]

NO 11-10-10 REVISION



JEFFREY S. BURT  
PROFESSIONAL ENGINEER  
2015-05-01

**Burries Architecture Inc.**

Proposed Residential Development  
889 Drake St. Vancouver, B.C.

Wild Financial Corporation  
1910-1912 Street  
Vancouver, B.C. V6J 1K2

PROJECT No. : 2201  
SCALE : AS SHOWN  
DATE : 2023-05-01  
DRAWN BY : J.S.B.  
CHECKED BY :  
DRAWING # : **DPa0.00**

Drawing List



SUSTAINABILITY MEASURES

GENERAL SUSTAINABILITY POLICIES

The City of Vancouver is widely recognized as one of the most livable cities in the world. As such, the City is committed to approving projects and developments that are sustainable and cost-effective. A number of Policies, Strategies and Guidelines have been developed in order to align this commitment with Vancouver's objectives.

- GREENEST CITY - 2020 ACTION PLAN
GREEN BUILDINGS POLICY FOR REZONING (2010)
RENEWABLE CITY STRATEGY (2015)
HEALTHY CITY STRATEGY (2015)
TRANSPORTATION 2040 (2012)
URBAN FOREST STRATEGY (2018)
BIODIVERSITY STRATEGY (2016)
VANCOUVER ECONOMIC ACTION STRATEGY (2011)
VANCOUVER BIRD STRATEGY (2015)
NEIGHBOURHOOD ENERGY STRATEGY
RAIN CITY STRATEGY (2019)

This project will adhere to the applicable general Policies as described on the following pages:

GENERAL SUSTAINABILITY STRATEGIES

ENERGY

- A high performance building envelope is designed to maximize occupant comfort and energy conservation.
- Preliminary energy modelling provides evidence that energy targets for TEUI, TED1, and GHGI will be exceeded.
- Commissioning and energy metering will help ensure the performance targets set at design stage are maintained during occupancy.

MATERIALS AND EMBODIED CARBON

- Building material selection based on low global warming potential (GWP), and low refrigerants for mechanical systems.
- Optimizing the structure for massing to limit the number of transfers and consideration of post-tensioning to reduce concrete volumes.
- Low-emitting, healthy, and low carbon building materials selected for interior finishes.

VEGETATION AND BIODIVERSITY

- 20% Vegetation cover will be made up of native and drought tolerant plants. Proposed new trees will contribute to the urban forest, provide shade and reduce reflective heat and provide habitat. Species are selected based on their suitability for the proposed location and for their ability to adapt to future climate change. Furthermore, we are proposing a diversity of plant type and a mix of deciduous and coniferous trees for a range of habitat types for birds. All soft landscape areas meet or exceed Canadian Landscape standards recommendations for depth of growing medium and help capture rain water and reduce stormwater runoff rates from the site.

WATER

- A water conservation rate of 50% is targeted for outdoor water use. Soft landscaped areas will be supported by a high efficiency drip irrigation system with rainwater sensor and controller to minimize water demand. The intent is to significantly reduce water consumption but keep a healthy and thriving plant population so the plants retain their ability to absorb carbon dioxide and release oxygen back into the air.
- A water conservation rate of 20% is targeted for indoor water use. Fixture and fittings will be selected to reduce indoor potable water consumption.
- Storm water detention tank system will be used to divert water from City drainage.

TRANSPORTATION

- With access to the downtown core, rated out 100, the development has a Walk Score of 100, a Transit Score of 96, and a Bike Score of 93.
- Provision of a first-class residential Bike Facility including a bike wash and maintenance areas, and dedicated elevator providing residential access to bike facilities within the parkade.
- 100% of residential parking will be EV ready.

SOCIAL EQUITY

- Accessibility is considered in all public aspects of design and layout. Accessible design includes Elevator access to all floors, signage designed for visual impairment, accessible parking spaces close to elevators.
- Air-conditioning will be provided to all units to create a comfortable and resilient environment for all residents.

COMMUNITY

- Integration of a significant residential use will revitalize the neighbourhood and local economy.
- Indoor and outdoor amenity areas have been provided for residential use on Levels 2 and 7 providing ample space for gatherings and community activities will allow residents to connect. Social and Fitness rooms will be provided at Level 2 as well as Virtual Meeting rooms for resident use.
- Commercial Retail Units will be provided at Level 1 to further support the needs of the neighbourhood.

RESILIENCY STRATEGIES

The project team considered extreme heat events, power outages, extreme precipitation and resultant local flooding, poor air quality as well as earthquakes.

PLANNED EMERGENCY DESIGN FEATURES:

- The project will provide an emergency generator for back-up power in the event of a power failure.

STRATEGIES THAT ADDRESS THE IMPACTS OF HEAT:

- A) Health and safety of vulnerable occupants: inclusion of Architectural Features such as large balconies providing shade on the facade as well as operable windows for ventilation to reduce overheating.
B) Mechanical, Electrical and Building Envelope: mechanical cooling in each suite and amenity spaces utilizing a Fan Coil system connected to an efficient centralized chiller within the parkade; ERVS utilizing highly rated MERV filters; low window/wall ratio of the building envelope reducing heat gain.
C) Per the downtown south guidelines, a double row of trees are proposed for the public realm at both Drake and Hornby. The site benefits from large canopied existing trees along both Drake and Hornby. The combination of the existing trees, a new building canopy and a second row of trees provide a generous amount of shade and helps to reduce the heat island effect. Species selection for new trees is based on their habit and form to reduce canopy interference and on their resiliency to future climate change.

STRATEGIES TO ADDRESS POOR AIR QUALITY:

- suites and common areas to be provided with highly rated MERV filters for ERVS.

STRATEGIES TO REDUCE URBAN HEAT ISLAND EFFECT:

- At street level, it is the retention of the large canopied existing trees, the new building canopy and a proposed second row of trees that work together to provide a generous amount of shade in the public realm and help reduce the urban heat island effect. At the south edge of the site, new trees and soft landscape areas reduce the amount of hard surfaces and provide shade cover. At the level 7 amenity deck, there are a number of features contributing to a reduced heat island effect: 50% soft landscape, shade trees at open spaces and high reflective materials for hard surfaces.

STRATEGIES TO IMPROVE WATER SYSTEM RESILIENCE:

- A water conservation rate of 20% is targeted for indoor water use. Fixtures and fittings will be selected to reduce indoor potable water use below policy baselines where feasible.
- A water conservation rate of 50% is targeted for outdoor water use. A drought tolerant plant list, full depth planters and a high efficiency drip irrigation system will help minimize water use for the landscaped areas.
- A generous depth of growing medium for all plants supports the Rainwater Management Plan, improving the storm water detention capabilities.

PLANS TO PROTECT BELOW-GRADE AREAS FROM FLOODING AND WHETHER ANY ESSENTIAL SYSTEMS ARE PLANNED TO BE LOCATED BELOW GRADE:

- essential electrical equipment is located on Level P0, P1 and P2, above four levels of below grade parking.
- Essential mechanical equipment for heating, cooling will be located on Level P0, P1 and P2, and hot water will be located on the roof of the tower.

SITE DESIGN STRATEGIES PLANNED FOR ADAPTING TO SEA LEVEL RISE:

- the project is not located in a floodplain.



RESERVED FOR CITY USE

SSL



Buttles Architecture Inc.
Tel: 604.276.1122
Fax: 604.276.1123
www.buttlesarchitecture.com
225 Pica Avenue South, BC
V6C 2K6, CANADA

This document is intended for internal use only and should not be distributed outside the project. It is confidential, proprietary and its use is restricted to the project and its intended purpose. It is not to be used for any other purpose without the written consent of the project owner.

Proposed Residential Development
180 Drake St Vancouver, B.C.



PROJECT NO: 2001
SCALE: 1/8" = 1'-0"
PLOT DATE: 2025-07-24
DRAWN BY:
CHECKED BY:

DRAWING #

DPa0.02

Sustainability Measures

U:\Projects\2025\180 Drake\Documents\2025\_180 Drake\_Proposal Information\_V04.dwg (2025.07.24 11:08:58 AM)

2023-08-01 1:38:39 PM

**DEVELOPMENT STATISTICS SUMMARY** July 24, 2023

PROJECT NAME		PROPOSED 24 STORY RESIDENTIAL DEVELOPMENT	
CIVIC ADDRESS		589 DRAKE STREET	
LEGAL DESCRIPTION		PLAN 216 Lot 1 Block 191 District Lot 841 Group 1 New Westminster District Plan EFP135016	
SITE AREA		5,292.1 sq.m. (14,895.0 sq.ft.)	
USE	CURRENT	PROPOSED	
	2 STOREY OFFICE, GROUP D PARKADE, GROUP F-3	24 STOREY RESIDENTIAL TOWER, GROUP C (COMMERCIAL, CRU), GROUP F-3 PARKADE, GROUP F-3	
ZONE	CD	CD-1	
		CD-1 PERMITTED / REQUIRED	PROPOSED
<b>FIR</b>		11.86	12.82
<b>GROSS FLOOR AREA</b>		19,237.8 sq.m. (527,681.0 sq.ft.)	19,237.8 sq.m. (527,681.0 sq.ft.)
<b>FLOOR AREA (FAR)</b>		17,427.3 sq.m. (473,747.3 sq.ft.)	Not Residential: 14,241.2 sq.m. (393,296.0 sq.ft.)
Residential (Units: 1064)		288.1 sq.m. (2,778.2 sq.ft.)	Not Commercial: 242.7 sq.m. (2,652.2 sq.ft.)
CRU		19,237.8 sq.m. (527,681.0 sq.ft.)	
<b>EXCLUSIONS</b>		2,146.3 sq.m. (58,351.0 sq.ft.) MAX	1,555.5 sq.m. (42,523.3 sq.ft.)
Balconies (17%)		7,766.8 sq.m. (21,262.0 sq.ft.) MAX	563.7 sq.m. (15,107.7 sq.ft.)
Residential Amenities (16%)		832.8 sq.m. (22,887.8 sq.ft.)	799.3 sq.m. (21,804.0 sq.ft.)
Residential Storage (3.7 sq.m. or 39.83 sq.ft./unit)			190.3 sq.m. (51,442.2 sq.ft.)
Exterior Wall Thicknesses 2"			
<b>SETBACKS</b>		1.83 m (6 R.) minimum	1.83 m (6 R.) minimum
FRONTYARD (Hornby Street)		1.83 m (6 R.) minimum	1.83 m (6 R.) minimum
FRONTYARD (Drake Street)		1.83 m (6 R.) minimum	1.83 m (6 R.) minimum
REARYARD		9.14 m (30 R.) minimum	1.49 m (4.78 R.)
SIDEYARD (interior) [0 to 18.29 m (60 R.)]		NONE	NONE
SIDEYARD (interior) [above 18.29 m (60 R.)]		12.19 m (40 R.)	12.19 m (40 R.) above 19.82m(64.38 R.)
<b>TOWER SEPARATION</b>		24.4 m. (80.0 R.)	24.4 m. (80.0 R.) to forestation
HORNBY STREET - [above 18.60 m (60 R.)]		24.4 m. (80.0 R.)	24.4 m. (80.0 R.) to concrete structure
DRAKE STREET - [above 18.60 m (60 R.)]		24.4 m. (80.0 R.)	24.4 m. (80.0 R.) to forestation
LANE - [above 18.60 m (60 R.)]		24.4 m. (80.0 R.)	24.4 m. (80.0 R.) face of side wall
SIDEYARD (INTERIOR) - [above 18.60 m (60 R.)]		24.4 m. (80.0 R.)	24.4 m. (80.0 R.)
<b>BUILDING HEIGHT</b>		106.11 m. (348.13 R.)	106.10 m. (348.11 R.)
TOWER (Top of elevator Pit parapet)			
<b>DWELLING UNITS</b>			
STUDIO			13
1 BEDROOM			143
2 BEDROOM			87
3 BEDROOM			23
TOTAL UNITS			233
<b>FAMILY UNITS</b>			
2 BEDROOM (25%)		25.0% (57 Units)	38.7% (87 Units)
3 BEDROOM (15%)		15.0% (35 Units)	12.0% (28 Units)
TOTAL FAMILY UNITS (38%)		39.0% (72 Units)	48.8% (115 Units)
<b>COMMERCIAL RETAIL UNIT (CRU)</b>			254.1 sq.m. (2,778.2 sq.ft.)
<b>SURFACE STATUTOR' RIGHT OF WAY</b>		5.6 m. (18.0 R.)	5.6 m. (18.0 R.)
Hornby Street		5.6 m. (18.0 R.)	5.6 m. (18.0 R.)
Drake Street		5.6 m. (18.0 R.)	5.6 m. (18.0 R.)
Hornby SRW corner cut		1.0 m. along Hornby (13.28 R.)	1.0 m. along Hornby (13.28 R.)
Drake SRW corner cut		4.0 m. along Drake (13.12 R.)	4.0 m. along Drake (13.12 R.)
<b>PARKING SUMMARY</b>		PERMITTED / REQUIRED	PROPOSED
Residential Parking		N/A	11
Residential Standard		4 (min.)	8 (3 small car)
Residential Visitor (5% X Total Parking)		22 (max.)	8 (3 visitor small car)
Residential Accessible		0	0
Residential Parking Total		No Minimum Requirement	89
<b>COMMERCIAL RETAIL UNIT (CRU)</b>			
CRU TOTAL PARKING REQUIRED		2	2
CRU Accessible		0	1 accessible + 2 standard
Car Share Parking		Car Share (1 stalls to be each provided with a Level 2 charge station)	6
Leasing Space		Leasing Space (Class B) Shared (Residential + CRU)	1
Passenger Loading Space (Residential)		2	2
Passenger Loading Space (CRU)		3	3
<b>BICYCLE PARKING SUMMARY</b>		PERMITTED / REQUIRED	PROPOSED
Residential Class A		Horizontal Bicycle Spaces	142
Residential Class B (30% more bicycle parking)		Horizontal Bicycle Lockers (20% min.)	121
		Vertical Bicycle Spaces (20% max.)	90
		Stacked Horizontal Bicycle Spaces	162
		Vertical + Stacked (50% x required spaces)	272
		Overlaid Bicycle Spaces (10% min.)	90
		Total Residential Bicycle Spaces or TDM PLAN B	655
Residential Class B		Horizontal Bicycle Spaces	12
CRU Class A		Horizontal Bicycle Spaces	2
CRU Class B (Interior)		Horizontal Bicycle Spaces	0/0
<b>RESIDENTIAL STORAGE SUMMARY</b>		PERMITTED / REQUIRED	PROPOSED
Residential Storage		In-Suite Storage	127
		Below Grade Lockers	11
		Above Grade Lockers	56
		Total Storage	194
<b>HORIZONTAL ANGLE OF DAYLIGHT</b>		PERMITTED / REQUIRED	PROPOSED
HORIZONTAL ANGLE OF DAYLIGHT		24.4 m. (78.12 R.)	Refer to DPa0.03, DPa0.10
			Refer to Design Rationale Item 7 on DPa0.01 and DPa0.01 to DPa0.10, for horizontal angle of daylight relaxations requested.

RESERVED FOR CITY USE

1 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

2 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

3 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

4 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

5 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

6 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

7 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

8 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

9 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

10 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

11 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

12 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

13 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

14 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

15 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

16 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

17 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

18 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

19 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS

20 2023-017 2023-017 REVISION REQUIRED FOR REVISIONS



Professional Engineer  
 No. 45415  
 B.C. Engineering Association  
 2023-08-01

**Butties Architecture Inc.**

1000 West Broadway, Suite 200  
 Vancouver, BC V6E 2E6  
 Phone: 604.681.0001  
 Fax: 604.681.0002  
 Website: www.buttiesarchitecture.com

**Proposed Residential Development**

888 Drake Street, E.C.

Watt Financial Corporation  
 888 Drake Street, E.C.  
 Vancouver, BC V6E 2E6

PROJECT NO.: 2201  
 SCALE: 1/8" = 1'-0"  
 PLOT DATE: 2023-08-01  
 DRAWN BY: [Redacted]  
 CHECKED BY: [Redacted]

DRAWING #

# DPa0.03

Development Statistics Summary





P:\Drawing\2025\110224\110224.dwg (AutoCAD) Submitted: 05/27/2025 10:00:00 AM



Aerial View from Southwest Looking at the Corner of Drake Street and Lane

RESERVED FOR CITY USE

1	2024-01	REVISED AND REBUILT FOR REGIONAL MEADOWS DEVELOPMENT
2	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
3	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
4	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
5	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
6	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
7	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
8	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
9	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
10	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
11	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
12	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
13	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
14	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
15	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
16	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
17	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
18	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
19	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
20	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
21	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
22	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
23	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
24	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
25	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
26	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
27	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
28	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
29	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
30	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
31	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
32	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
33	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
34	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
35	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
36	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
37	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
38	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
39	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
40	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
41	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
42	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
43	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
44	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
45	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
46	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
47	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
48	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
49	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
50	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
51	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
52	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
53	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
54	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
55	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
56	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
57	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
58	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
59	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
60	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
61	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
62	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
63	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
64	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
65	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
66	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
67	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
68	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
69	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
70	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
71	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
72	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
73	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
74	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
75	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
76	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
77	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
78	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
79	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
80	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
81	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
82	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
83	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
84	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
85	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
86	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
87	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
88	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
89	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
90	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
91	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
92	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
93	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
94	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
95	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
96	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
97	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
98	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
99	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT
100	2024-01	REVISED FOR REGIONAL MEADOWS DEVELOPMENT



**Buttles Architecture Inc.**

10000 West Loop South, Suite 1000  
Houston, Texas 77042  
Tel: 281.416.1000  
www.buttlesarchitecture.com

**Proposed Residential Development**

10000 West Loop South, Suite 1000  
Houston, Texas 77042

**Wall Financial Corporation**

10000 West Loop South, Suite 1000  
Houston, Texas 77042

PROJECT NO: 2001  
SCALE: NTS  
PLOT DATE: 2025-08-01  
DRAWN BY: RAL  
CHECKED BY: -

DRAWING #  
**DPa0.13**

Aerial View from Southwest

P:\Drawings\2020\15200\Hornby\ARC\Drawings\Submitted\022\Residential\Architectural\3D\Render\0201\Hornby\_34\Images\_35\Render.rvt  
 2020-08-07 7:28:23 AM



Aerial View From The Northwest at The Corner of Hornby and Drake Streets

RESERVED FOR CITY USE

1	2020-01	REVISED AND REBUILT FOR REGIONAL MEADOWS SITE PLAN
2	2020-04	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
3	2020-05	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
4	2020-06	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
5	2020-07	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
6	2020-08	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
7	2020-09	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
8	2020-10	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
9	2020-11	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
10	2020-12	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
11	2021-01	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
12	2021-02	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
13	2021-03	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
14	2021-04	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
15	2021-05	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
16	2021-06	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
17	2021-07	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
18	2021-08	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
19	2021-09	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
20	2021-10	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
21	2021-11	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
22	2021-12	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
23	2022-01	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
24	2022-02	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
25	2022-03	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
26	2022-04	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
27	2022-05	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
28	2022-06	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
29	2022-07	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
30	2022-08	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
31	2022-09	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
32	2022-10	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
33	2022-11	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
34	2022-12	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
35	2023-01	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
36	2023-02	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
37	2023-03	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
38	2023-04	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
39	2023-05	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
40	2023-06	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
41	2023-07	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
42	2023-08	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
43	2023-09	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
44	2023-10	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
45	2023-11	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
46	2023-12	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
47	2024-01	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
48	2024-02	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
49	2024-03	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
50	2024-04	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
51	2024-05	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
52	2024-06	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
53	2024-07	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
54	2024-08	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
55	2024-09	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
56	2024-10	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
57	2024-11	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
58	2024-12	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
59	2025-01	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
60	2025-02	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
61	2025-03	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
62	2025-04	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
63	2025-05	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
64	2025-06	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
65	2025-07	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
66	2025-08	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
67	2025-09	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
68	2025-10	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
69	2025-11	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
70	2025-12	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
71	2026-01	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
72	2026-02	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
73	2026-03	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
74	2026-04	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
75	2026-05	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
76	2026-06	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
77	2026-07	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
78	2026-08	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
79	2026-09	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
80	2026-10	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
81	2026-11	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
82	2026-12	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
83	2027-01	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
84	2027-02	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
85	2027-03	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
86	2027-04	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
87	2027-05	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
88	2027-06	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
89	2027-07	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
90	2027-08	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
91	2027-09	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
92	2027-10	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
93	2027-11	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
94	2027-12	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
95	2028-01	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
96	2028-02	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
97	2028-03	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
98	2028-04	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
99	2028-05	REDESIGN FOR REGIONAL MEADOWS SITE PLAN
100	2028-06	REDESIGN FOR REGIONAL MEADOWS SITE PLAN



**Butties Architecture Inc.**  
 Architects (RCA 381 572)  
 Engineers (RCE 281 801)  
 www.buttiesarchitecture.com  
 220 Fox Avenue, Toronto, ON  
 Canada M5R 2K4

The contents of this document are the property of Butties Architecture Inc. and are not to be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Butties Architecture Inc.

**Proposed Residential Development**

100 Drake St. Corner Hornby St. E.C.

Wall Financial Corporation  
 100 Dundas St. W. Toronto, ON M5G 1C4

PROJECT NO.	2201
SCALE	N/A
PLOT DATE	2025-08-01
DRAWN BY	RAJ
CHECKED BY	-

DRAWING #  
**DPa0.14**

Aerial View from Northwest

P:\Drawings\2024\15280\Hornby\AEC\Charter\Submitted\022\Residential\Academics\35\img\0201\Hornby\_34\imga\_35\_Screen.rvt  
 2025-08-01 7:28:27 AM



Aerial View From The Northeast Along Hornby Street

RESERVED FOR CITY USE

1	2024-01	REVISED AND REBUILT FOR REGIONAL MEADOWS DEVELOPMENT
2	2024-04	REDESIGN FOR REGIONAL MEADOWS DEVELOPMENT
3	2024-05	REDESIGN FOR REGIONAL MEADOWS DEVELOPMENT
4	2024-06	REDESIGN FOR REGIONAL MEADOWS DEVELOPMENT
5	2024-07	REDESIGN FOR REGIONAL MEADOWS DEVELOPMENT
6	2024-08	REDESIGN FOR REGIONAL MEADOWS DEVELOPMENT
7	2024-09	REDESIGN FOR REGIONAL MEADOWS DEVELOPMENT
8	2024-10	REDESIGN FOR REGIONAL MEADOWS DEVELOPMENT
9	2024-11	REDESIGN FOR REGIONAL MEADOWS DEVELOPMENT
10	2024-12	REDESIGN FOR REGIONAL MEADOWS DEVELOPMENT



**Butties Architecture Inc.**  
 Architects (SAC 384 552)  
 Engineers (SAC 284 802)  
 www.buttiesarchitecture.com  
 220 Fox Avenue, Stoney Creek, Ontario L3R 9W4

This drawing is intended for review and approval of the proposed residential development. It is not to be used for construction purposes. Reproduction or use without written consent of the architect and owner is strictly prohibited.

**Proposed Residential Development**  
 888 Dundas St. East, Suite 100  
 Wail Financial Corporation  
 (incorporated in Ontario)  
 Toronto, Ontario M5G 1S8

PROJECT NO.	2201
SCALE	N/A
PLOT DATE	2025-08-01
DRAWN BY	RAL
CHECKED BY	-

DRAWING #  
**DPa0.15**

Aerial View from Northeast



View from The Northeast along Hornby Street



View From The Northwest at The Corner of Hornby & Drake Streets

RESERVED FOR CITY USE

1	2024-01	REVISED AND REDESIGNED FOR RESIDUAL DEVELOPMENT
2	2024-04	DESIGN FOR RESIDUAL DEVELOPMENT (2024.04)
3	2024-05	DESIGN FOR RESIDUAL DEVELOPMENT (2024.05)
4	2024-05	DESIGN FOR RESIDUAL DEVELOPMENT (2024.05)
5	2024-05	DESIGN FOR RESIDUAL DEVELOPMENT (2024.05)
6	2024-05	DESIGN FOR RESIDUAL DEVELOPMENT (2024.05)
7	2024-05	DESIGN FOR RESIDUAL DEVELOPMENT (2024.05)
8	2024-05	DESIGN FOR RESIDUAL DEVELOPMENT (2024.05)
9	2024-05	DESIGN FOR RESIDUAL DEVELOPMENT (2024.05)
10	2024-05	DESIGN FOR RESIDUAL DEVELOPMENT (2024.05)

SEAL



Butties Architecture Inc.

Butties Architecture Inc.  
 1000 West Beaver Creek Road  
 Suite 100  
 Richmond Hill, Ontario L4B 1N2  
 Canada

**Proposed Residential Development**  
 100 Drake Street, Toronto, ON M5G 1S2

Wall Financial Corporation  
 1000 West Beaver Creek Road, Suite 100, Richmond Hill, ON L4B 1N2

PROJECT NO.	2001
SCALE	N/A
PLUT DATE	2025-08-01
DRAWN BY	RAJ
CHECKED BY	-

DRAWING #  
**DPa0.16**

3D Views along Hornby Street



View from The SouthWest Looking Across Drake Street Down The Lane



View from The Northwest at The Corner of Hornby and Drake Streets

RESERVED FOR CITY USE

1	2024-01	REVISED AND REBUILT FOR REGIONAL MEADOWS SITE PLAN
2	2023-10	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
3	2023-09	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
4	2023-08	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
5	2023-07	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
6	2023-06	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
7	2023-05	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
8	2023-04	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
9	2023-03	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
10	2023-02	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
11	2023-01	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
12	2022-12	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
13	2022-11	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
14	2022-10	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
15	2022-09	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
16	2022-08	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
17	2022-07	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
18	2022-06	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
19	2022-05	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
20	2022-04	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
21	2022-03	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
22	2022-02	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
23	2022-01	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
24	2021-12	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
25	2021-11	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
26	2021-10	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
27	2021-09	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
28	2021-08	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
29	2021-07	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
30	2021-06	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
31	2021-05	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
32	2021-04	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
33	2021-03	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
34	2021-02	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
35	2021-01	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
36	2020-12	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
37	2020-11	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
38	2020-10	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
39	2020-09	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
40	2020-08	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
41	2020-07	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
42	2020-06	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
43	2020-05	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
44	2020-04	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
45	2020-03	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
46	2020-02	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
47	2020-01	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
48	2019-12	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
49	2019-11	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
50	2019-10	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
51	2019-09	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
52	2019-08	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
53	2019-07	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
54	2019-06	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
55	2019-05	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
56	2019-04	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
57	2019-03	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
58	2019-02	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
59	2019-01	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
60	2018-12	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
61	2018-11	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
62	2018-10	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
63	2018-09	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
64	2018-08	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
65	2018-07	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
66	2018-06	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
67	2018-05	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
68	2018-04	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
69	2018-03	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
70	2018-02	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
71	2018-01	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
72	2017-12	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
73	2017-11	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
74	2017-10	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
75	2017-09	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
76	2017-08	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
77	2017-07	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
78	2017-06	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
79	2017-05	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
80	2017-04	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
81	2017-03	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
82	2017-02	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
83	2017-01	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
84	2016-12	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
85	2016-11	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
86	2016-10	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
87	2016-09	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
88	2016-08	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
89	2016-07	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
90	2016-06	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
91	2016-05	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
92	2016-04	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
93	2016-03	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
94	2016-02	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
95	2016-01	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
96	2015-12	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
97	2015-11	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
98	2015-10	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
99	2015-09	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN
100	2015-08	REDESIGNED FOR REGIONAL MEADOWS SITE PLAN

SEAL



Butties Architecture Inc.

1000 Hwy 7 East, Suite 100  
Richmond Hill, Ontario L4B 1N2  
Tel: 905-882-1111  
www.buttiesarchitecture.com

This drawing is intended for use as a guide only and does not constitute a contract. It is the responsibility of the client to ensure that all necessary permits and approvals are obtained before construction begins. The Architect is not responsible for any errors or omissions in this drawing.

**Proposed Residential Development**  
100 Drake St. Corner Hornby St. E.C.

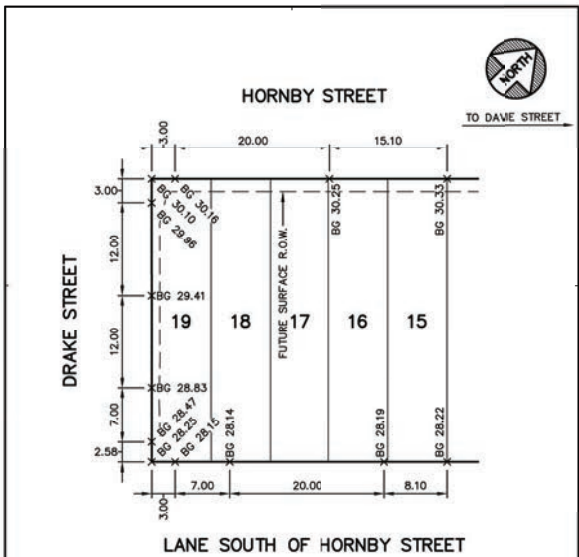
Wall Financial Corporation  
1000 Dundas St. West, Toronto, Ontario M5G 1C4

PROJECT NO.	2001
SCALE	N/A
PLUT DATE	2023-08-01
DRAWN BY	RAJ
CHECKED BY	-

DRAWING #  
**DPa0.17**

3D Views along The Corner of Hornby and Drake Streets





BENCH MARK ELEVATION: 25.928 DESCRIPTION: SURVEY MONUMENT MARKED V-2766 AT THE SOUTH WEST CORNER OF HOWE STREET AND DRAKE STREET.

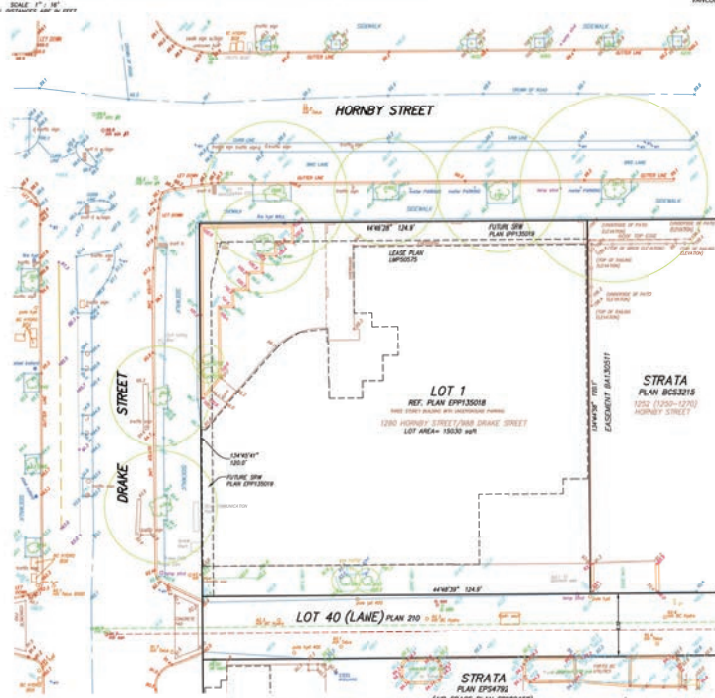
**ATTENTION**  
ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES  
BASED ON CGVD DATUM (CLOSED NOVEMBER 31, 2016).  
DIMENSIONS ARE ALSO IN METRES.

THE CITY OF VANCOUVER ASSUMES NO RESPONSIBILITY FOR PROPERTY DIMENSIONS SHOWN ON THIS PLAN.  
BENCH MARK ELEVATIONS TO BE FIELD VERIFIED.

**CITY OF VANCOUVER ENGINEERING SERVICES**

SCALE: 1:400 **BUILDING GRADE ELEVATIONS** DESIGN: M.P. DWG: B.F.G.  
DATE: 2023-01-17 FOR LOTS 15 TO 19, BLK. 101, CHK: J.D.H. REV:  
REF: FILE 2022-00204, D.L. 541, PLAN VAP210. **BG-2022-00204**

**SITE PLAN OF LOT 1 BLOCK 101 DISTRICT LOT 541  
GROUP 1 NEW WESTMINSTER DISTRICT PLAN EPP135018**



**NOTE:**

ALL ELEVATIONS AND DIMENSIONS SHOWN ARE IN FEET.  
LOCAL BOUNDARIES ARE BASED ON LAND TITLE OFFICE RECORDS AND FIELD SURVEY.  
ELEVATIONS ARE DERIVED FROM CGM N-2766, LOCATED AT THE INTERSECTION OF DRAKE STREET AND HOWE STREET, IN THE CORNER.  
NEED SURVEY AND DIMENSIONS TO BE CONFIRMED BY A QUALIFIED SURVEYOR. THIS DRAWING IS NOT AN INDICATION OF SURVEY LOCATION UNLESS SPECIFICALLY LABELED.

**OWNERS' RESTRICTION**  
THIS PLAN IS THE EXCLUSIVE PROPERTY OF APLIN & MARTIN AND MAY NOT BE ALTERED OR REPRODUCED WITHOUT WRITTEN CONSENT OF SAME.  
THIS PLAN IS PREPARED SOLELY FOR A LIMITED CONTRACTUAL USE BETWEEN APLIN & MARTIN AND ANY CLIENT IS TO NOT BE USED FOR THE LOCATION OF PROPERTY LINES.  
WE ACCEPT NO RESPONSIBILITY FOR ANY UNANTICIPATED USE.

**APLIN & MARTIN**  
GEODETIC LAND SURVEYORS LTD.  
201 TEMPLETON AVENUE  
SURREY, BC V3W 2S5 604-597-9888

**LEGEND**

- 1.00m depth
- 2.00m depth
- 3.00m depth
- 4.00m depth
- 5.00m depth
- 6.00m depth
- 7.00m depth
- 8.00m depth
- 9.00m depth
- 10.00m depth
- 11.00m depth
- 12.00m depth
- 13.00m depth
- 14.00m depth
- 15.00m depth
- 16.00m depth
- 17.00m depth
- 18.00m depth
- 19.00m depth
- 20.00m depth
- 21.00m depth
- 22.00m depth
- 23.00m depth
- 24.00m depth
- 25.00m depth
- 26.00m depth
- 27.00m depth
- 28.00m depth
- 29.00m depth
- 30.00m depth
- 31.00m depth
- 32.00m depth
- 33.00m depth
- 34.00m depth
- 35.00m depth
- 36.00m depth
- 37.00m depth
- 38.00m depth
- 39.00m depth
- 40.00m depth
- 41.00m depth
- 42.00m depth
- 43.00m depth
- 44.00m depth
- 45.00m depth
- 46.00m depth
- 47.00m depth
- 48.00m depth
- 49.00m depth
- 50.00m depth

**NET TABLE**

POINT NUMBER	DIMENSION	DRIP LINE(S)	DESCRIPTION
2811	44'-12"	44'-36"	distances
2812	44'-12"	44'-36"	distances
2813	44'-12"	44'-36"	distances
2814	44'-12"	44'-36"	distances
2815	44'-12"	44'-36"	distances
2816	44'-12"	44'-36"	distances
2817	44'-12"	44'-36"	distances
2818	44'-12"	44'-36"	distances
2819	44'-12"	44'-36"	distances
2820	44'-12"	44'-36"	distances

CERTIFIED CORRECT ACCORDING TO FIELD SURVEY  
DATED 21ST DAY OF MAY, 2024.



G.A. BERT HOL, B.C. REG.  
THIS DOCUMENT IS NOT VALID UNLESS ORIGINALLY SIGNED  
FIELD SURVEY: FEBRUARY 26, 2024  
FILE 22-533-03 Topo REVI IMPERIAL

RESERVED FOR CITY USE

1. 2024-01-17 FIELD SURVEY FOR RECORD MEMORANDUM  
2. 2024-01-17 FIELD SURVEY FOR RECORD MEMORANDUM  
3. 2024-01-17 FIELD SURVEY FOR RECORD MEMORANDUM  
4. 2024-01-17 FIELD SURVEY FOR RECORD MEMORANDUM  
5. 2024-01-17 FIELD SURVEY FOR RECORD MEMORANDUM  
6. 2024-01-17 FIELD SURVEY FOR RECORD MEMORANDUM  
7. 2024-01-17 FIELD SURVEY FOR RECORD MEMORANDUM  
8. 2024-01-17 FIELD SURVEY FOR RECORD MEMORANDUM  
9. 2024-01-17 FIELD SURVEY FOR RECORD MEMORANDUM  
10. 2024-01-17 FIELD SURVEY FOR RECORD MEMORANDUM

PROJECT NORTH

TRUE NORTH

Scale: 1:400

**Proposed Residential Development**  
880 Devon St. Vancouver, B.C.  
Wall Financial Corporation  
1000 Burrard Street, Vancouver, B.C.

PROJECT NO.: 2021  
SCALE: AS SHOWN  
PLOT DATE: 2023-07-24  
DRAWN BY: JR  
CHECKED BY: JR

DRAWING # **DPa1.01**

Existing Site Survey + Civil Building Grades

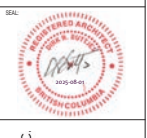


2025-02-26 4:08:23 PM \\p13114\res\p13114\res\Documents\2025\Hornby Project\Information\_VCL\Information



RESERVED FOR CITY USE

1	2024-07	2024-07-15	PROPOSED FOR RESIDING AMENDMENT
2	2024-08	2024-08-15	PROPOSED FOR RESIDING AMENDMENT
3	2024-09	2024-09-15	PROPOSED FOR RESIDING AMENDMENT
4	2024-10	2024-10-15	PROPOSED FOR RESIDING AMENDMENT
5	2024-11	2024-11-15	PROPOSED FOR RESIDING AMENDMENT
6	2024-12	2024-12-15	PROPOSED FOR RESIDING AMENDMENT
7	2025-01	2025-01-15	PROPOSED FOR RESIDING AMENDMENT
8	2025-02	2025-02-15	PROPOSED FOR RESIDING AMENDMENT
9	2025-03	2025-03-15	PROPOSED FOR RESIDING AMENDMENT
10	2025-04	2025-04-15	PROPOSED FOR RESIDING AMENDMENT
11	2025-05	2025-05-15	PROPOSED FOR RESIDING AMENDMENT
12	2025-06	2025-06-15	PROPOSED FOR RESIDING AMENDMENT
13	2025-07	2025-07-15	PROPOSED FOR RESIDING AMENDMENT
14	2025-08	2025-08-15	PROPOSED FOR RESIDING AMENDMENT
15	2025-09	2025-09-15	PROPOSED FOR RESIDING AMENDMENT
16	2025-10	2025-10-15	PROPOSED FOR RESIDING AMENDMENT
17	2025-11	2025-11-15	PROPOSED FOR RESIDING AMENDMENT
18	2025-12	2025-12-15	PROPOSED FOR RESIDING AMENDMENT
19	2026-01	2026-01-15	PROPOSED FOR RESIDING AMENDMENT
20	2026-02	2026-02-15	PROPOSED FOR RESIDING AMENDMENT
21	2026-03	2026-03-15	PROPOSED FOR RESIDING AMENDMENT
22	2026-04	2026-04-15	PROPOSED FOR RESIDING AMENDMENT
23	2026-05	2026-05-15	PROPOSED FOR RESIDING AMENDMENT
24	2026-06	2026-06-15	PROPOSED FOR RESIDING AMENDMENT
25	2026-07	2026-07-15	PROPOSED FOR RESIDING AMENDMENT
26	2026-08	2026-08-15	PROPOSED FOR RESIDING AMENDMENT
27	2026-09	2026-09-15	PROPOSED FOR RESIDING AMENDMENT
28	2026-10	2026-10-15	PROPOSED FOR RESIDING AMENDMENT
29	2026-11	2026-11-15	PROPOSED FOR RESIDING AMENDMENT
30	2026-12	2026-12-15	PROPOSED FOR RESIDING AMENDMENT



**Butties Architecture Inc.**  
 1000 - 1000 Bloor Street West, Toronto, Ontario M5S 1A5  
 Telephone: (416) 593-1500  
 Fax: (416) 593-1501  
 www.butties.com

**Proposed Residential Development**  
 1000 Bloor Street West, Toronto, Ontario M5S 1A5

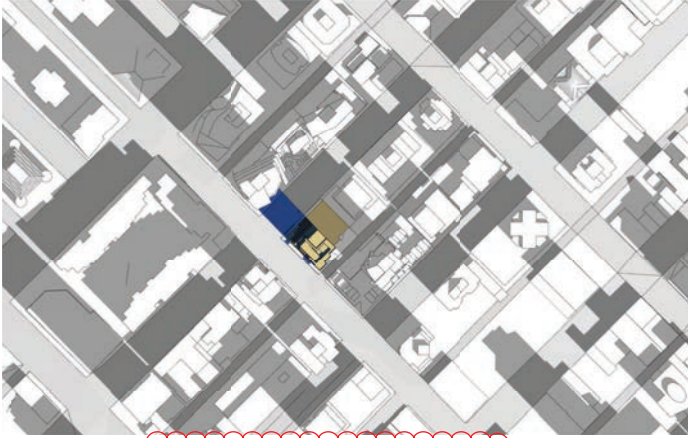
**Wall Financial Corporation**  
 1000 Bloor Street West, Toronto, Ontario M5S 1A5

PROJECT NO.: 2001  
 SCALE: 1/8" = 1'-0"  
 PLOT DATE: 2025-07-04  
 DRAWN BY: JR  
 CHECKED BY: JR

DRAWING #  
**DPa1.03**

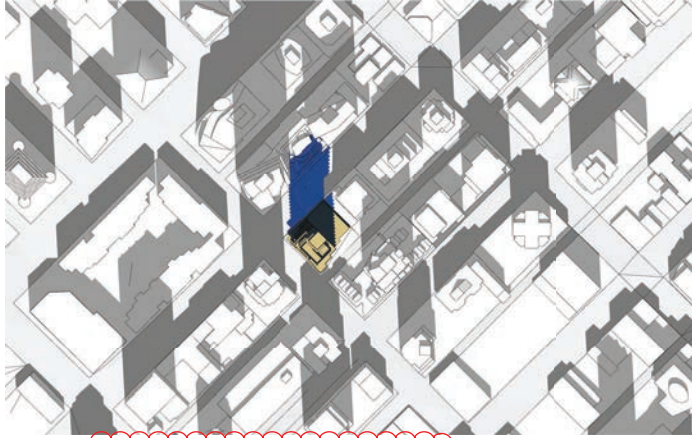
Contact Photos





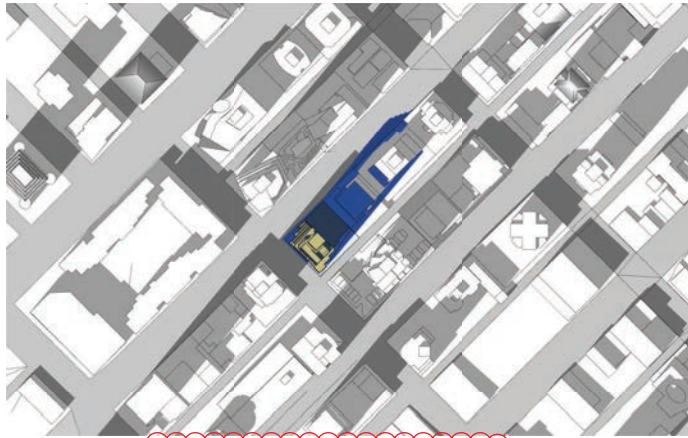
**SPRING EQUINOX SHADOW STUDY - MARCH 21 - 10:00AM**

Pacific Daylight Time (PDT; UTC: -7:00)



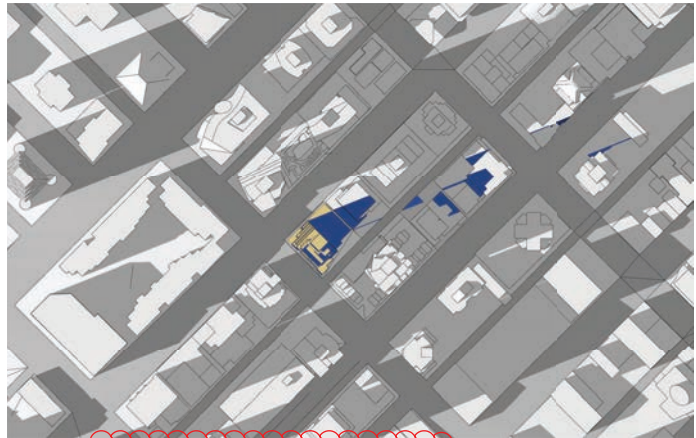
**SPRING EQUINOX SHADOW STUDY - MARCH 21 - 12:00PM**

Pacific Daylight Time (PDT; UTC: -7:00)



**SPRING EQUINOX SHADOW STUDY - MARCH 21 - 2:00PM**

Pacific Daylight Time (PDT; UTC: -7:00)

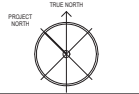


**SPRING EQUINOX SHADOW STUDY - MARCH 21 - 4:00PM**

Pacific Daylight Time (PDT; UTC: -7:00)

RESERVED FOR CITY USE

1	2024-01-11	REVISED FOR REGIONAL RESIDENTIAL DEVELOPMENT STUDY
2	2024-01-11	REVISED FOR REGIONAL RESIDENTIAL DEVELOPMENT STUDY
3	2024-01-11	REVISED FOR REGIONAL RESIDENTIAL DEVELOPMENT STUDY
4	2024-01-11	REVISED FOR REGIONAL RESIDENTIAL DEVELOPMENT STUDY
5	2024-01-11	REVISED FOR REGIONAL RESIDENTIAL DEVELOPMENT STUDY
6	2024-01-11	REVISED FOR REGIONAL RESIDENTIAL DEVELOPMENT STUDY
7	2024-01-11	REVISED FOR REGIONAL RESIDENTIAL DEVELOPMENT STUDY
8	2024-01-11	REVISED FOR REGIONAL RESIDENTIAL DEVELOPMENT STUDY
9	2024-01-11	REVISED FOR REGIONAL RESIDENTIAL DEVELOPMENT STUDY
10	2024-01-11	REVISED FOR REGIONAL RESIDENTIAL DEVELOPMENT STUDY



**Butties Architecture Inc.**  
 Seattle, WA 98101  
 Seattle, WA 98101  
 www.buttiesarchitecture.com  
 2024-01-11  
 2024-01-11

**Proposed Residential Development**  
 800 5th Avenue, Seattle, WA 98101  
 Wall Financial Corporation  
 1000 1st Avenue, Seattle, WA 98101

PROJECT NO.	2001
SCALE	NIS
PLUT DATE	2024-01-11
DRAWN BY	JR
CHECKED BY	-

DRAWING #

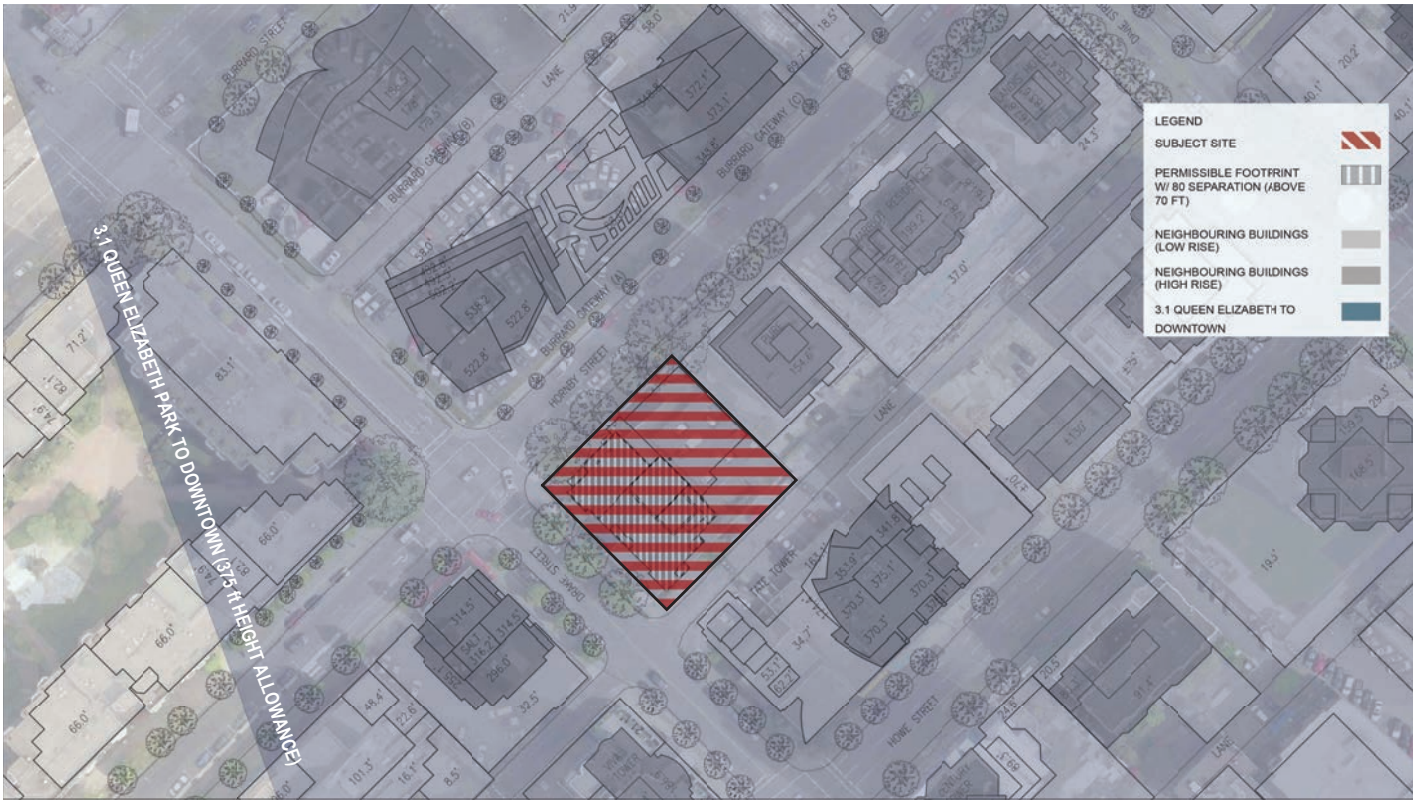
**DPa1.06**

Spring Equinox Shadow Study March 21

2024-01-11 10:38:28 AM







**LEGEND**

- SUBJECT SITE
- PERMISSIBLE FOOTPRINT W/ 80 SEPARATION (ABOVE 70 FT)
- NEIGHBOURING BUILDINGS (LOW RISE)
- NEIGHBOURING BUILDINGS (HIGH RISE)
- 3.1 QUEEN ELIZABETH TO DOWNTOWN

3.1 QUEEN ELIZABETH PARK TO DOWNTOWN (375 FT HEIGHT ALLOWANCE)

The proposed building height is approximately 360'-0" and remains well below the allowable 375 ft height limit for the '3.1 Queen Elizabeth Park to Downtown' View Cone.

2 View Cone Analysis 2  
1" = 32'-0"

RESERVED FOR CITY USE

1	2024-01	REVISED PER REQUEST FOR REVISIONS
1	2023-11	REVISED PER FINAL CONTRACT HOLDING EXPENSE
1	2023-11	REVISED PER FINAL CONTRACT
1	2023-11	REVISED PER REQUEST FOR REVISIONS
1	2023-11	27 LAMINATION
1	2023-11	REVISED PER REQUEST FOR REVISIONS
1	2023-11	REVISED PER REQUEST FOR REVISIONS



**Butties Architecture Inc.**  
 1000-1000-1000  
 Suite 1000  
 1000-1000-1000  
 1000-1000-1000

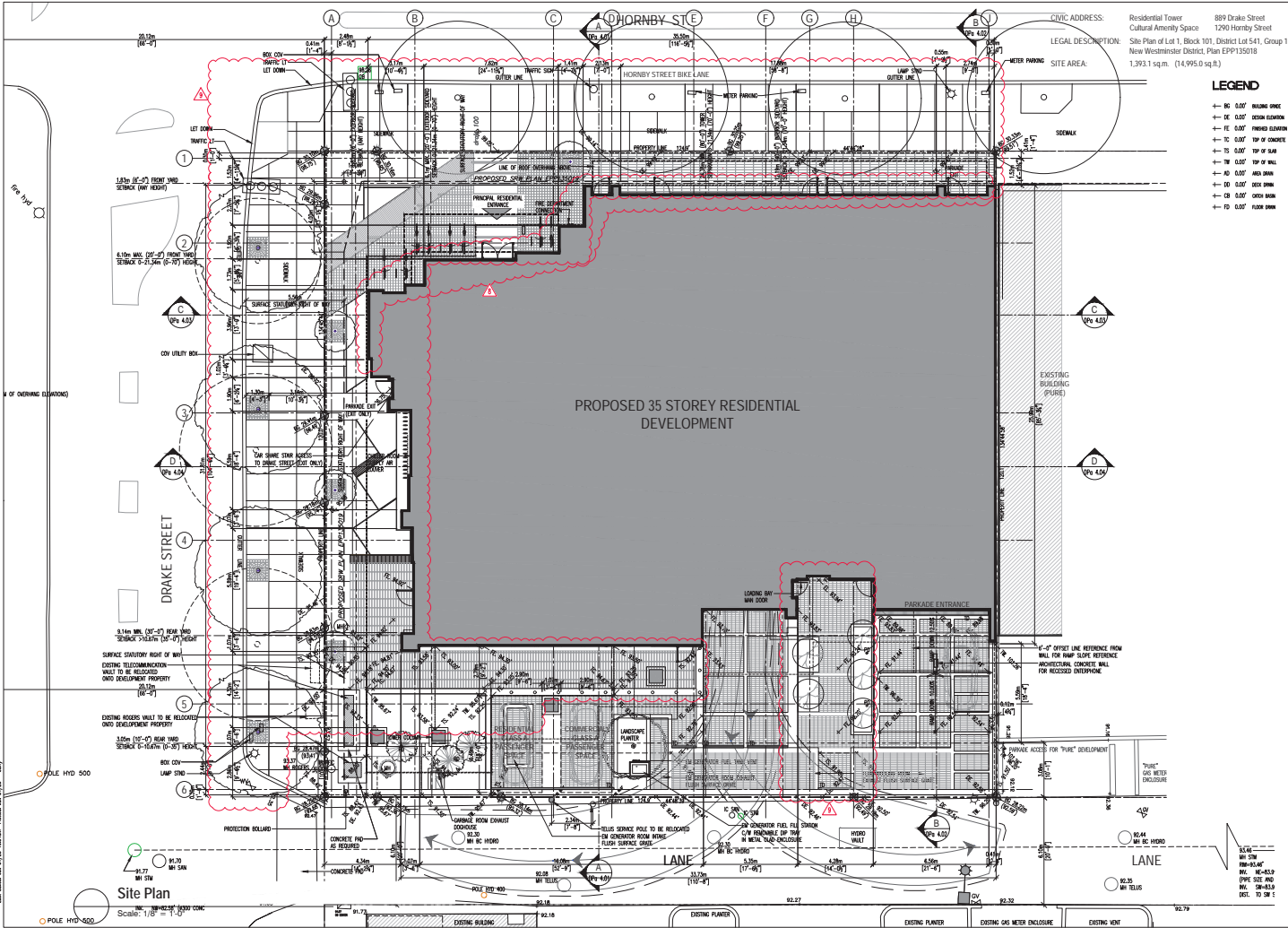
**Proposed Residential Development**  
 1000-1000-1000  
 1000-1000-1000

PROJECT NO.	2001
SCALE	AS NOTED
PLUT DATE	2023-07-04
DRAWN BY	JR
CHECKED BY	

DRAWING #  
**DPa1.16**

View Cone Analysis

2023-07-04 10:08:28 AM



CIVIC ADDRESS: Residential Tower 889 Drake Street  
 Cultural Amenity Space 1290 Hornby Street  
 LEGAL DESCRIPTION: Site Plan of Lot 1, Block 101, District Lot 541, Group 1  
 New Westminster District, Plan EPP135018  
 SITE AREA: 1,393.1 sq.m. (14,995.0 sq.ft.)

- LEGEND**
- +- NO 0.00' FINISH ELEVATION
  - +- DE 0.00' FINISH ELEVATION
  - +- FE 0.00' FINISH ELEVATION
  - +- TS 0.00' TOP OF CONCRETE
  - +- TW 0.00' TOP OF WALL
  - +- AD 0.00' AREA DRAIN
  - +- DD 0.00' DECK DRAIN
  - +- CD 0.00' CURB DRAIN
  - +- FD 0.00' FLOOR DRAIN

REVISIONS FOR CITY USE

NO.	DATE	DESCRIPTION
1	2024-08-07	REVISED PER REGULATORY REQUIREMENTS (PALLETS ONLY)
2	2024-08-08	REVISED PER REGULATORY REQUIREMENTS (PALLETS ONLY)
3	2024-08-08	REVISED PER REGULATORY REQUIREMENTS (PALLETS ONLY)
4	2024-08-08	REVISED PER REGULATORY REQUIREMENTS (PALLETS ONLY)
5	2024-08-08	REVISED PER REGULATORY REQUIREMENTS (PALLETS ONLY)
6	2024-08-08	REVISED PER REGULATORY REQUIREMENTS (PALLETS ONLY)
7	2024-08-08	REVISED PER REGULATORY REQUIREMENTS (PALLETS ONLY)
8	2024-08-08	REVISED PER REGULATORY REQUIREMENTS (PALLETS ONLY)
9	2024-08-08	REVISED PER REGULATORY REQUIREMENTS (PALLETS ONLY)
10	2024-08-08	REVISED PER REGULATORY REQUIREMENTS (PALLETS ONLY)

PROPOSED 35 STOREY RESIDENTIAL DEVELOPMENT

SCALE: 1/8" = 1'-0"

DATE: 2024-08-07

PROJECT NO.: 2024-08-07

DRAWN BY: J. CHEN

CHECKED BY: J. CHEN

**Buttles Architecture Inc.**

1207 West Avenue, Burnaby, BC  
 Telephone: (604) 293-2100  
 Fax: (604) 293-2101  
 Email: info@buttles.com  
 Website: www.buttles.com

Proposed Residential Development  
 889 Drake Street, New Westminster, B.C.

Well Financial Corporation  
 1100 West 4th Street  
 Vancouver, British Columbia, V6C 3K8

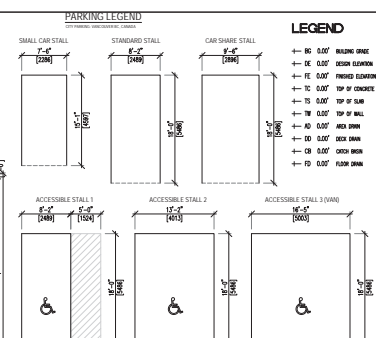
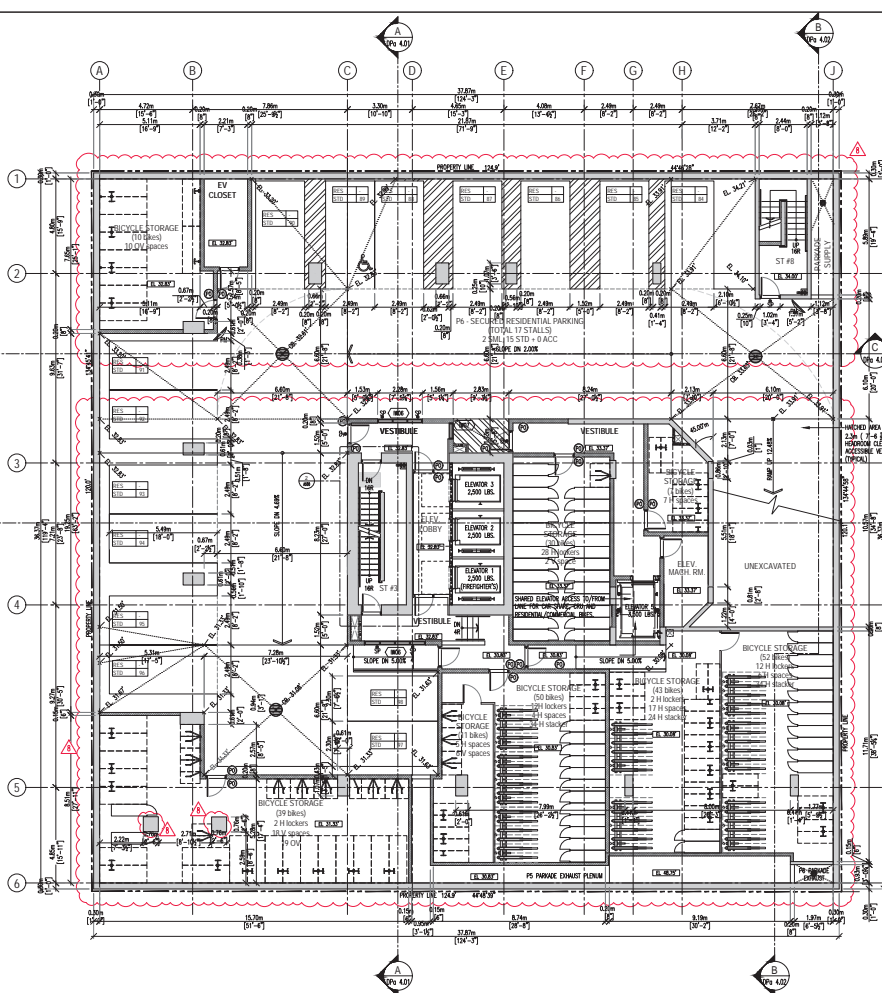
PROJECT NO.: 2024  
 SCALE: 1/8" = 1'-0"  
 DATE: 2024-08-07  
 DRAWN BY: J. CHEN  
 CHECKED BY: J. CHEN

DRAWING #: **DPa1.17**

**SITE PLAN**

Project: P:\Projects\2024-08-07\New Westminster\Residential Tower\Site Plan\DPa1.17.dwg  
 Date: 2024-08-07 10:30 AM  
 Author: J. Chen  
 Plot Date: 2024-08-07 10:30 AM  
 Plot Scale: 1/8" = 1'-0"  
 Plot Size: 11.0" x 17.0"

1. Level P6: Parkade  
 Scale: 1/8" = 1'-0"  
 Project: 2021-01-15  
 Drawing: DP2.00



**LEGEND**

- B- 0.00' BOUND SPACE  
 - C- 0.00' CROWN ELEVATION  
 - FE 0.00' FINISHED ELEVATION  
 - TC 0.00' TOP OF CONCRETE  
 - TS 0.00' TOP OF SLAB  
 - TW 0.00' TOP OF WALL  
 - AD 0.00' AISC DIMS  
 - DD 0.00' DECK DIMS  
 - CD 0.00' CHECK DIMS  
 - FD 0.00' FLOOR DIMS

**LEGEND**

- RES- RESIDENTORIAL  
 - CAG- CLEARANCE AMPLITY SPACE  
 - EV- ELECTRIC VEHICLE  
 - PUL- PASSENGER LOADING  
 - VSP- RESIDENTORIAL VEHICLE PARKING

**GENERAL NOTES:**

- ALL BUILDING DIMENSIONS, SETBACKS AND YARDS ARE TO THE OUTSIDE OF THE CLADDING.
- MECHANICAL EQUIPMENT (DISTRIBUTORS, GENERATORS, COMPRESSORS, AND CONDENSING UNITS) SHALL BE LOCATED AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE NEIGHBORHOOD AND COMPLY WITH NOISE BY-LAW REGULATIONS. THE ACQUISITION MEASURE SHALL BE RECORDED AND THE FINAL DESIGN AND CONSTRUCTION SHOWN ON THE CONSULTANT'S RECOMMENDATIONS.
- ACCURACY AND PRECISION OF ALL DIMENSIONS SHALL BE PROVIDED WITHIN THE RESIDENTORIAL AND NON-RESIDENTORIAL PORTIONS OF THE BUILDING.
- THE DESIGN OF THE PARKING STRUCTURE, INCLUDING THE DESIGN OF THE DECK OF THE BICYCLE STORAGE INCLUDING BICYCLE STORAGE, CONFORMANCE WITH ALL APPLICABLE REGULATIONS SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 9.1 OF THE BUILDING BY-LAW.
- ALL FIRE STORAGE AND FIRE RESISTANCE ROOM ACCESS DOORS TO HAVE FORDOR DOOR OPERATORS. ALL GATES WITH FIRE STORAGE ROOMS TO HAVE FORDOR DOOR OPERATORS.
- CRUSHED ROCK OPERATOR RECOMMENDED WITHIN THE PARKING AREAS. WALLS WILL BE FINISHED WHITE FOR REFLECTIVITY.
- CRUSHED ROCK WILL NOT BE USED RECOMMENDED FOR SAFE ILLUMINATION. SENSOR ACTIVATED.
- CRUSHED ROCK, WHEN ELIMINATED AND GOOD VIBRILITY WITHIN THE PARKING PROVIDED.
- SECURITY KIOSKS SHALL BE PROVIDED AT ELEVATOR LOBBY VESTIBULES, ACCESSIBLE AND EXIT DOORS WITHIN THE PARKING WILL HAVE VISION PANELS FOR VIEW 200% CL&T.
- SECURITY GATE PROVIDED AT RESIDENT PARKING AREA.
- MINIMUM SIZE OF CLASS A BICYCLE SPACES TO BE PROVIDED WITH ELECTRICAL OUTLET.

**LEVEL P6 PARKING SUMMARY**

Category	Count
Standard Stall	13
Small Car Stall	2
Visitor Stall	0
Accessible Stall	0
Car Share Stall	0
Passenger Loading Stall	0
<b>Total Stalls</b>	<b>15</b>
Motorcycle Stall	0
Storage Lockers	0
Bicycle Spaces	242
Class A Horizontal	39 spaces
Class A Horizontal (locker)	56 lockers
Class A Vertical	26
Class A Overhead	21
Class A Slacker	92
Class B Residential	0

**REQUIRED FOR CITY USE**

1. 2021-01-15 - REVIEW FOR REGULATORY (STAMP REQUIRED) (DATE ONLY)  
 2. 2021-01-15 - REVIEW FOR REVIEW AND COMMENT  
 3. 2021-01-15 - REVIEW FOR REVIEW AND COMMENT  
 4. 2021-01-15 - REVIEW FOR REVIEW AND COMMENT  
 5. 2021-01-15 - REVIEW FOR REVIEW AND COMMENT  
 6. 2021-01-15 - REVIEW FOR REVIEW AND COMMENT  
 7. 2021-01-15 - REVIEW FOR REVIEW AND COMMENT  
 8. 2021-01-15 - REVIEW FOR REVIEW AND COMMENT  
 9. 2021-01-15 - REVIEW FOR REVIEW AND COMMENT  
 10. 2021-01-15 - REVIEW FOR REVIEW AND COMMENT

SCALE: 1/8" = 1'-0"  
 DRAWN BY: J. DE LUCA  
 CHECKED BY: J. DE LUCA

**Burries Architecture Inc.**

Burries Architecture Inc.  
 200 Park Avenue, Suite 200  
 Toronto, Ontario M5G 1B4  
 Tel: 416-593-8888  
 Fax: 416-593-8889  
 www.burriesarchitecture.com

**Proposed Residential Development**

888 Dundas St. West, Unit 201  
 Toronto, Ontario M5G 1K5

**PROJECT No.:** 2021-01-15

**SCALE:** 1/8" = 1'-0"

**DATE:** 2021-01-15

**DRAWN BY:** J. DE LUCA

**CHECKED BY:** J. DE LUCA

**DRAWING #:**

**DPa2.00**

Level P6 Parkade

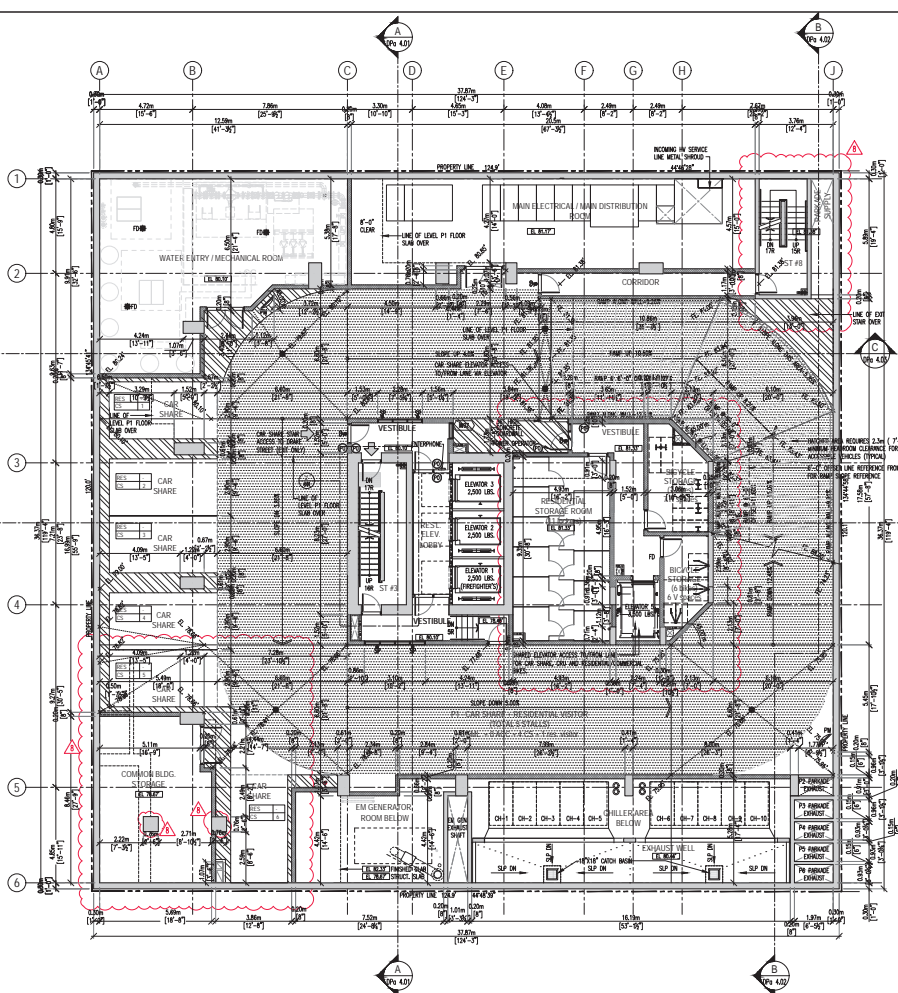




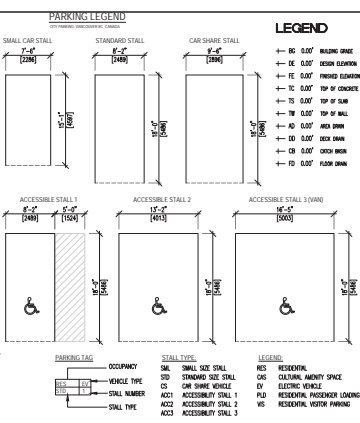




Reference: [1] [2] [3] [4] [5] [6] [7] [8] [9] [10] [11] [12] [13] [14] [15] [16] [17] [18] [19] [20] [21] [22] [23] [24] [25] [26] [27] [28] [29] [30] [31] [32] [33] [34] [35] [36] [37] [38] [39] [40] [41] [42] [43] [44] [45] [46] [47] [48] [49] [50] [51] [52] [53] [54] [55] [56] [57] [58] [59] [60] [61] [62] [63] [64] [65] [66] [67] [68] [69] [70] [71] [72] [73] [74] [75] [76] [77] [78] [79] [80] [81] [82] [83] [84] [85] [86] [87] [88] [89] [90] [91] [92] [93] [94] [95] [96] [97] [98] [99] [100]



**1 Level P1 : Parkade**  
 Scale: 1/8" = 1'-0"



- GENERAL NOTES:**
1. ALL BUILDING DIMENSIONS, SETBACKS AND YARDS ARE TO THE OUTSIDE OF THE CLADDING.
  2. MECHANICAL EQUIPMENT (VENTILATORS, GENERATORS, COMPACTORS, AND CONDENSING UNITS) SHALL BE SCREENED AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE NEIGHBORHOOD AND COMPLY WITH NOISE BY-LAW REGULATIONS. THE ACQUISITION MEASURE SHALL BE RECORDED WITH THE FINAL DESIGN AND CONSTRUCTION BASED ON THE CONSULTANT'S RECOMMENDATIONS.
  3. ACCESS AND EGRESS: THE ACQUISITION MEASURE SHALL BE PROVIDED TO THE DESIGN OF THE PARKING PROVIDED INCLUDING SAFETY AND SECURITY. THERE SHALL BE A MINIMUM OF TWO (2) EXIT FROM EACH PARKING STALL TO THE DESIGN OF THE BICYCLE SPACES INCLUDING BICYCLE RACKS.
  4. CONSTRUCTION MEASURES: MEASUREMENTS INCLUDING SHEET AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 6 OF THE BUILDING BY-LAW.
  5. ALL FIRE STORAGE AND FIRE MAINTENANCE ROOM ACCESS DOORS TO HAVE POWER DOOR OPERATORS. ALL GATES WITH FIRE STORAGE ROOMS TO HAVE POWER DOOR OPERATORS.
  6. OPENED DESIGN MEASURES: ACCORDANCE WITH THE PARKING MEASUREMENTS SHALL BE PROVIDED FOR REFLECTIVITY, SOUNDING LEVELS WILL MEET CODE REQUIREMENTS FOR SAFE ILLUMINATION, SENSOR ACTIVATED.
  7. SECURITY: SECURITY MEASURES INCLUDING ELEVATOR LOBBY VESTIBULES, SECURITY KIOSKS, BARRIERS PROVIDED AT ELEVATOR LOBBY VESTIBULES, SECURITY AND GATE DOORS WITHIN THE PARKADE WILL HAVE VISION PANELS FOR MIN. 20% CLARITY.
  8. SECURITY GATE PROVIDED AT RESIDENT PARKING AREA.
  9. MINIMUM SIZE OF CLASS A BICYCLE SPACES TO BE PROVIDED WITH ELECTRICAL OUTLET.

**LEVEL P1 PARKING SUMMARY**

Standard Stall	0
Small Car Stall	0
Residential Visitor Stall	0
Accessible Stall	0
Car Share Stall	0
Passenger Loading Stall	0
Total Stalls	0
Motorcycle Stall	0
Storage Lockers	0
Bicycle Spaces	0
Class A Nonvertical	0
Class A Nonvertical (lockers)	0
Class A Vertical	0
Class A Horizontal	0
Class A Slacker	0
Class B Residential	0
Class B Commercial	0

REVISIONS FOR CITY USE  
 1. [REVISION]  
 2. [REVISION]  
 3. [REVISION]  
 4. [REVISION]  
 5. [REVISION]  
 6. [REVISION]  
 7. [REVISION]  
 8. [REVISION]  
 9. [REVISION]  
 10. [REVISION]

**LEGEND**  
 BS 0.00' BUSHING SPACE  
 DE 0.00' DECK ELEVATION  
 FE 0.00' FINISHED ELEVATION  
 TC 0.00' TOP OF CONCRETE  
 TS 0.00' TOP OF SLAB  
 TP 0.00' TOP OF PAINT  
 TD 0.00' TOP OF DECK  
 CS 0.00' CHECK DAM  
 FD 0.00' FLOOR FINISH

**PARKING TAG**  
 OCCUPANCY  
 VEHICLE TYPE  
 STALL NUMBER  
 STALL TYPE

**LEGEND**  
 RES RESIDENTIAL  
 CGS CLEARANCE AMENITY SPACE  
 EV ELECTRIC VEHICLE  
 PUL PASSENGER LOADING  
 VS RESIDENTIAL VISITOR PARKING

**GENERAL NOTES:**  
 1. ALL BUILDING DIMENSIONS, SETBACKS AND YARDS ARE TO THE OUTSIDE OF THE CLADDING.  
 2. MECHANICAL EQUIPMENT (VENTILATORS, GENERATORS, COMPACTORS, AND CONDENSING UNITS) SHALL BE SCREENED AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE NEIGHBORHOOD AND COMPLY WITH NOISE BY-LAW REGULATIONS. THE ACQUISITION MEASURE SHALL BE RECORDED WITH THE FINAL DESIGN AND CONSTRUCTION BASED ON THE CONSULTANT'S RECOMMENDATIONS.  
 3. ACCESS AND EGRESS: THE ACQUISITION MEASURE SHALL BE PROVIDED TO THE DESIGN OF THE PARKING PROVIDED INCLUDING SAFETY AND SECURITY. THERE SHALL BE A MINIMUM OF TWO (2) EXIT FROM EACH PARKING STALL TO THE DESIGN OF THE BICYCLE SPACES INCLUDING BICYCLE RACKS.  
 4. CONSTRUCTION MEASURES: MEASUREMENTS INCLUDING SHEET AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 6 OF THE BUILDING BY-LAW.  
 5. ALL FIRE STORAGE AND FIRE MAINTENANCE ROOM ACCESS DOORS TO HAVE POWER DOOR OPERATORS. ALL GATES WITH FIRE STORAGE ROOMS TO HAVE POWER DOOR OPERATORS.  
 6. OPENED DESIGN MEASURES: ACCORDANCE WITH THE PARKING MEASUREMENTS SHALL BE PROVIDED FOR REFLECTIVITY, SOUNDING LEVELS WILL MEET CODE REQUIREMENTS FOR SAFE ILLUMINATION, SENSOR ACTIVATED.  
 7. SECURITY: SECURITY MEASURES INCLUDING ELEVATOR LOBBY VESTIBULES, SECURITY KIOSKS, BARRIERS PROVIDED AT ELEVATOR LOBBY VESTIBULES, SECURITY AND GATE DOORS WITHIN THE PARKADE WILL HAVE VISION PANELS FOR MIN. 20% CLARITY.  
 8. SECURITY GATE PROVIDED AT RESIDENT PARKING AREA.  
 9. MINIMUM SIZE OF CLASS A BICYCLE SPACES TO BE PROVIDED WITH ELECTRICAL OUTLET.

**LEVEL P1 PARKING SUMMARY**  

Standard Stall	0
Small Car Stall	0
Residential Visitor Stall	0
Accessible Stall	0
Car Share Stall	0
Passenger Loading Stall	0
Total Stalls	0
Motorcycle Stall	0
Storage Lockers	0
Bicycle Spaces	0
Class A Nonvertical	0
Class A Nonvertical (lockers)	0
Class A Vertical	0
Class A Horizontal	0
Class A Slacker	0
Class B Residential	0
Class B Commercial	0

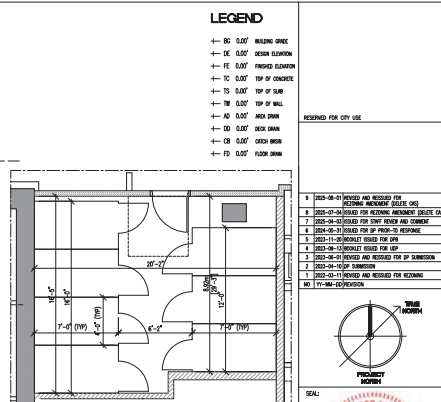
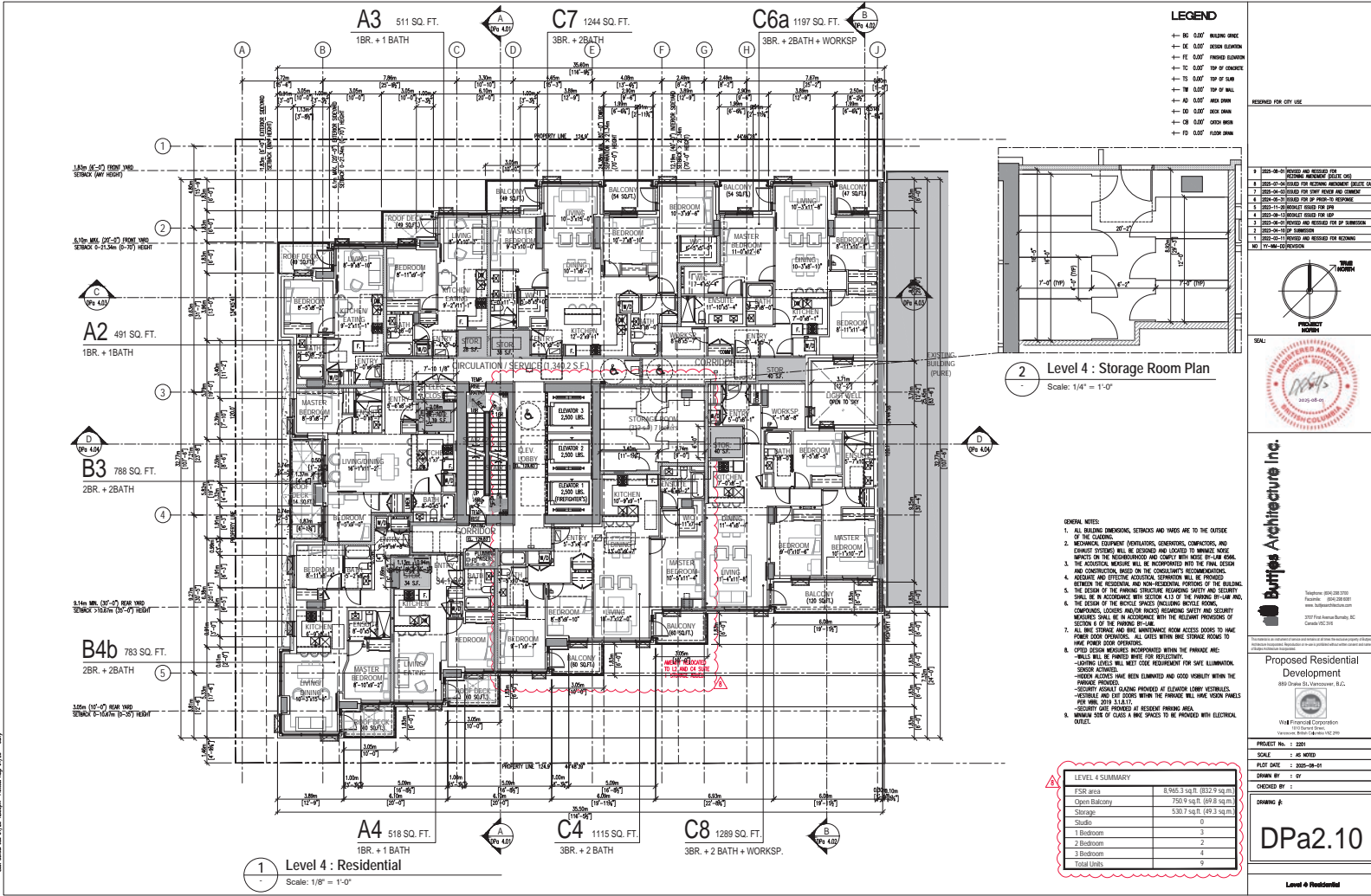
**Proposed Residential Development**  
 888 Devon Ave., Vancouver, B.C.  
 Will Financial Corporation  
 PROJECT No. : 2021  
 SHEET : 2 OF 10  
 PLOT DATE : 2022-08-01  
 DRAWN BY : PC, LC  
 CHECKED BY :  
 DRAWING #: **DPa2.05**  
 Level P1 Parkade











- LEGEND**
- ++ 0.00' FINISH SPACE
  - ++ 0.00' DECK ELEVATION
  - ++ FE 0.00' FINISH ELEVATION
  - ++ TC 0.00' TOP OF CONCRETE
  - ++ TS 0.00' TOP OF SLAB
  - ++ TW 0.00' TOP OF WALL
  - ++ AD 0.00' AREA DRAIN
  - ++ DD 0.00' DECK DRAIN
  - ++ CB 0.00' CHECK BEAM
  - ++ FB 0.00' FLOOR BEAM
- GENERAL NOTES:**
1. ALL FINISH DIMENSIONAL NETWORKS AND VEHES ARE TO THE OUTSIDE OF THE CURB.
  2. MECHANICAL EQUIPMENT FURNITURES, GENERATORS, COMPRESSORS, AND EXHAUST SYSTEMS WILL BE DESIGNED AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE RESIDENCE AND CHASEY WITH VIBRATION ISOLATION.
  3. THE ACQUISITION MEASURES WILL BE INCORPORATED INTO THE FINAL DESIGN AND CONSTRUCTION BASED ON THE CONSULTANT'S RECOMMENDATIONS.
  4. ACCURATE AND EFFECTIVE ACQUISITION SEPARATION WILL BE PROVIDED BETWEEN THE RESIDENCE AND NON-RESIDENTIAL PORTIONS OF THE BUILDING.
  5. THE DESIGN OF THE FINISH STRUCTURE REGARDING SAFETY AND SECURITY SHALL BE IN ACCORDANCE WITH SECTION 4.1.1 OF THE PARALLEL BY-LAW AND COMPASSION ACCESSIBILITY ACT.
  6. THE DESIGN OF THE BUILDING SPACES (INCLUDING BICYCLE ROOMS, COMPASSION ACCESSIBLE BATHS) REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 4.1.2 OF THE PARALLEL BY-LAW.
  7. ALL THE LIVING AND THE UNFINISHED ROOM ACCESS SHALL HAVE POWER DOOR OR OVERDOOR. ALL GATES WITH BULK STORAGE ROAD TO HAVE POWER DOOR OVERDOOR.
  8. OPENED DESIGN MEASURES INCORPORATED WITHIN THE FINISHED AREA:
    - WALLS WILL BE FINISH BUILT FOR RESISTIVITY.
    - LEADING EDGES WILL MEET CODE REQUIREMENT FOR SAFE ILLUMINATION.
    - SMOKE ALARMS WILL BE ELIMINATED AND GOOD VISIBILITY WHEN THE PARKING PROVIDED.
    - SMOKE ALARMS HAVE BEEN ELIMINATED AND GOOD VISIBILITY WHEN THE PARKING PROVIDED.
    - SECURITY AGAINST GLAZING PROVIDED AT ELEVATION LOBBY VESTIBULES.
    - ACCESSIBLE AND ONE GOOD NEIGHBOR PARKING WILL HAVE VISION PANELS PER NBC 2019 3.14.17.
    - SECURITY CASE PROVIDED AT RESIDENT PARKING AREA.
    - MINIMUM SIZE OF CLASS A BULK SPACES TO BE PROVIDED WITH ELECTRICAL OUTLET.

**LEVEL 4 SUMMARY**

FSR area	8,965.3 sq.ft. (822.9 sq.m.)
Open Balcony	750.9 sq.ft. (69.8 sq.m.)
Storage	530.7 sq.ft. (49.3 sq.m.)
Stalls	0
1 Bedroom	3
2 Bedroom	2
3 Bedroom	4
Total Units	9

**1 Level 4 - Residential**  
Scale: 1/8" = 1'-0"

**Proposed Residential Development**  
189 Dundas St. W., Toronto, ON M5G 1L7

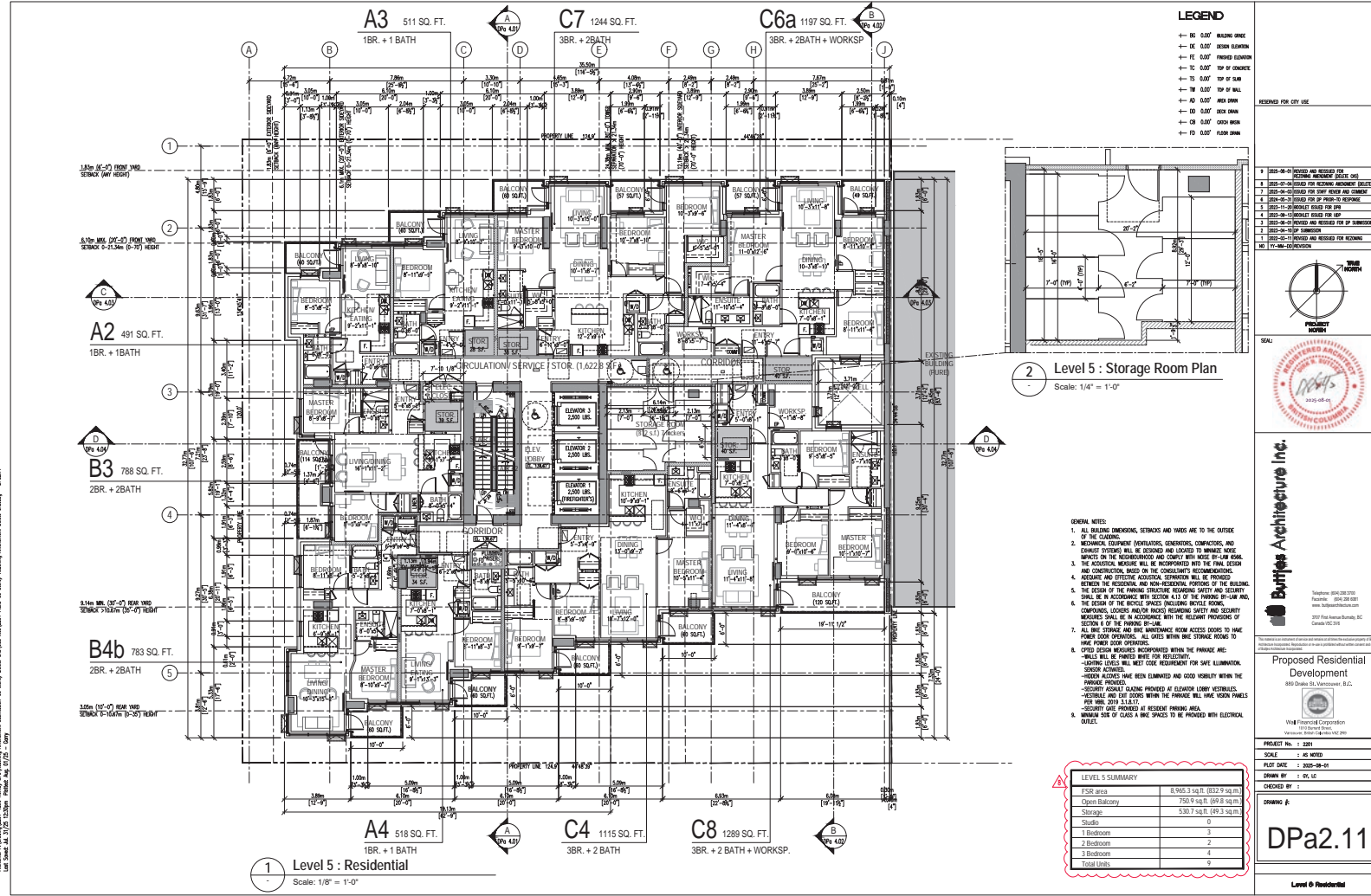
Will Ferrell Corporation  
189 Dundas St. W., Toronto, ON M5G 1L7

**PROJECT No. :** 2021  
**SCALE :** AS NOTED  
**DATE :** 2022-08-01  
**DRAWN BY :** RF  
**CHECKED BY :**

**DPa2.10**

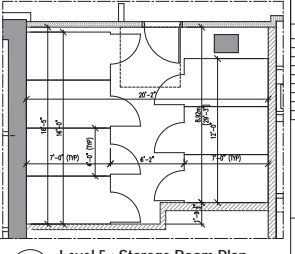
**Level 4 Residential**

Project: 189 Dundas St. W. - Proposed Residential Development - Submittal - 2022-08-01 (1/2) - Level 4 Residential - DPa2.10  
 Author: RF  
 Designer: RF  
 Checker: RF  
 Date: 2022-08-01



**LEGEND**

- 00 0.00" FINISH FLOOR
- 01 0.00" FINISH FLOOR
- 02 0.00" FINISH FLOOR
- 03 0.00" FINISH FLOOR
- 04 0.00" FINISH FLOOR
- 05 0.00" FINISH FLOOR
- 06 0.00" FINISH FLOOR
- 07 0.00" FINISH FLOOR
- 08 0.00" FINISH FLOOR
- 09 0.00" FINISH FLOOR
- 10 0.00" FINISH FLOOR
- 11 0.00" FINISH FLOOR
- 12 0.00" FINISH FLOOR
- 13 0.00" FINISH FLOOR
- 14 0.00" FINISH FLOOR
- 15 0.00" FINISH FLOOR
- 16 0.00" FINISH FLOOR
- 17 0.00" FINISH FLOOR
- 18 0.00" FINISH FLOOR
- 19 0.00" FINISH FLOOR
- 20 0.00" FINISH FLOOR
- 21 0.00" FINISH FLOOR
- 22 0.00" FINISH FLOOR
- 23 0.00" FINISH FLOOR
- 24 0.00" FINISH FLOOR
- 25 0.00" FINISH FLOOR
- 26 0.00" FINISH FLOOR
- 27 0.00" FINISH FLOOR
- 28 0.00" FINISH FLOOR
- 29 0.00" FINISH FLOOR
- 30 0.00" FINISH FLOOR
- 31 0.00" FINISH FLOOR
- 32 0.00" FINISH FLOOR
- 33 0.00" FINISH FLOOR
- 34 0.00" FINISH FLOOR
- 35 0.00" FINISH FLOOR
- 36 0.00" FINISH FLOOR
- 37 0.00" FINISH FLOOR
- 38 0.00" FINISH FLOOR
- 39 0.00" FINISH FLOOR
- 40 0.00" FINISH FLOOR
- 41 0.00" FINISH FLOOR
- 42 0.00" FINISH FLOOR
- 43 0.00" FINISH FLOOR
- 44 0.00" FINISH FLOOR
- 45 0.00" FINISH FLOOR
- 46 0.00" FINISH FLOOR
- 47 0.00" FINISH FLOOR
- 48 0.00" FINISH FLOOR
- 49 0.00" FINISH FLOOR
- 50 0.00" FINISH FLOOR



- GENERAL NOTES:**
1. ALL FINISH DIMENSIONS, NETWORKS AND VEHICLES ARE TO THE OUTSIDE OF THE CURBLINE.
  2. MECHANICAL EQUIPMENT (HANGERS, GENERATORS, COMPRESSORS, AND EXHAUST SYSTEMS) WILL BE DESIGNED AND LOCATED TO MINIMIZE NOISE IMPACTS TO THE NEIGHBORHOOD AND CONFORM WITH CODES OF LAW AND ALL APPLICABLE REGULATIONS.
  3. THE ACCURACY OF THE MEASUREMENTS AND DIMENSIONS SHOWN ON THIS PLAN IS SUBJECT TO THE ACCURACY OF THE FIELD SURVEY AND CONSTRUCTION. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DISCREPANCIES BETWEEN THE MEASUREMENTS AND DIMENSIONS SHOWN ON THIS PLAN AND THE ACTUAL CONSTRUCTION.
  4. ACCURATE AND EFFECTIVE ACCESSIBILITY SEPARATORS WILL BE PROVIDED BETWEEN THE RESIDENTIAL AND NON-RESIDENTIAL PORTIONS OF THE BUILDING.
  5. THE DESIGN OF THE FINISH STRUCTURE REGARDING SAFETY AND SECURITY SHALL BE IN ACCORDANCE WITH SECTION 4.1.1 OF THE PARADES BY-LAW AND COMPASSION ACCESSIBILITY ACT.
  6. THE DESIGN OF THE FINISH STRUCTURE REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 4.1 OF THE PARADES BY-LAW AND COMPASSION ACCESSIBILITY ACT.
  7. ALL FIRE EXITS AND THE UNFINISHED ROOM ACCESS SHALL HAVE POWER DOOR OPERATORS. ALL GATES WITH BULK STORAGE ROOMS TO HAVE POWER DOOR OPERATORS.
  8. OPENED DESIGN MEASURES INCORPORATED WITHIN THE FINISH ARE:
    - WALLS WILL BE FINISHED WITH FINISH MATERIAL.
    - LIGHTING LEVELS WILL MEET CODE REQUIREMENT FOR SAFE ILLUMINATION.
    - SMOKE EXHAUST SYSTEMS WILL BE PROVIDED FOR ALL AREAS.
    - SMOKE EXHAUST SYSTEMS WILL BE PROVIDED FOR ALL AREAS.
    - SMOKE EXHAUST SYSTEMS WILL BE PROVIDED FOR ALL AREAS.
  9. ALL FIRE EXITS AND THE UNFINISHED ROOM ACCESS SHALL HAVE POWER DOOR OPERATORS. ALL GATES WITH BULK STORAGE ROOMS TO HAVE POWER DOOR OPERATORS.

**LEVEL 5 SUMMARY**

FSR Area	8,965.3 sq.ft. (822.9 sq.m.)
Open Balcony	750.9 sq.ft. (69.8 sq.m.)
Storage	530.7 sq.ft. (49.3 sq.m.)
Stairs	0
1 Bedroom	3
2 Bedroom	2
3 Bedroom	4
Total Units	9

**PROPOSED RESIDENTIAL DEVELOPMENT**

180 Dundas St. West, Toronto, ON M5G 1C8

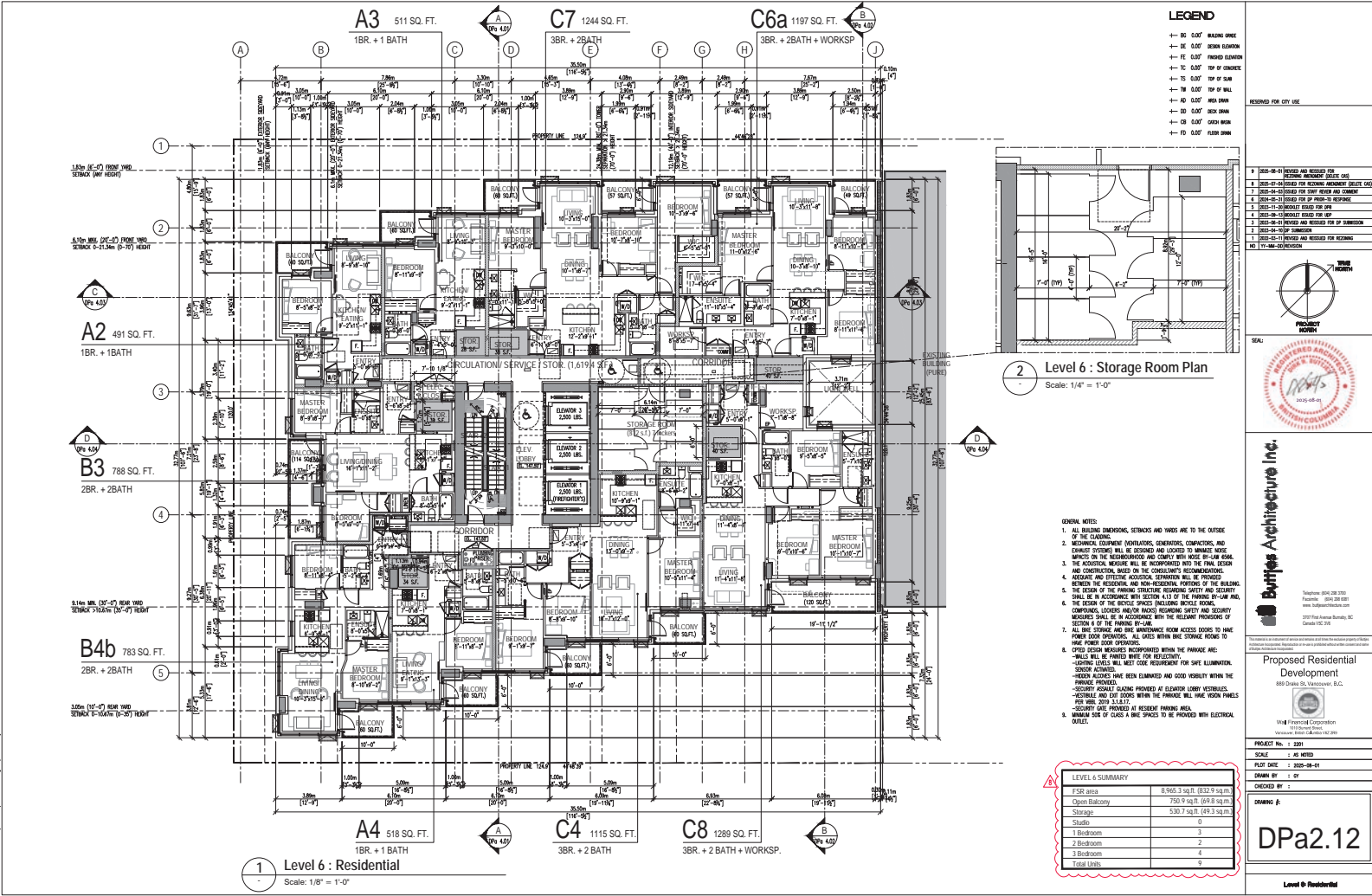
**Burris Architecture Inc.**  
Burris Architecture Inc.  
180 Dundas St. West, Toronto, ON M5G 1C8  
Tel: 416-593-8888  
www.burrisarchitecture.com

**Proposed Residential Development**  
180 Dundas St. West, Toronto, ON M5G 1C8

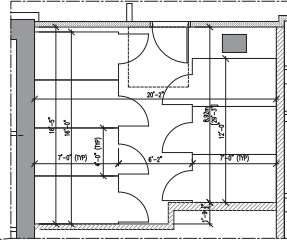
**Level 5 Residential**

**DPa2.11**

**Level 5 Residential**



- ### LEGEND
- == 0.00' FINISH GRADE
  - == 0.00' FINISH GRADE
  - == 0.00' FINISH GRADE
  - == 0.00' TOP OF CONCRETE
  - == 0.00' TOP OF SLAB
  - == 0.00' TOP OF WALL
  - == 0.00' MECH. FLOOR
  - == 0.00' DECK SLAB
  - == 0.00' CHECK MARK
  - == 0.00' FLOOR MARK



- ### GENERAL NOTES:
1. ALL BUILDING DIMENSIONAL NETWORKS AND VEHICLES ARE TO THE OUTSIDE OF THE CURBLINE.
  2. MECHANICAL EQUIPMENT, EXHAUSTERS, CONDENSATES, AND EXHAUST SYSTEMS WILL BE DESIGNED AND LOCATED TO MINIMIZE NOISE IMPACTS TO THE RESIDENCE AND EXHAUST SYSTEMS WILL BE INCORPORATED INTO THE FINAL DESIGN AND CONSTRUCTION BASED ON THE CONSULTANT'S RECOMMENDATIONS.
  3. ACCURATE AND EFFICIENT ACCESSION SEPARATION WILL BE PROVIDED BETWEEN THE RESIDENCE AND NON-RESIDENTIAL PORTIONS OF THE BUILDING.
  4. THE DESIGN OF THE FINISHING STRUCTURE REGARDING SAFETY AND SECURITY SHALL BE IN ACCORDANCE WITH SECTION 4.1.1 OF THE PARADE 2014-15 AND COMPLIANCE SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 4.1.2 OF THE PARADE 2014-15.
  5. ALL EXISTING AND NEW UNFINISHED ROOM ACCESS DOORS TO HAVE POWER DOOR OPERATORS. ALL GATES WITHIN BLUE STORAGE ROOMS TO HAVE POWER DOOR OPERATORS.
  6. OPENED DESIGN MEASURES INCORPORATED WITHIN THE PARADE ARE:
    - WALLS WILL BE FINISH WHITE FOR REFLECTIVITY.
    - LIGHTING LEVELS WILL MEET CODE REQUIREMENT FOR SAFE ILLUMINATION, STREET LIGHTING.
    - REDDIE ALUMINUM HAS BEEN ELIMINATED AND GOOD VISIBILITY WHEN THE PARADE IS OPENED.
    - SECURITY AGAINST CLIMBING PROVIDED AT ELEVATOR LOBBY VESTIBULES.
    - ACCESSIBLE AND SAFE DOORS WITHIN THE PARKING WILL HAVE VISION PANELS PER WMA 2009 3.14.17.
    - SECURITY GATE PROVIDED AT RESIDENT PARKING AREA.
  7. MINIMUM SIZE OF CLASS A BIKES SPACES TO BE PROVIDED WITH ELECTRICAL OUTLET.

LEVEL 6 SUMMARY	
FSR Area	8,965.3 sq.ft. (822.9 sq.m)
Open Balcony	750.9 sq.ft. (69.8 sq.m)
Storage	530.7 sq.ft. (49.3 sq.m)
Stalls	0
1 Bedroom	3
2 Bedroom	2
3 Bedroom	4
Total Units	9

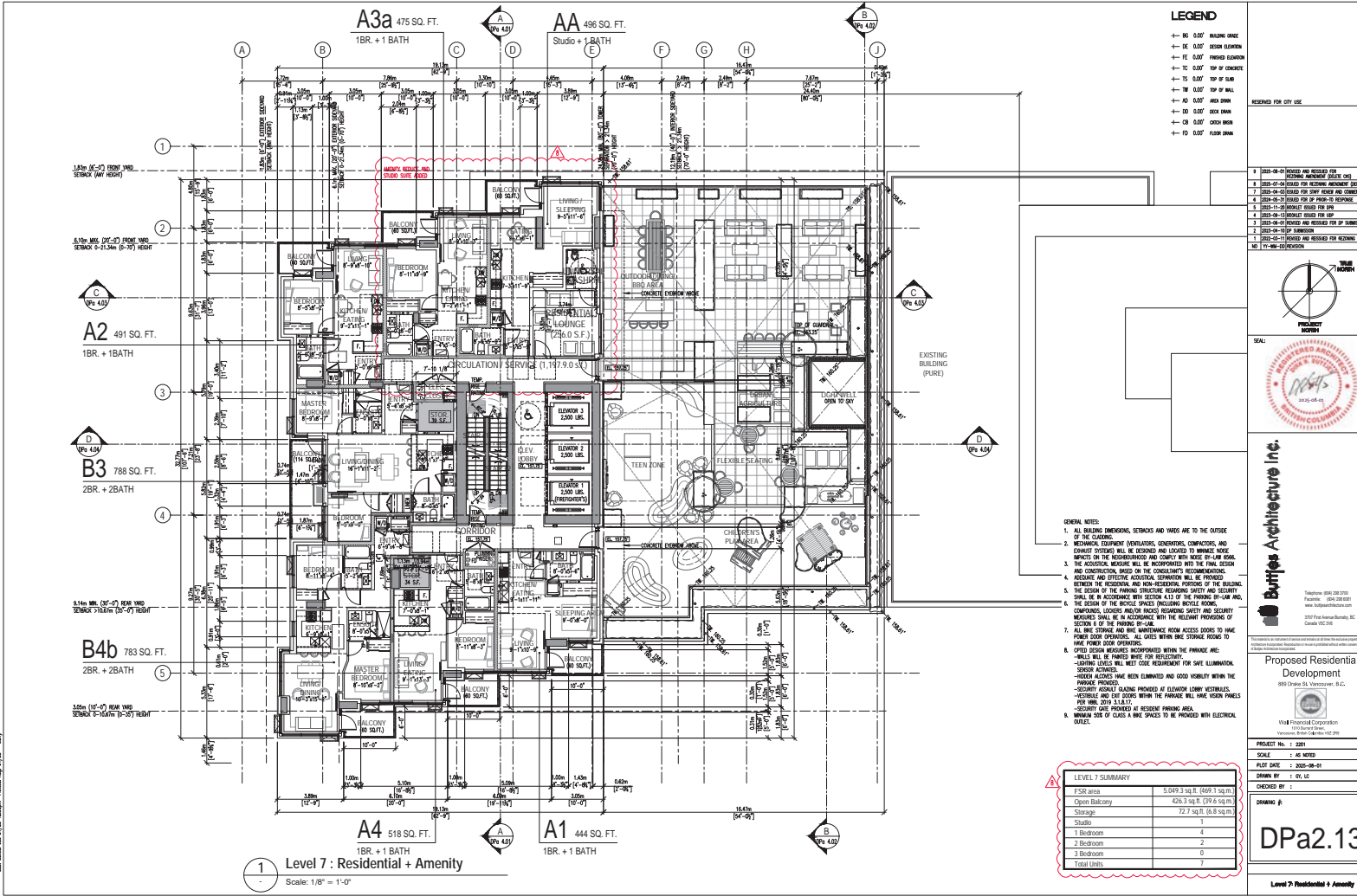
- ### REVISIONS FOR CITY USE
- | NO. | DATE       | DESCRIPTION                   |
|-----|------------|-------------------------------|
| 1   | 2023-08-10 | ISSUED FOR REVIEW FOR PERMITS |
| 2   | 2023-08-10 | ISSUED FOR REVIEW FOR PERMITS |
| 3   | 2023-08-10 | ISSUED FOR REVIEW FOR PERMITS |
| 4   | 2023-08-10 | ISSUED FOR REVIEW FOR PERMITS |
| 5   | 2023-08-10 | ISSUED FOR REVIEW FOR PERMITS |
| 6   | 2023-08-10 | ISSUED FOR REVIEW FOR PERMITS |
| 7   | 2023-08-10 | ISSUED FOR REVIEW FOR PERMITS |
| 8   | 2023-08-10 | ISSUED FOR REVIEW FOR PERMITS |
| 9   | 2023-08-10 | ISSUED FOR REVIEW FOR PERMITS |
| 10  | 2023-08-10 | ISSUED FOR REVIEW FOR PERMITS |



**Burton Architecture Inc.**  
 1000 West 10th Street  
 Vancouver, BC V6H 2B6  
 Telephone: 604.281.2322  
 Fax: 604.281.2323  
 www.burtonarchitecture.com  
 2023 West 10th Street, BC  
 Canada V6H 2B6

**Proposed Residential Development**  
 500 Dunsmuir Street, Vancouver, BC  
 Unit 500-1000 Dunsmuir Street  
 Vancouver, BC V6H 2B6

PROJECT No.: 2201  
 SHEET: 2 OF 20  
 PLOT DATE: 2023-08-10  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
**DPa2.12**  
 Level 6 Residential



**LEGEND**

- +- 0.00' FINISH GRADE
- +- 0.00' DECK ELEVATION
- +- FE 0.00' FINISHED ELEVATION
- +- TC 0.00' TOP OF CONCRETE
- +- TS 0.00' TOP OF SLAB
- +- TW 0.00' TOP OF WALL
- +- AD 0.00' AHD FINISH
- +- DD 0.00' DECK FINISH
- +- CB 0.00' CROWN FINISH
- +- FD 0.00' FLOOR FINISH

**REVISIONS FOR CITY USE**

1	2023-08-08	REVISED FOR PRELIMINARY PERMITS
2	2023-08-08	REVISED FOR PRELIMINARY PERMITS
3	2023-08-08	REVISED FOR PRELIMINARY PERMITS
4	2023-08-08	REVISED FOR PRELIMINARY PERMITS
5	2023-08-08	REVISED FOR PRELIMINARY PERMITS
6	2023-08-08	REVISED FOR PRELIMINARY PERMITS
7	2023-08-08	REVISED FOR PRELIMINARY PERMITS
8	2023-08-08	REVISED FOR PRELIMINARY PERMITS
9	2023-08-08	REVISED FOR PRELIMINARY PERMITS
10	2023-08-08	REVISED FOR PRELIMINARY PERMITS



SCALE: 1/8" = 1'-0"



**Bartlett Architecture Inc.**  
 1000 West 10th Street  
 Vancouver, BC V6H 2M6  
 Tel: 604.278.2222  
 Fax: 604.278.2221  
 www.bartlettarch.com

- GENERAL NOTES:**
- ALL FINISH DIMENSIONAL SETTINGS AND VIEWS ARE TO THE OUTSIDE OF THE CURB.
  - Mechanical Equipment (Ventilators, Generators, Compressors, and Exhaust Devices) will be designed and located to minimize noise impacts on the neighborhood and comply with noise by-law. Final location and construction details to be coordinated with the relevant authorities.
  - Accurate and effective acoustic separation will be provided between the residential and non-residential portions of the building.
  - The design of the parking structure regarding safety and security shall be in accordance with Section 4.13 of the Parking By-law and the design of the bicycle spaces (including bicycle racks, lockers, showers and lockers) shall be in accordance with the relevant provisions of Section 4.15 of the Parking By-law.
  - All fire, smoke and fire extinguishing room access doors to have power door closers. All cases with bike storage racks to have power door closers.
  - Open design measures incorporated within the parking area:  
 - Walls will be painted white for reflectivity.  
 - Lighting levels will meet code requirement for safe illumination.  
 - Severe shadows will be eliminated and good visibility within the parking provided.  
 - Security glassed openings at elevation lobby vestibules.  
 - Accessible and clear egress from the parking will have vision panels per NBC 2019 3.14.17.  
 - Security gates provided at resident parking area.  
 - Minimum size of class A bike spaces to be provided with electrical outlets.

**LEVEL 7 SUMMARY**

FSR area	5,049.3 sq.ft. (469.1 sq.m)
Open Balcony	426.3 sq.ft. (39.6 sq.m)
Storage	72.7 sq.ft. (6.8 sq.m)
Studio	1
1 Bedroom	4
2 Bedroom	2
3 Bedroom	0
Total Units	7

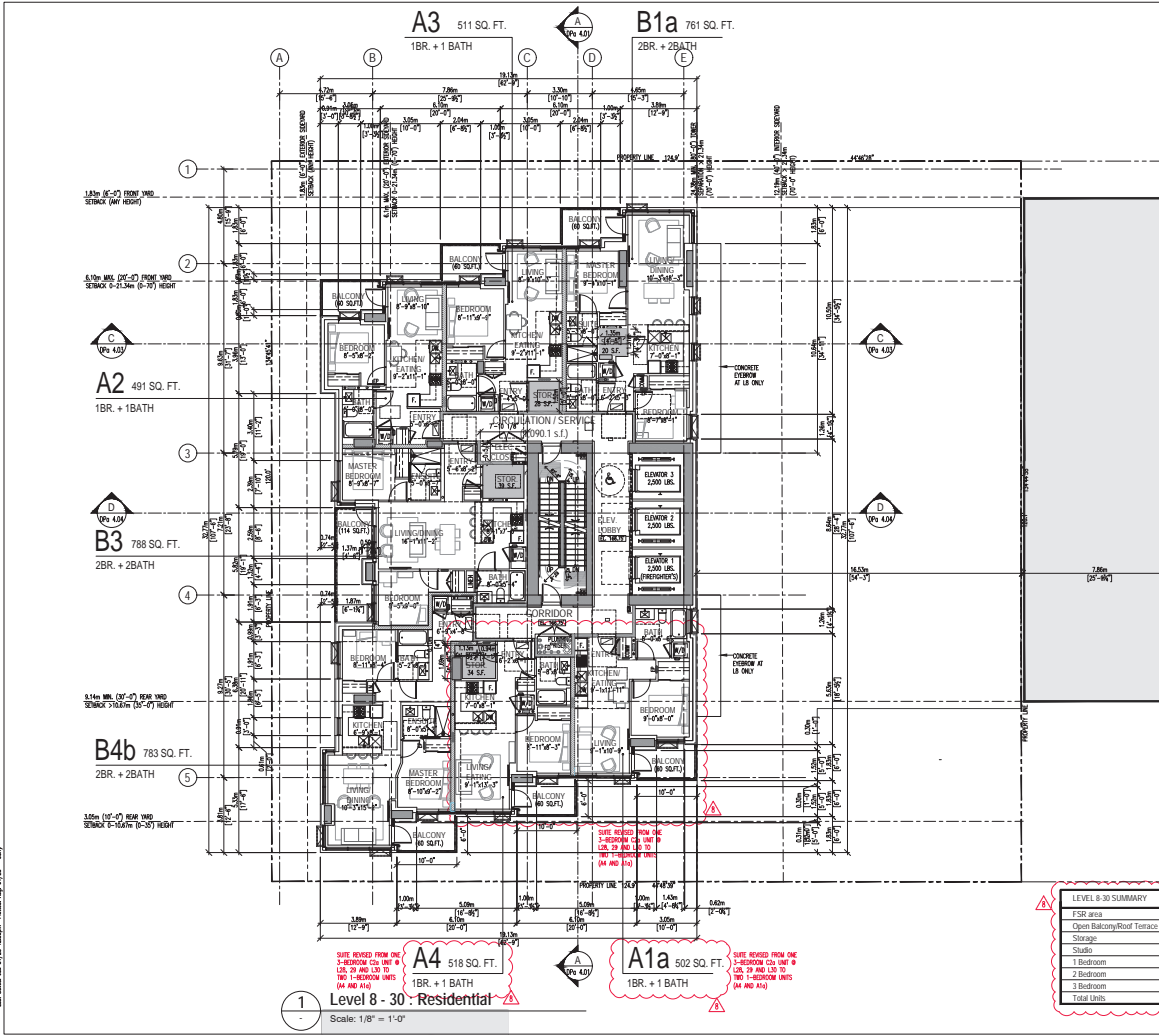
**Level 7: Residential + Amenity**  
 Scale: 1/8" = 1'-0"

**Proposed Residential Development**  
 555 West 10th Street, Vancouver, BC  
 1000 West 10th Street  
 Vancouver, BC V6H 2M6  
 Tel: 604.278.2222  
 Fax: 604.278.2221  
 www.bartlettarch.com

PROJECT No.: 2023  
 SCALE: 1/8" = 1'-0"  
 DATE: 2023-08-08  
 DRAWN BY: P. L. C.  
 CHECKED BY:

**DPa2.13**

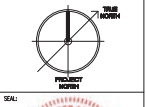
Level 7: Residential + Amenity



- LEGEND**
- ++ 0.00' FINISH GRADE
  - ++ 0.00' DECK ELEVATION
  - ++ 0.00' FINISHED CONCRETE
  - ++ 0.00' TOP OF CONCRETE
  - ++ 0.00' TOP OF SLAB
  - ++ 0.00' FINISH FLOOR
  - ++ 0.00' DECK FINISH
  - ++ 0.00' DECK DECK
  - ++ 0.00' FLOOR FINISH

REQUIRED FOR CITY USE

1	2024-08-01	REVISED FOR PERMITTED FOR
2	2024-08-01	REVISED FOR PERMITTED FOR
3	2024-08-01	REVISED FOR PERMITTED FOR
4	2024-08-01	REVISED FOR PERMITTED FOR
5	2024-08-01	REVISED FOR PERMITTED FOR
6	2024-08-01	REVISED FOR PERMITTED FOR
7	2024-08-01	REVISED FOR PERMITTED FOR
8	2024-08-01	REVISED FOR PERMITTED FOR
9	2024-08-01	REVISED FOR PERMITTED FOR
10	2024-08-01	REVISED FOR PERMITTED FOR



**Burles Architecture Inc.**

1000 Park Avenue, Suite 100  
Raleigh, NC 27601  
Phone: 919.286.8888  
www.burlesarchitecture.com

- GENERAL NOTES:**
- ALL BUILDING DIMENSIONAL SETTINGS AND VIEWS ARE TO THE OUTSIDE OF THE CURBLINE.
  - Mechanical Equipment (Ventilators, Generators, Compressors, and Exhaust Systems) shall be designed and located to minimize noise impacts on the neighborhood and comply with local noise regulations. The location of such equipment shall be incorporated into the final design and construction, based on the consultant's recommendations.
  - Accurate and effective acoustic separation will be provided between the residential and non-residential portions of the building.
  - The design of the parking structure regarding safety and security shall be in accordance with Section 4.11 of the Planning By-Law and the design of the bicycle spaces (including bicycle racks, compartments, lockers and bicycle storage) shall be in accordance with the relevant provisions of Section 4.12 of the Planning By-Law.
  - All fire, life, and egress and fire alarm systems shall have power door closers. All doors within fire storage rooms shall have power door closers.
  - Open fire alarm systems shall be provided in accordance with the fire code.
  - Security measures shall be provided in accordance with the fire code.
  - Security measures shall be provided in accordance with the fire code.
  - Security measures shall be provided in accordance with the fire code.
  - Security measures shall be provided in accordance with the fire code.

**LEVEL 8-30 SUMMARY**

Item	Area (sq. ft.)	Area (sq. m.)	Total Area (sq. ft.)	Total Area (sq. m.)
FSR area	5,238.8	486.7	5,238.8	486.7
Open Balcony/Roof Terrace	426.3	39.6	426.3	39.6
Storage	124.6	11.6	124.6	11.6
Stairs	0	0	0	0
1 Bedroom	4	0.4	4	0.4
2 Bedroom	3	0.3	3	0.3
3 Bedroom	0	0	0	0
Total Units	7	0.7	7	0.7

**A4** 518 SQ. FT.  
1BR. + 1 BATH  
Level 8 - 30 : Residential

**A1a** 502 SQ. FT.  
1BR. + 1 BATH

**Proposed Residential Development**

1000 Park Avenue, Suite 100  
Raleigh, NC 27601

Project No.: 2024

Scale: 1/8" = 1'-0"

Date: 2024-08-01

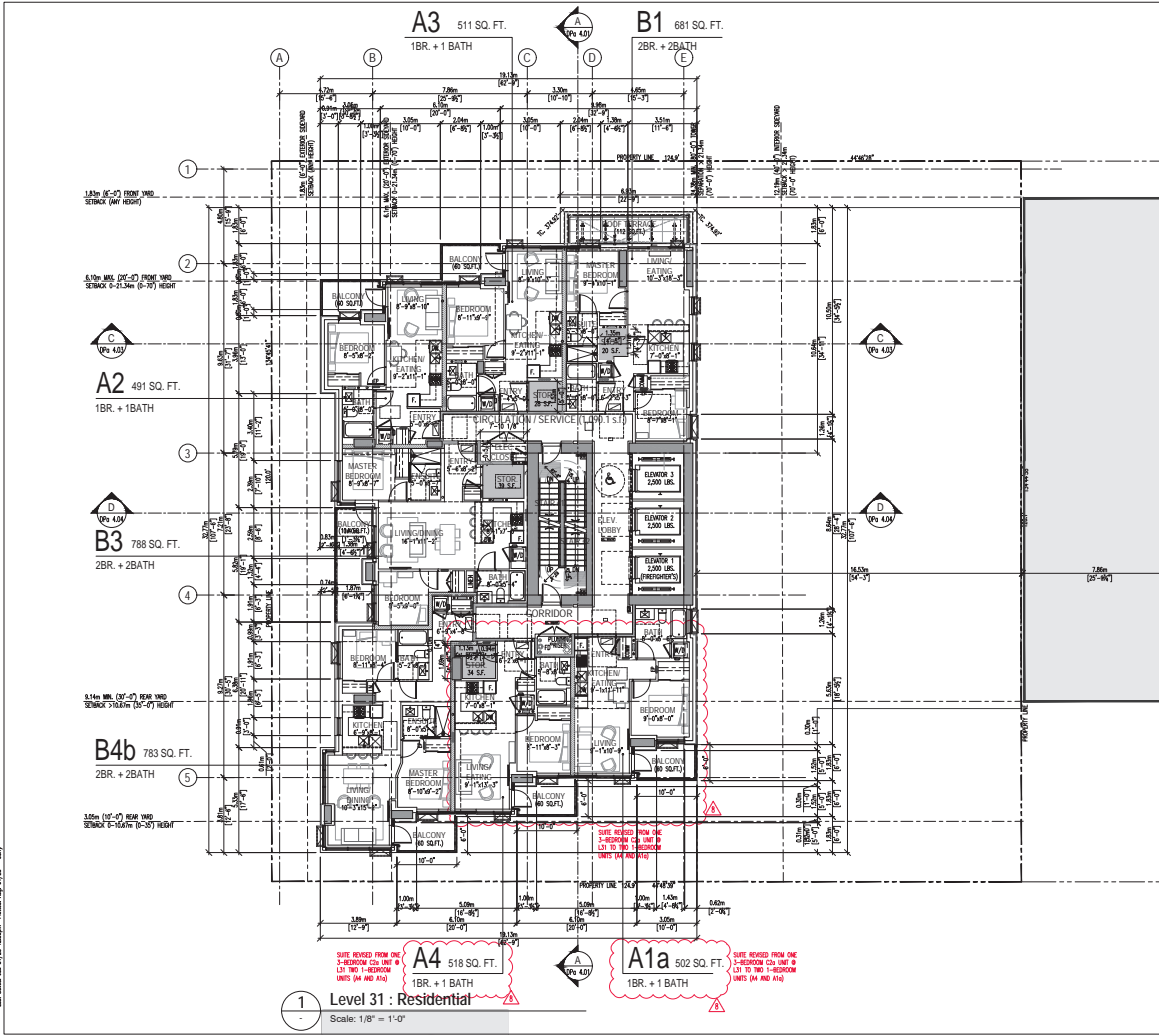
Drawn by: J.S.

Checked by: J.S.

**DPa2.14**

Level 8 - 30 Residential

Project: 2024-08-01  
 Drawing: DPa2.14  
 Title: Level 8 - 30 Residential  
 Date: 2024-08-01  
 Author: J.S.  
 Checker: J.S.  
 Scale: 1/8" = 1'-0"



**LEGEND**

- 0.00' FINISH GRADE
- 0.00' DECK ELEVATION
- 0.00' FINISHED ELEVATION
- 0.00' TOP OF CONCRETE
- 0.00' TOP OF SLAB
- 0.00' TOP OF WALL
- 0.00' HANG DOWN
- 0.00' DECK DOWN
- 0.00' DECK UP
- 0.00' FLOOR DOWN

REQUIRED FOR CITY USE

1	2024-04-01	REVISED FOR RESIDENTIAL
2	2024-04-01	REVISED FOR RESIDENTIAL (SHEET ONE)
3	2024-04-01	REVISED FOR CITY REVIEW AND COMMENT
4	2024-04-01	REVISED FOR CITY REVIEW RESPONSE
5	2024-04-01	REVISED FOR CITY REVIEW RESPONSE
6	2024-04-01	REVISED FOR CITY REVIEW RESPONSE
7	2024-04-01	REVISED FOR CITY REVIEW RESPONSE
8	2024-04-01	REVISED FOR CITY REVIEW RESPONSE
9	2024-04-01	REVISED FOR CITY REVIEW RESPONSE
10	2024-04-01	REVISED FOR CITY REVIEW RESPONSE



**Barry Architecture Inc.**

Registered Professional Architect  
 1000 West Beaver Creek Road, Suite 100  
 Richmond Hill, Ontario L4B 1P2  
 Tel: (905) 882-2200  
 Fax: (905) 882-2201  
 www.barryarchitecture.com

**Proposed Residential Development**

1000 West Beaver Creek Road, Suite 100  
 Richmond Hill, Ontario L4B 1P2

PROJECT No.: 2024  
 SCALE: AS SHOWN  
 DATE: 2024-04-01  
 DRAWN BY: [Signature]  
 CHECKED BY: [Signature]

**DPa2.15**

- GENERAL NOTES:**
- ALL BUILDING DIMENSIONAL NETWORKS AND VEHICLES ARE TO THE OUTSIDE OF THE CURBLINE.
  - Mechanical Equipment (Ventilators, Generators, Compressors, and Exhaust Systems) shall be designed and located to minimize noise impacts on the neighborhood and comply with applicable noise regulations. Mechanical equipment shall be incorporated into the final design and construction, based on the consultant's recommendations.
  - Appropriate and effective acoustic separation will be provided between the residential and non-residential portions of the building.
  - The design of the parking structure regarding safety and security shall be in accordance with Section 4.1.1 of the Parking By-Law and the design of the bicycle spaces (including bicycle racks, compressors, lockers and bicycle storage) regarding safety and security measures shall be in accordance with the relevant provisions of Section 4.1.2 of the Parking By-Law.
  - All fire, life, and safety measures shall be in accordance with the relevant provisions of the Fire Code, Ontario Regulation 697/04, and the Ontario Building Code, 1997, 2019, 2019.1, 2019.2, and 2019.3.
  - Security measures shall be in accordance with the relevant provisions of the Fire Code, Ontario Regulation 697/04, and the Ontario Building Code, 1997, 2019, 2019.1, 2019.2, and 2019.3.
  - Security measures shall be in accordance with the relevant provisions of the Fire Code, Ontario Regulation 697/04, and the Ontario Building Code, 1997, 2019, 2019.1, 2019.2, and 2019.3.
  - Security measures shall be in accordance with the relevant provisions of the Fire Code, Ontario Regulation 697/04, and the Ontario Building Code, 1997, 2019, 2019.1, 2019.2, and 2019.3.
  - Security measures shall be in accordance with the relevant provisions of the Fire Code, Ontario Regulation 697/04, and the Ontario Building Code, 1997, 2019, 2019.1, 2019.2, and 2019.3.

**LEVEL 31 SUMMARY**

FSR area	5,166.3 sq. ft. (479.9 sq. m)
Open Balcony	504.7 sq. ft. (46.9 sq. m)
Storage	124.6 sq. ft. (11.6 sq. m)
Stairs	0
1 Bedroom	4
2 Bedroom	3
3 Bedroom	0
TOTAL UNITS	7

Scale: 1/8" = 1'-0"

Level 31: Residential

A4 518 SQ. FT. 1BR. + 1 BATH

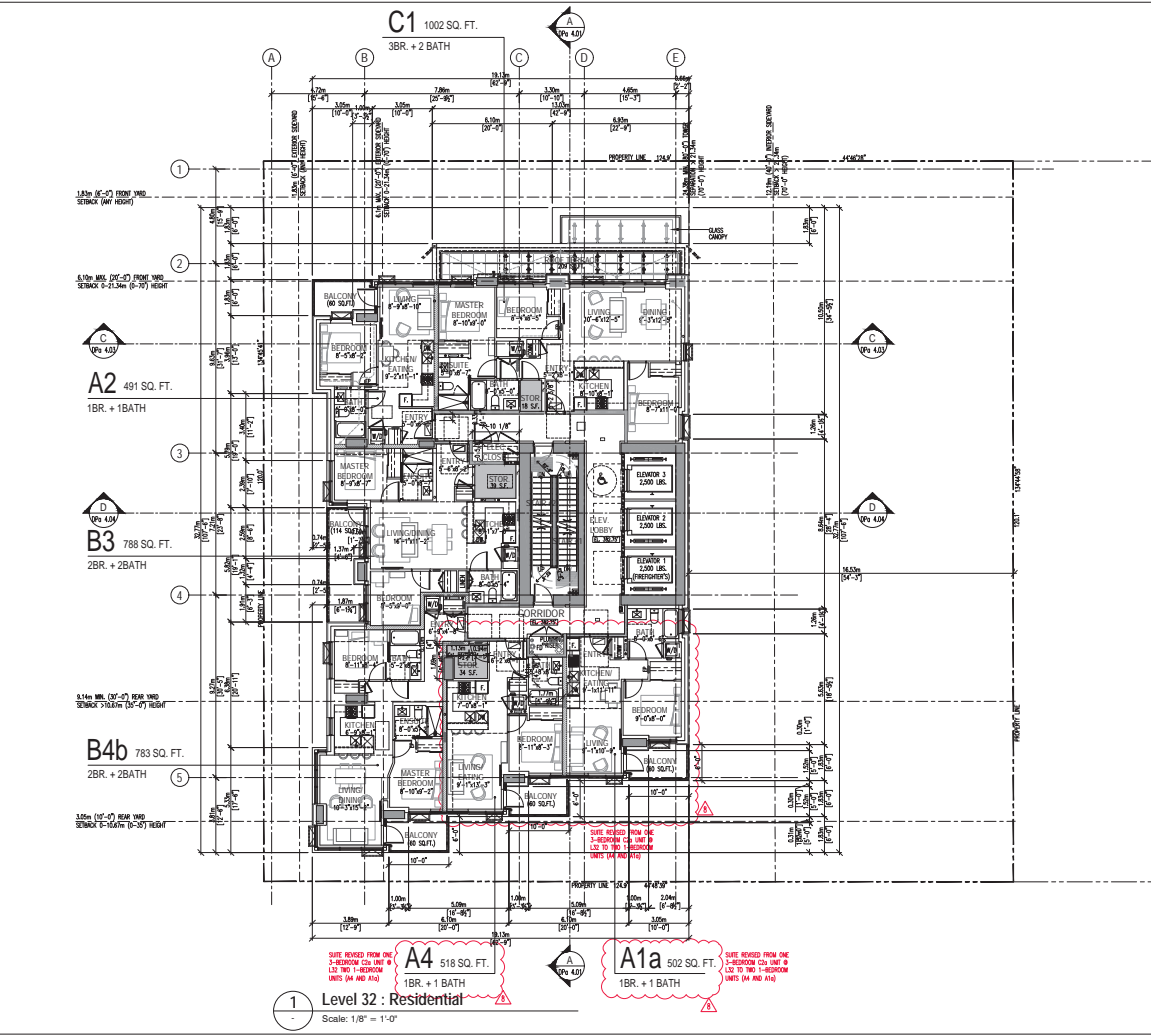
A1a 502 SQ. FT. 1BR. + 1 BATH

A3 511 SQ. FT. 1BR. + 1 BATH

A2 491 SQ. FT. 1BR. + 1 BATH

B3 788 SQ. FT. 2BR. + 2 BATH

B4b 783 SQ. FT. 2BR. + 2 BATH



**LEGEND**

- +- 00' 0.00" FINISH GRADE
- +- 01' 0.00" DECK ELEVATION
- +- 02' 0.00" FINISHED ELEVATION
- +- 03' 0.00" TOP OF CONCRETE
- +- 04' 0.00" TOP OF SLAB
- +- 05' 0.00" HAZ. DRAIN
- +- 06' 0.00" DECK DRAIN
- +- 07' 0.00" DECK DRAIN
- +- 08' 0.00" DECK DRAIN
- +- 09' 0.00" FLOOR DRAIN

- RESERVED FOR CITY USE
- 1. 2024-01-15: REVISED PER RESOLUTION FOR SETBACK REQUIREMENT (SEE CITY)
  - 2. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 3. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 4. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 5. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 6. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 7. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 8. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 9. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 10. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 11. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 12. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 13. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 14. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 15. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 16. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 17. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 18. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 19. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)
  - 20. 2024-01-15: REVISED PER SETBACK REQUIREMENT (SEE CITY)



**Barliff Architecture Inc.**

1000 West 10th Street  
 Vancouver, BC V6H 2Y6  
 Tel: 604.681.1111  
 www.barliffarchitecture.com

Proposed Residential Development  
 5500 West 10th Street, Vancouver, BC  
 V6H 2Y6

Project No.: 2024  
 Scale: 1/8" = 1'-0"  
 Date: 2024-01-15  
 Drawn by: JF  
 Checked by: JF

- GENERAL NOTES:**
- ALL BUILDING DIMENSIONAL NETWORKS AND VEHICLES ARE TO THE OUTSIDE OF THE CURBLINE.
  - Mechanical Equipment (Ventilators, Generators, Compressors, and Exhaust Systems) will be designed and located to minimize noise impacts on the neighborhood and comply with noise by-law requirements.
  - The architectural measures will be incorporated into the final design and construction, based on the consultant's recommendations.
  - Appropriate and effective acoustic separation will be provided between the residential and non-residential portions of the building.
  - The design of the parking structure regarding safety and security shall be in accordance with Section 4.1.1 of the Parking By-Law and the design of the bicycle spaces (including bicycle racks, compartments, lockers and lockers) regarding safety and security measures shall be in accordance with the relevant provisions of Section 4.1.2 of the Parking By-Law.
  - All fire, life, and safety measures shall be in accordance with the relevant provisions of the Fire Code, BC Building Code, and the relevant provisions of the Fire Code, BC Building Code, and the relevant provisions of the Fire Code, BC Building Code.
  - Open design measures incorporated within the parking area shall be in accordance with the relevant provisions of the Fire Code, BC Building Code, and the relevant provisions of the Fire Code, BC Building Code.
  - Security measures shall be in accordance with the relevant provisions of the Fire Code, BC Building Code, and the relevant provisions of the Fire Code, BC Building Code.
  - Security measures shall be in accordance with the relevant provisions of the Fire Code, BC Building Code, and the relevant provisions of the Fire Code, BC Building Code.
  - Security measures shall be in accordance with the relevant provisions of the Fire Code, BC Building Code, and the relevant provisions of the Fire Code, BC Building Code.

**LEVEL 32 SUMMARY**

FSR area	3,099.7 sq.ft. (285.4 sq.m.)
Open Balcony	565.6 sq.ft. (52.5 sq.m.)
Storage	91.1 sq.ft. (8.5 sq.m.)
Stalls	0
1 Bedroom	3
2 Bedroom	2
3 Bedroom	1
TOTAL UNITS	6

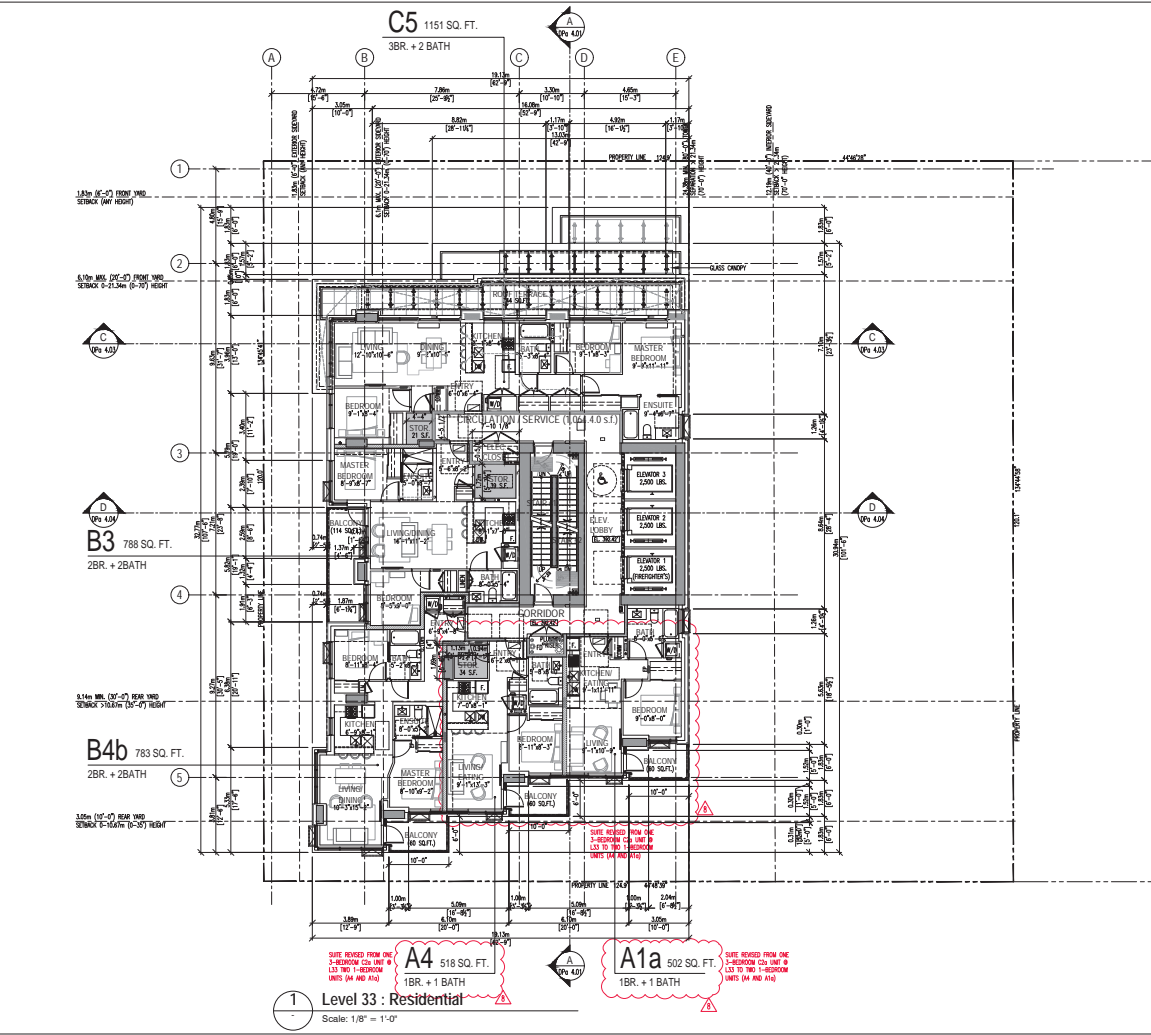
**A4** 518 SQ. FT.  
1BR + 1 BATH

**A1a** 502 SQ. FT.  
1BR + 1 BATH

**Level 32 : Residential**  
Scale: 1/8" = 1'-0"

**DPa2.16**

Level 32 Residential

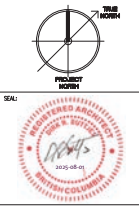


**LEGEND**

- + B0 0.00' FINISH GRADE
- + B1 0.00' DECK ELEVATION
- + B2 0.00' FINISHED ELEVATION
- + B3 0.00' TOP OF CONCRETE
- + B4 0.00' TOP OF SLAB
- + B5 0.00' TOP OF WALL
- + B6 0.00' HANG DOWN
- + B7 0.00' DECK DOWN
- + B8 0.00' CROCK DOWN
- + B9 0.00' FLOOR DOWN

REVISIONS FOR CITY USE

1	2024-08-01	ISSUED FOR REVIEW FOR PERMITS
2	2024-08-01	ISSUED FOR REVIEW FOR PERMITS
3	2024-08-01	ISSUED FOR REVIEW FOR PERMITS
4	2024-08-01	ISSUED FOR REVIEW FOR PERMITS
5	2024-08-01	ISSUED FOR REVIEW FOR PERMITS
6	2024-08-01	ISSUED FOR REVIEW FOR PERMITS
7	2024-08-01	ISSUED FOR REVIEW FOR PERMITS
8	2024-08-01	ISSUED FOR REVIEW FOR PERMITS
9	2024-08-01	ISSUED FOR REVIEW FOR PERMITS
10	2024-08-01	ISSUED FOR REVIEW FOR PERMITS



**Burries Architecture Inc.**

Professional Seal: Burries Architecture Inc., 2019, Professional Architect.

Address: 2107 Maclean Avenue, BC, Canada V6C 2G8  
 Telephone: (604) 283-2202  
 Fax: (604) 283-2201  
 Website: www.burriesarchitecture.com

- GENERAL NOTES:**
- ALL BUILDING DIMENSIONAL SETTINGS AND VIEWS ARE TO THE OUTSIDE OF THE CURBLINE.
  - Mechanical Equipment (Refrigerators, Generators, Compressors, and Exhaust Systems) will be designed and located to minimize noise impacts on the neighborhood and comply with noise by-law requirements.
  - The location of mechanical equipment will be incorporated into the final design and construction, based on the consultant's recommendations.
  - Appropriate and effective acoustic separation will be provided between the residential and non-residential portions of the building.
  - The design of the parking structure regarding safety and security shall be in accordance with Section 4.1.1 of the Parking By-Law and the design of the bicycle spaces (including bicycle racks, compartments, lockers and racks) regarding safety and security measures shall be in accordance with the relevant provisions of Section 4.1.2 of the Parking By-Law.
  - All fire, life, and safety measures shall be provided in accordance with the relevant provisions of the Fire Code, the Building Code, and the Fire Protection Act, R.S.O. 1990, Chapter F.1.1.
  - Security measures shall be provided in accordance with the relevant provisions of the Fire Code, the Building Code, and the Fire Protection Act, R.S.O. 1990, Chapter F.1.1.
  - Open design measures incorporated within the parking area shall be in accordance with the relevant provisions of the Fire Code, the Building Code, and the Fire Protection Act, R.S.O. 1990, Chapter F.1.1.
  - Security measures shall be provided in accordance with the relevant provisions of the Fire Code, the Building Code, and the Fire Protection Act, R.S.O. 1990, Chapter F.1.1.

**LEVEL 33 SUMMARY**

FSR area	4,662.9 sq.ft. (433.2 sq.m.)
Open Balcony	652.7 sq.ft. (60.1 sq.m.)
Storage	93.5 sq.ft. (8.7 sq.m.)
Stair	0
1 Bedroom	2
2 Bedroom	2
3 Bedroom	1
TOTAL UNITS	5

**Proposed Residential Development**

1800 Dundas St. W., Toronto, ON, M6J 1B5

Project No.: 2024

Scale: 1/8" = 1'-0"

Plot Date: 2024-08-01

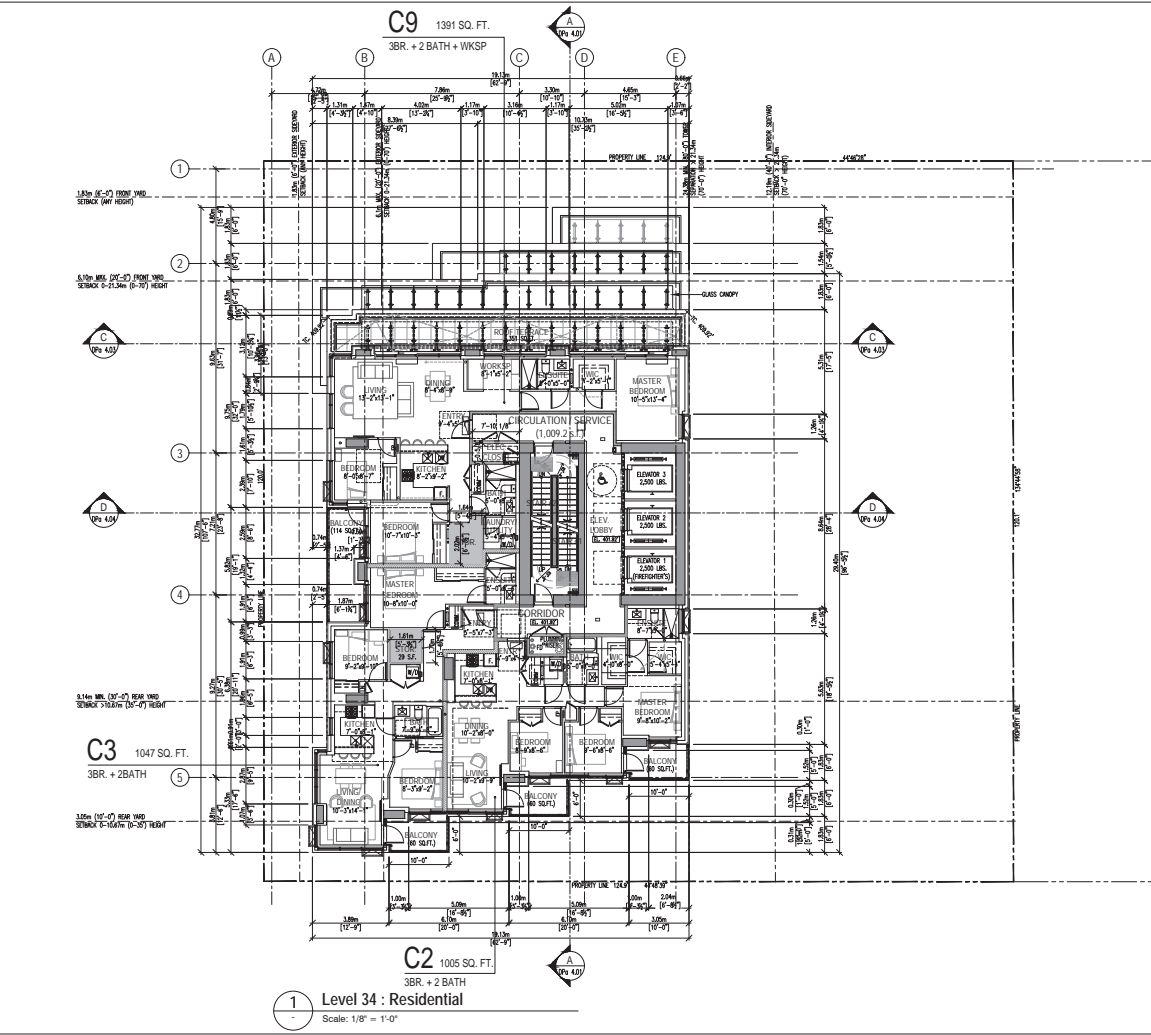
Drawn By: P. C. L.

Checked By:

**DPa2.17**

Level 33 Residential

Reference: [Illegible text]  
 Date: 2024-08-01  
 Project: 2024-08-01



**LEGEND**

- ++ 0.00' FINISH FLOOR
- ++ 0.00' FINISH CEILING
- ++ 0.00' FINISH EXTERIOR
- ++ 0.00' TOP OF CONCRETE
- ++ 0.00' TOP OF SLAB
- ++ 0.00' TOP OF WALL
- ++ 0.00' MECH. FLOOR
- ++ 0.00' DECK FLOOR
- ++ 0.00' CHECK MEAS.
- ++ 0.00' FLOOR FINISH

RESERVED FOR CITY USE

- 1. 2024-08-01 REVIEW FOR RESUBMIT FOR PERMITS (REVISED SHEET 001)
- 2. 2024-08-01 REVIEW FOR PERMITS (REVISED SHEET 001)
- 3. 2024-08-01 REVIEW FOR PERMITS (REVISED SHEET 001)
- 4. 2024-08-01 REVIEW FOR PERMITS (REVISED SHEET 001)
- 5. 2024-08-01 REVIEW FOR PERMITS (REVISED SHEET 001)
- 6. 2024-08-01 REVIEW FOR PERMITS (REVISED SHEET 001)
- 7. 2024-08-01 REVIEW FOR PERMITS (REVISED SHEET 001)
- 8. 2024-08-01 REVIEW FOR PERMITS (REVISED SHEET 001)
- 9. 2024-08-01 REVIEW FOR PERMITS (REVISED SHEET 001)
- 10. 2024-08-01 REVIEW FOR PERMITS (REVISED SHEET 001)



**Burles Architecture Inc.**  
 1000 S. W. 10th Street, Suite 100  
 Fort Lauderdale, FL 33304  
 Phone: (954) 220-2200  
 Fax: (954) 220-2201  
 www.burlesarchitecture.com

- GENERAL NOTES:**
- ALL BUILDING DIMENSIONAL NETWORKS AND VEHICLES ARE TO THE OUTSIDE OF THE CURBLINE.
  - Mechanical Equipment (Refrigerators, Generators, Compressors, and Exhaust Systems) will be designed and located to minimize noise impacts on the neighborhood and comply with noise 67-dB dBA goal.
  - The acoustic measure will be incorporated into the final design and construction based on the consultant's recommendations.
  - Accurate and effective acoustic separation will be provided between the residential and non-residential portions of the building.
  - The design of the parking structure regarding safety and security shall be in accordance with Section 4.1.1 of the parking by-law and applicable codes and standards (including bicycle racks).
  - COMPASS, LOCKERS AND BICYCLE RACKS REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 4.1 OF THE PARKING BY-LAW.
  - ALL THE LIVING AND THE BREAKFAST ROOM ACCESS SHOULD HAVE POWER DOOR OPERATORS. ALL GATES WITHIN BLUE STORAGE ROAD TO HAVE POWER DOOR OPERATORS.
  - OPEN DESIGN MEASURES INCORPORATED WITHIN THE PARKING AREA:
    - WALLS WILL BE FINISH WHITE FOR REFLECTIVITY.
    - LOADING LEVELS WILL MEET CODE REQUIREMENT FOR SAFE ILLUMINATION, SIGNAGE AND VENT.
    - ROCK ALONGS HAVE BEEN ELIMINATED AND GOOD VISIBILITY WITHIN THE PARKING PROVIDED.
    - SECURITY ASSESSMENT CONDUCTED AT ELEVATION LOBBY VESTIBULES.
    - ACCESSIBLE AND EYE LEVEL WITHIN THE PARKING WILL HAVE VISION PANELS PER NBC 2019 3.3.4.1.7.
    - SECURITY GATE PROVIDED AT RESIDENT PARKING AREA.
  - MINIMUM SIZE OF CLASS A BICYCLE SPACES TO BE PROVIDED WITH ELECTRICAL OUTLET.

**LEVEL 34 SUMMARY**

FSR area	4,328.8 sq.ft. (402.1 sq.m.)
Open Balcony	660.8 sq.ft. (61.4 sq.m.)
Storage	67.1 sq.ft. (6.2 sq.m.)
Stalls	0
1 Bedroom	0
2 Bedroom	0
3 Bedroom	3
TOTAL UNITS	3

**1 Level 34 : Residential**  
 Scale: 1/8" = 1'-0"

**Proposed Residential Development**  
 589 Orange St., Fort Lauderdale, FL 33304

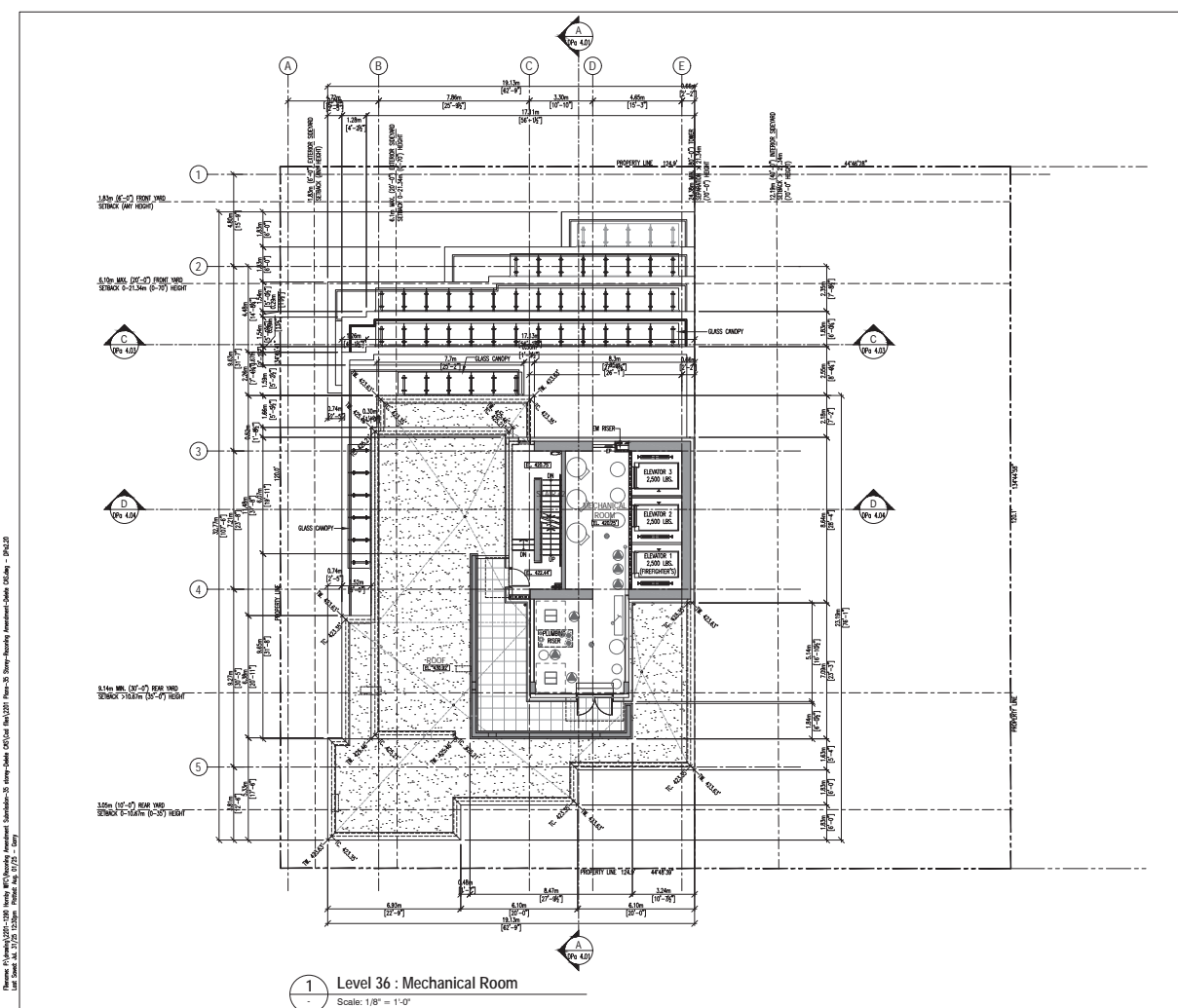
Well Financial Corporation  
 1000 S.W. 10th Street, Suite 100  
 Fort Lauderdale, FL 33304

PROJECT No. : 2024  
 SCALE : AS SHOWN  
 DATE : 2024-08-01  
 DRAWN BY : J.S.B.  
 CHECKED BY :

**DPa2.18**

Level 34 Residential





1 Level 36 : Mechanical Room  
Scale: 1/8" = 1'-0"

**LEGEND**

- +- B0 0.00' BRIDGE GRACE
- +- BE 0.00' DECK ELEVATION
- +- FE 0.00' FINISHED ELEVATION
- +- TC 0.00' TOP OF CONCRETE
- +- TS 0.00' TOP OF SLAB
- +- TM 0.00' TOP OF MSL
- +- AD 0.00' AIR DRAIN
- +- DD 0.00' DECK DRAIN
- +- CD 0.00' CATCH BASIN
- +- FD 0.00' FLOOR DRAIN

REVISIONS FOR CITY USE

NO.	DATE	REVISION
1	10/10/2017	ISSUED FOR PERMIT
2	10/10/2017	ISSUED FOR PERMIT (REVISED)
3	10/10/2017	ISSUED FOR PERMIT (REVISED)
4	10/10/2017	ISSUED FOR PERMIT (REVISED)
5	10/10/2017	ISSUED FOR PERMIT (REVISED)
6	10/10/2017	ISSUED FOR PERMIT (REVISED)
7	10/10/2017	ISSUED FOR PERMIT (REVISED)
8	10/10/2017	ISSUED FOR PERMIT (REVISED)
9	10/10/2017	ISSUED FOR PERMIT (REVISED)
10	10/10/2017	ISSUED FOR PERMIT (REVISED)



**Burles Architecture Inc.**

1017 Rock Lane, Suite 200  
Baltimore, MD 21202  
Phone: (410) 288-1000  
www.burlesarchitecture.com

- GENERAL NOTES:**
- ALL BUILDING DIMENSIONAL SETBACKS AND YARDS ARE TO THE OUTSIDE OF THE CURBLINE.
  - MECHANICAL EQUIPMENT (VENTILATORS, GENERATORS, COMPRESSORS, AND EXHAUST SYSTEMS) WILL BE DESIGNED AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE NEIGHBORHOOD AND COMPLY WITH LOCAL SETBACK RULES. THE ADDITIONAL MEASURE WILL BE INCORPORATED INTO THE FINAL DESIGN AND CONSTRUCTION, BASED ON THE CONSULTANT'S RECOMMENDATIONS.
  - ACCURATE AND EFFECTIVE ACCESSION SEPARATION WILL BE PROVIDED BETWEEN THE RESIDENTIAL AND NON-RESIDENTIAL PORTIONS OF THE BUILDING.
  - THE DESIGN OF THE BUILDING STRUCTURE REGARDING SAFETY AND SECURITY SHALL BE IN ACCORDANCE WITH SECTION 4.1.1 OF THE PRINCIPAL PLAN AND COMPASSION, LOUDES AND INFLUENCE REGARDING SAFETY AND SECURITY MEASURES SHALL BE IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 4.1 OF THE PRINCIPAL PLAN.
  - ALL FIRE EXITS AND FIRE UNWINDING ROOM ACCESS SHOULD HAVE POWER DOOR OPERATORS. ALL GATES WITHIN BUS STORAGE ROAD TO HAVE POWER DOOR OPERATORS.
  - OPEN DESIGN MEASURES INCORPORATED WITHIN THE FINISHED AREA:
    - WALLS WILL BE FINISHED WHITE FOR REFLECTIVITY.
    - LEADING EDGES WILL MEET CODE REQUIREMENT FOR SAFE ILLUMINATION.
    - ROCKER ALONGS HAVE BEEN ELIMINATED AND GOOD VISIBILITY WITHIN THE FINISHED PORTIONS.
    - SECURITY ASSEMBLY GLAZING PROVIDED AT ELEVATOR LOBBY VESTIBULES.
    - ACCESSIBLE AND ONE DOOR FROM THE PARKING WILL HAVE VISION PANELS PER MD, 2009, 23A.17.17.
    - SECURITY CASE PROVIDED AT RESIDENT PARKING AREA.
  - MINIMUM SIZE OF CLASS A BIKE SPACES TO BE PROVIDED WITH ELECTRICAL OUTLET.

**MECHANICAL ROOM SUMMARY**

Room	Area (sq. ft.)	Total Area (sq. ft.)
Open Balcony	0	0
Storage	0	0
Skullie	0	0
1 Bedroom	0	0
2 Bedroom	0	0
3 Bedroom	0	0
Total Units	0	0

**Proposed Residential Development**

1000 Rock Lane, Suite 200, Baltimore, MD 21202

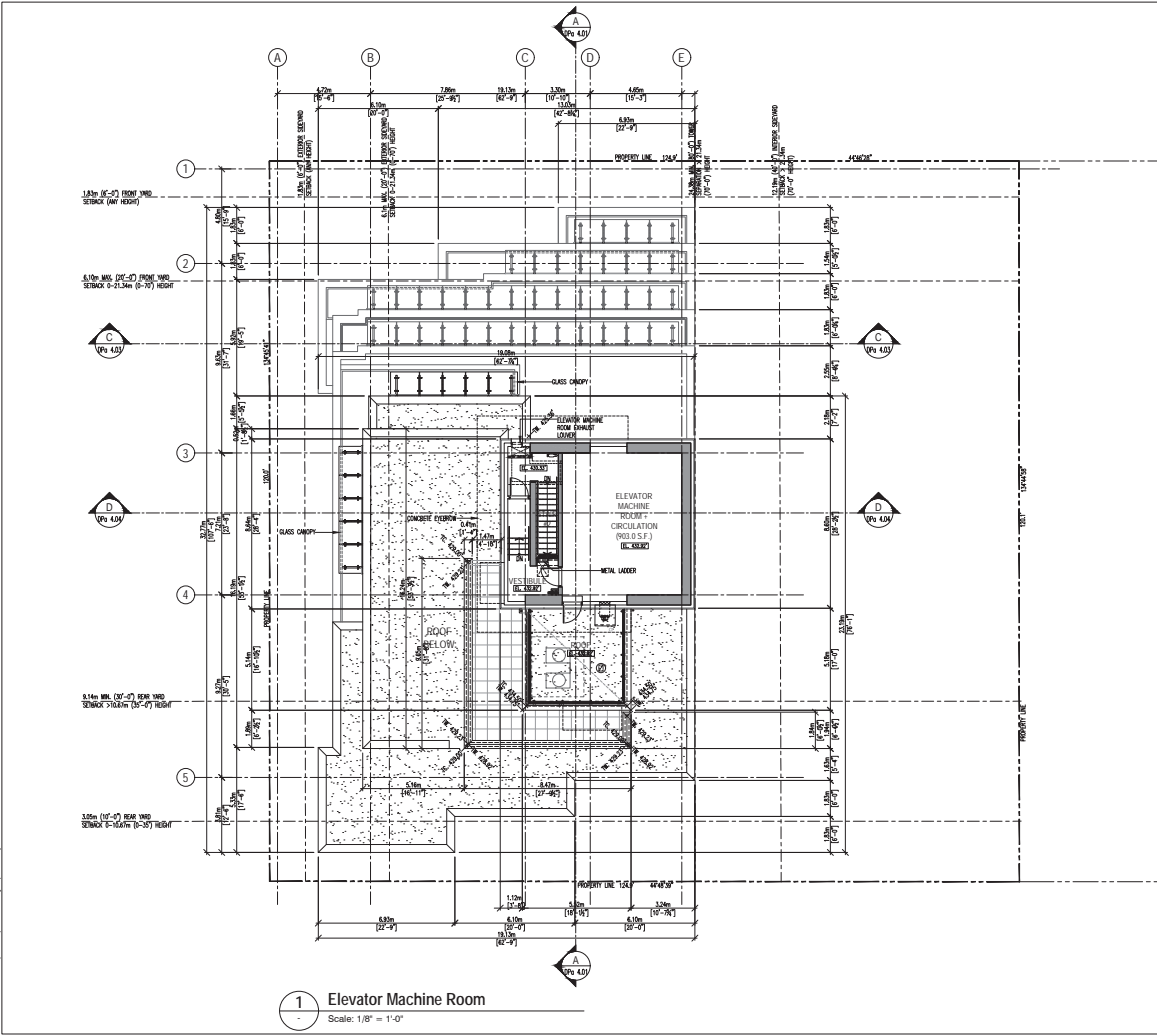
**Will Financial Corporation**  
1000 Rock Lane, Suite 200, Baltimore, MD 21202

PROJECT No. : 2001  
SCALE : AS NOTED  
PROJECT DATE : 2002-06-01  
DRAWN BY : PL, LC  
CHECKED BY :

**DPa2.20**

Level 36 Mechanical Room

Approved: 10/10/2017 10:00 AM by: [Signature] - [Title]  
10/10/2017 10:00 AM by: [Signature] - [Title]



**1 Elevator Machine Room**  
Scale: 1/8" = 1'-0"

- LEGEND**
- +- 0.0' FINISH GRADE
  - +- 0.0' FINISH ELEVATION
  - +- FE 0.0' FINISH ELEVATION
  - +- TC 0.0' TOP OF CONCRETE
  - +- TS 0.0' TOP OF SLAB
  - +- TW 0.0' TOP OF WALL
  - +- AD 0.0' AREA DOWN
  - +- DD 0.0' DECK DOWN
  - +- CD 0.0' CEILING DOWN
  - +- FD 0.0' FLOOR DOWN

- REVISIONS FOR CITY USE
- |    |            |                          |
|----|------------|--------------------------|
| 1  | 2024-08-07 | REVISED PER REQUIRED FOR |
| 2  | 2024-08-07 | REVISED PER REQUIRED FOR |
| 3  | 2024-08-07 | REVISED PER REQUIRED FOR |
| 4  | 2024-08-07 | REVISED PER REQUIRED FOR |
| 5  | 2024-08-07 | REVISED PER REQUIRED FOR |
| 6  | 2024-08-07 | REVISED PER REQUIRED FOR |
| 7  | 2024-08-07 | REVISED PER REQUIRED FOR |
| 8  | 2024-08-07 | REVISED PER REQUIRED FOR |
| 9  | 2024-08-07 | REVISED PER REQUIRED FOR |
| 10 | 2024-08-07 | REVISED PER REQUIRED FOR |

TRUE NORTH

PROJECT NORTH

SCALE: 1/8" = 1'-0"

**Burles Architecture Inc.**

1000 N. Orange Ave., Suite 1000  
Orlando, FL 32801  
Tel: 407.255.1234  
www.burlesarchitecture.com

- GENERAL NOTES:**
- ALL BUILDING DIMENSIONAL SETBACKS AND YARDS ARE TO THE OUTSIDE OF THE CURBLINE.
  - Mechanical Equipment (Refrigerators, Generators, Compressors, and Exhaust Systems) will be designed and located to minimize noise impacts on the neighborhood and comply with noise 67-dB limit.
  - The acoustic measure will be incorporated into the final design and construction, based on the consultant's recommendations.
  - Accurate and effective structural separation will be provided between the residential and non-residential portions of the building.
  - The design of the parking structure regarding safety and security shall be in accordance with Section 4.11 of the Florida Building Code, Building Code (FBC).
  - The design of the bicycle spaces (including bicycle racks, components, lockers and bike repair stations) regarding safety and security measures shall be in accordance with the relevant provisions of Section 4.10 of the Florida Building Code, Building Code (FBC).
  - All fire egress and fire watch/monitoring room access doors shall have power door closers. All doors within bike storage rooms shall have power door closers.
  - Open design measures incorporated within the parking area:
    - Walls will be painted white for reflectivity.
    - Loading levels will meet code requirement for safe illumination.
    - Security cameras will be installed in strategic locations.
    - Security camera viewing angles will be designed to provide 360-degree coverage.
    - Security camera viewing angles will be designed to provide 360-degree coverage.
    - Security camera viewing angles will be designed to provide 360-degree coverage.
  - Minimum size of class A bike spaces to be provided with electrical outlet.

ELEVATOR MACHINE ROOM SUMMARY	
FSR Area	898.6 sq. ft. (83.5 sq. m.)
Open Balcony	0
Storage	0
Staircase	0
1 Bedroom	0
2 Bedroom	0
3 Bedroom	0
Total Units	0

**Proposed Residential Development**

1000 N. Orange Ave., Suite 1000  
Orlando, FL 32801

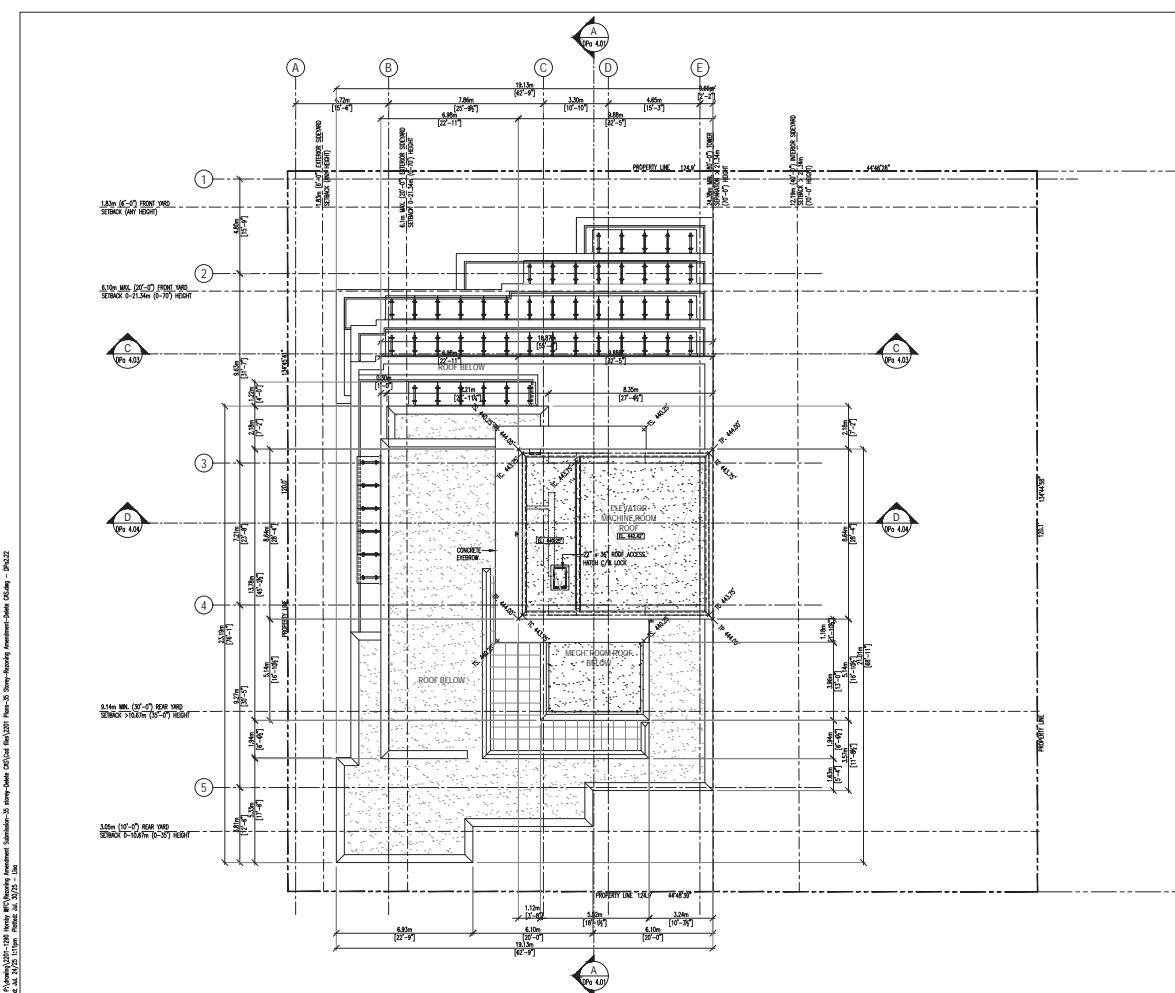
Well Financial Corporation  
1000 N. Orange Ave., Suite 1000  
Orlando, FL 32801

PROJECT No. : 2021  
SCALE : 1/8" = 1'-0"  
DATE : 2024-08-07  
DRAWN BY : J. L. L.  
CHECKED BY : J. L. L.

**DPa2.21**

Elevator Machine Room

Project: 2021-08-07 Elevator Machine Room Summary - 02/24/2024 10:00 AM  
 Drawing: 2024-08-07 Elevator Machine Room Summary - 02/24/2024 10:00 AM  
 Author: J. L. L.  
 Checker: J. L. L.  
 Date: 2024-08-07



**LEGEND**

- +- 0.0' FINISH FLOOR
- +- 0.0' DECK ELEVATION
- +- 0.0' FINISHED ELEVATION
- +- 0.0' TOP OF CONCRETE
- +- 0.0' TOP OF SLAB
- +- 0.0' TOP OF WALL
- +- 0.0' MECH. ROOM
- +- 0.0' DECK DRAIN
- +- 0.0' DECK DRAIN
- +- 0.0' FLOOR DRAIN

REQUIRED FOR CITY USE

1	2024-08-07	REVISED PER REGULATORY
2	2024-08-07	REVISED PER REGULATORY
3	2024-08-07	REVISED PER REGULATORY
4	2024-08-07	REVISED PER REGULATORY
5	2024-08-07	REVISED PER REGULATORY
6	2024-08-07	REVISED PER REGULATORY
7	2024-08-07	REVISED PER REGULATORY
8	2024-08-07	REVISED PER REGULATORY
9	2024-08-07	REVISED PER REGULATORY
10	2024-08-07	REVISED PER REGULATORY
11	2024-08-07	REVISED PER REGULATORY
12	2024-08-07	REVISED PER REGULATORY
13	2024-08-07	REVISED PER REGULATORY
14	2024-08-07	REVISED PER REGULATORY
15	2024-08-07	REVISED PER REGULATORY
16	2024-08-07	REVISED PER REGULATORY
17	2024-08-07	REVISED PER REGULATORY
18	2024-08-07	REVISED PER REGULATORY
19	2024-08-07	REVISED PER REGULATORY
20	2024-08-07	REVISED PER REGULATORY



**Barlett Architecture Inc.**

1207 East Avenue Street, NC  
Charlotte, NC 28203  
Phone: 704.333.2222  
Fax: 704.333.2222  
www.barlettarch.com

- GENERAL NOTES:**
- ALL BUILDING DIMENSIONAL NETWORKS AND VEHICLES ARE TO THE OUTSIDE OF THE CURBLINE.
  - MECHANICAL EQUIPMENT (FURNITURES, GENERATORS, COMPRESSORS, AND EXHAUST SYSTEMS) WILL BE DESIGNED AND LOCATED TO MINIMIZE NOISE IMPACTS ON THE NEIGHBORHOOD AND COMPLY WITH LOCAL CITY AND STATE REGULATIONS. THE ACQUISITION MEASURE WILL BE INCORPORATED INTO THE FINAL DESIGN AND CONSTRUCTION, BASED ON THE CONSULTANT'S RECOMMENDATIONS.
  - ACCURATE AND EFFICIENT ACCESSORY SEPARATION WILL BE PROVIDED BETWEEN THE RESIDENTIAL AND NON-RESIDENTIAL PORTIONS OF THE BUILDING.
  - THE DESIGN OF THE BUILDING STRUCTURE REGARDING SAFETY AND SECURITY SHALL BE IN ACCORDANCE WITH SECTION 4.1.1 OF THE PARALLEL BY-LAW AND COMPASSION. LOCKERS AND/OR BICYCLE STORAGE SHALL BE PROVIDED IN ACCORDANCE WITH THE RELEVANT PROVISIONS OF SECTION 4.1.2 OF THE PARALLEL BY-LAW.
  - ALL FIRE EXITS AND FIRE EXITS ROOM ACCESS SHALL HAVE POWER DOOR OPERATORS. ALL GATES WITHIN BLUE STORAGE ROAD TO HAVE POWER DOOR OPERATORS.
  - OPEN DESIGN MEASURES INCORPORATED WITHIN THE FINISHED AREA SHALL BE PROVIDED WITHIN THE FINISHED AREA.
    - LOADING LEVELS WILL MEET CODE REQUIREMENT FOR SAFE ILLUMINATION.
    - SECURITY ASBEST GLASSING PROVIDED AT ELEVATOR LOBBY VESTIBULES.
    - ACCESSIBLE AND ONE GOOD VIEW FROM THE PARKING WILL HAVE VISION PANELS PER WMO 2019 3.1.1.7.
    - SECURITY CASE PROVIDED AT RESIDENT PARKING AREA.
    - MINIMUM ONE OF CLASS A BICYCLE SPACES TO BE PROVIDED WITH ELECTRICAL OUTLET.

**1 Overall Roof Plan**  
Scale: 1/8" = 1'-0"

**Proposed Residential Development**

5000 East 1st Avenue, BLD

Well Financial Corporation  
1000 East 1st Avenue  
Charlotte, NC 28202

PROJECT No. : 2021  
SCALE : AS SHOWN  
DATE : 2024-08-07  
DRAWN BY : J.S.S.  
CHECKED BY :

**DPa2.22**

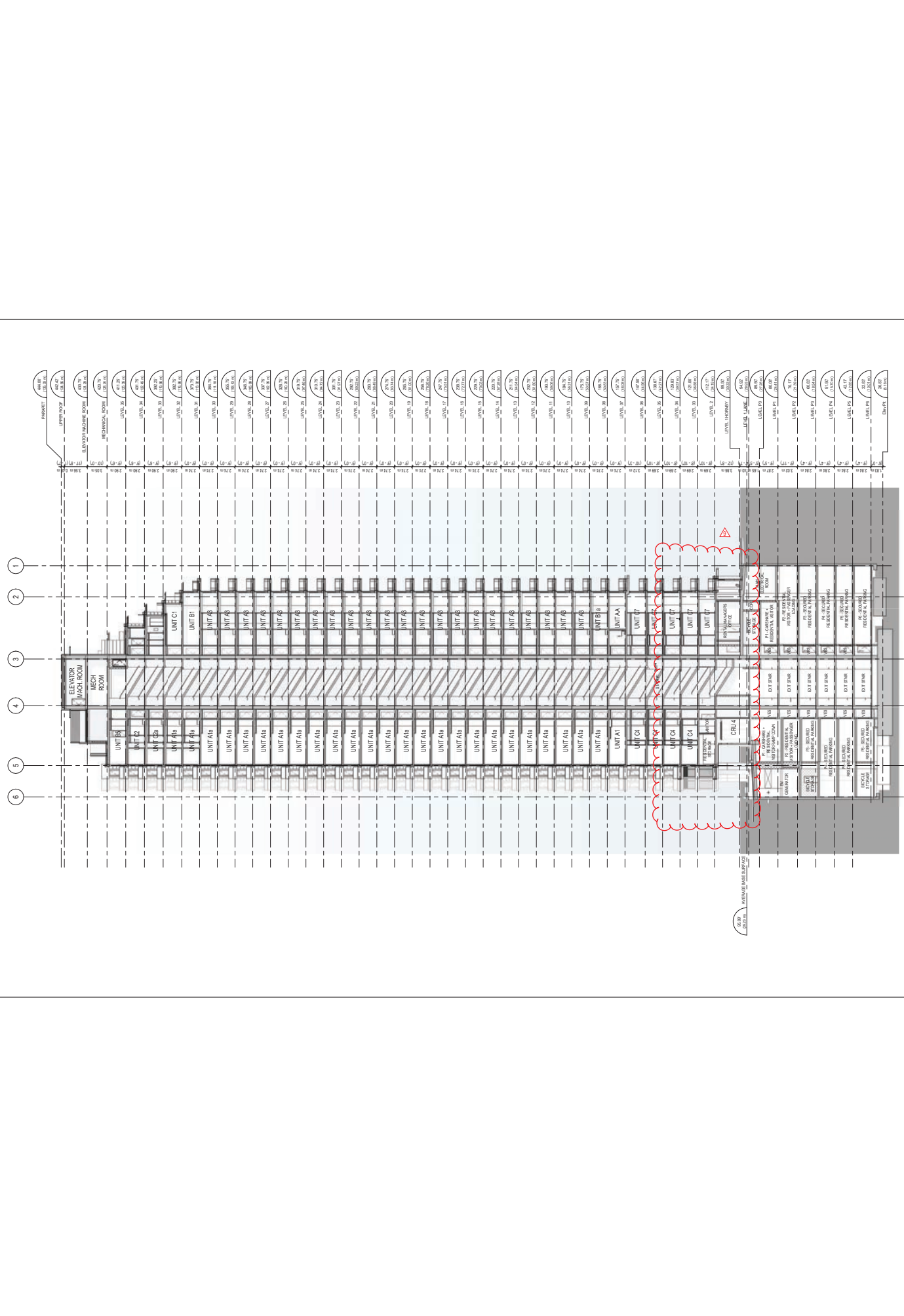
Overall Roof Plan







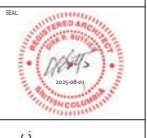




**1 DP Building Section A-A**  
 Scale: 1/16" = 1'-0"

RESERVED FOR CITY USE

1	2024-04	REVISED FOR RESUBMITTAL FOR RESUBMITTAL
2	2024-04	REVISED FOR RESUBMITTAL FOR RESUBMITTAL
3	2024-04	REVISED FOR RESUBMITTAL FOR RESUBMITTAL
4	2024-04	REVISED FOR RESUBMITTAL FOR RESUBMITTAL
5	2024-04	REVISED FOR RESUBMITTAL FOR RESUBMITTAL
6	2024-04	REVISED FOR RESUBMITTAL FOR RESUBMITTAL
7	2024-04	REVISED FOR RESUBMITTAL FOR RESUBMITTAL
8	2024-04	REVISED FOR RESUBMITTAL FOR RESUBMITTAL
9	2024-04	REVISED FOR RESUBMITTAL FOR RESUBMITTAL
10	2024-04	REVISED FOR RESUBMITTAL FOR RESUBMITTAL



**Buttles Architecture Inc.**  
 Architects & Engineers  
 1000 N. Orange Blossom Trail, Suite 100  
 Orlando, FL 32809  
 Phone: (407) 381-1100  
 Fax: (407) 381-1101  
 www.buttlesarchitecture.com

**Proposed Residential Development**  
 15280 State Road 15280, Orlando, FL 32809

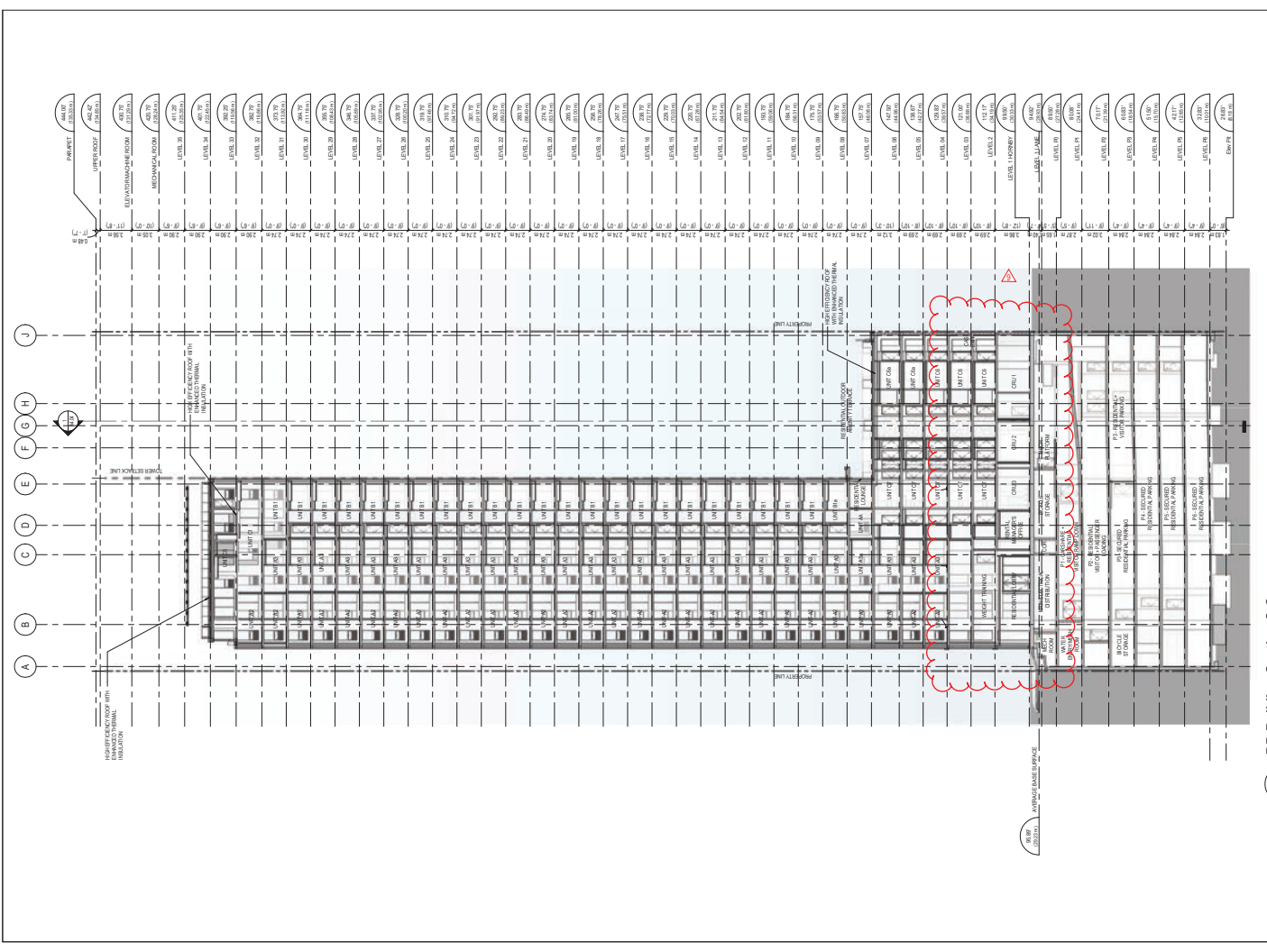
**Wall Financial Corporation**  
 15280 State Road 15280, Orlando, FL 32809

PROJECT NO: 2024  
 SCALE: AS SHOWN  
 PLOT DATE: 2024-02-27  
 DRAWN BY: JR  
 CHECKED BY: JR

**DPa4.01**

Building Section A-A





**1 DP Building Section C-C**  
Scale: 1/8" = 1'-0"

NO. 1	RESERVED FOR CITY USE
NO. 2	RESERVED FOR CITY USE
NO. 3	RESERVED FOR CITY USE
NO. 4	RESERVED FOR CITY USE
NO. 5	RESERVED FOR CITY USE
NO. 6	RESERVED FOR CITY USE
NO. 7	RESERVED FOR CITY USE
NO. 8	RESERVED FOR CITY USE
NO. 9	RESERVED FOR CITY USE
NO. 10	RESERVED FOR CITY USE
NO. 11	RESERVED FOR CITY USE
NO. 12	RESERVED FOR CITY USE
NO. 13	RESERVED FOR CITY USE
NO. 14	RESERVED FOR CITY USE
NO. 15	RESERVED FOR CITY USE
NO. 16	RESERVED FOR CITY USE
NO. 17	RESERVED FOR CITY USE
NO. 18	RESERVED FOR CITY USE
NO. 19	RESERVED FOR CITY USE
NO. 20	RESERVED FOR CITY USE
NO. 21	RESERVED FOR CITY USE
NO. 22	RESERVED FOR CITY USE
NO. 23	RESERVED FOR CITY USE
NO. 24	RESERVED FOR CITY USE
NO. 25	RESERVED FOR CITY USE
NO. 26	RESERVED FOR CITY USE
NO. 27	RESERVED FOR CITY USE
NO. 28	RESERVED FOR CITY USE
NO. 29	RESERVED FOR CITY USE
NO. 30	RESERVED FOR CITY USE
NO. 31	RESERVED FOR CITY USE
NO. 32	RESERVED FOR CITY USE
NO. 33	RESERVED FOR CITY USE
NO. 34	RESERVED FOR CITY USE
NO. 35	RESERVED FOR CITY USE
NO. 36	RESERVED FOR CITY USE
NO. 37	RESERVED FOR CITY USE
NO. 38	RESERVED FOR CITY USE
NO. 39	RESERVED FOR CITY USE
NO. 40	RESERVED FOR CITY USE
NO. 41	RESERVED FOR CITY USE
NO. 42	RESERVED FOR CITY USE
NO. 43	RESERVED FOR CITY USE
NO. 44	RESERVED FOR CITY USE
NO. 45	RESERVED FOR CITY USE
NO. 46	RESERVED FOR CITY USE
NO. 47	RESERVED FOR CITY USE
NO. 48	RESERVED FOR CITY USE
NO. 49	RESERVED FOR CITY USE
NO. 50	RESERVED FOR CITY USE
NO. 51	RESERVED FOR CITY USE
NO. 52	RESERVED FOR CITY USE
NO. 53	RESERVED FOR CITY USE
NO. 54	RESERVED FOR CITY USE
NO. 55	RESERVED FOR CITY USE
NO. 56	RESERVED FOR CITY USE
NO. 57	RESERVED FOR CITY USE
NO. 58	RESERVED FOR CITY USE
NO. 59	RESERVED FOR CITY USE
NO. 60	RESERVED FOR CITY USE
NO. 61	RESERVED FOR CITY USE
NO. 62	RESERVED FOR CITY USE
NO. 63	RESERVED FOR CITY USE
NO. 64	RESERVED FOR CITY USE
NO. 65	RESERVED FOR CITY USE
NO. 66	RESERVED FOR CITY USE
NO. 67	RESERVED FOR CITY USE
NO. 68	RESERVED FOR CITY USE
NO. 69	RESERVED FOR CITY USE
NO. 70	RESERVED FOR CITY USE
NO. 71	RESERVED FOR CITY USE
NO. 72	RESERVED FOR CITY USE
NO. 73	RESERVED FOR CITY USE
NO. 74	RESERVED FOR CITY USE
NO. 75	RESERVED FOR CITY USE
NO. 76	RESERVED FOR CITY USE
NO. 77	RESERVED FOR CITY USE
NO. 78	RESERVED FOR CITY USE
NO. 79	RESERVED FOR CITY USE
NO. 80	RESERVED FOR CITY USE
NO. 81	RESERVED FOR CITY USE
NO. 82	RESERVED FOR CITY USE
NO. 83	RESERVED FOR CITY USE
NO. 84	RESERVED FOR CITY USE
NO. 85	RESERVED FOR CITY USE
NO. 86	RESERVED FOR CITY USE
NO. 87	RESERVED FOR CITY USE
NO. 88	RESERVED FOR CITY USE
NO. 89	RESERVED FOR CITY USE
NO. 90	RESERVED FOR CITY USE
NO. 91	RESERVED FOR CITY USE
NO. 92	RESERVED FOR CITY USE
NO. 93	RESERVED FOR CITY USE
NO. 94	RESERVED FOR CITY USE
NO. 95	RESERVED FOR CITY USE
NO. 96	RESERVED FOR CITY USE
NO. 97	RESERVED FOR CITY USE
NO. 98	RESERVED FOR CITY USE
NO. 99	RESERVED FOR CITY USE
NO. 100	RESERVED FOR CITY USE

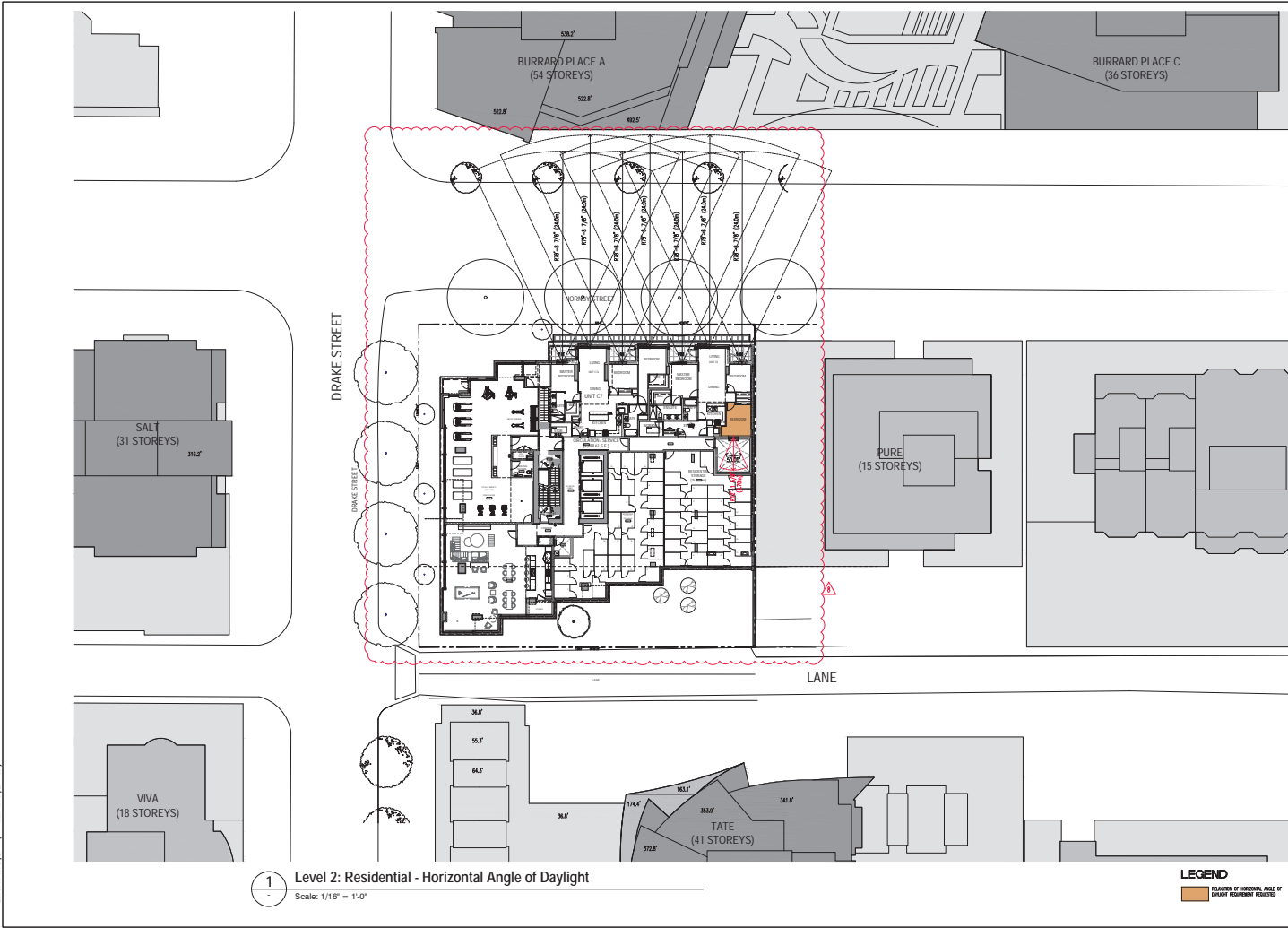
**Proposed Residential Development**  
WFL Financial Corporation  
10000 W. Lake Country Rd. 200  
Lake County, FL 32750  
Tel: 407.351.1000  
www.wflfinancial.com

**Butties Architecture Inc.**  
Butties Architecture Inc.  
10000 W. Lake Country Rd. 200  
Lake County, FL 32750  
Tel: 407.351.1000  
www.wflfinancial.com

**DPa4.03**

Building Section C-C





1 Level 2: Residential - Horizontal Angle of Daylight  
 Scale: 1/16" = 1'-0"

RESERVED FOR CITY USE

- 1 2023-08-01 (REVISED) AND REQUIRED FOR RESIDENTIAL WALKWAY SAFETY ONLY
- 2 2023-07-26 (REVISED) FOR SIGNAGE, SIGNAGE SAFETY ONLY
- 3 2023-04-20 (REVISED) FOR SIGN AND CORNER
- 4 2023-03-23 (REVISED) FOR SIGN AND CORNER
- 5 2023-11-20 (REVISED) SIGN FOR SIGN
- 6 2023-08-10 (REVISED) SIGN FOR SIGN
- 7 2023-08-10 (REVISED) SIGN FOR SIGN
- 8 2023-08-10 (REVISED) SIGN FOR SIGN
- 9 2023-08-10 (REVISED) SIGN FOR SIGN
- 10 2023-08-10 (REVISED) SIGN FOR SIGN
- 11 2023-08-10 (REVISED) SIGN FOR SIGN
- 12 2023-08-10 (REVISED) SIGN FOR SIGN
- 13 2023-08-10 (REVISED) SIGN FOR SIGN
- 14 2023-08-10 (REVISED) SIGN FOR SIGN
- 15 2023-08-10 (REVISED) SIGN FOR SIGN
- 16 2023-08-10 (REVISED) SIGN FOR SIGN
- 17 2023-08-10 (REVISED) SIGN FOR SIGN
- 18 2023-08-10 (REVISED) SIGN FOR SIGN
- 19 2023-08-10 (REVISED) SIGN FOR SIGN
- 20 2023-08-10 (REVISED) SIGN FOR SIGN
- 21 2023-08-10 (REVISED) SIGN FOR SIGN
- 22 2023-08-10 (REVISED) SIGN FOR SIGN
- 23 2023-08-10 (REVISED) SIGN FOR SIGN
- 24 2023-08-10 (REVISED) SIGN FOR SIGN
- 25 2023-08-10 (REVISED) SIGN FOR SIGN
- 26 2023-08-10 (REVISED) SIGN FOR SIGN
- 27 2023-08-10 (REVISED) SIGN FOR SIGN
- 28 2023-08-10 (REVISED) SIGN FOR SIGN
- 29 2023-08-10 (REVISED) SIGN FOR SIGN
- 30 2023-08-10 (REVISED) SIGN FOR SIGN
- 31 2023-08-10 (REVISED) SIGN FOR SIGN
- 32 2023-08-10 (REVISED) SIGN FOR SIGN
- 33 2023-08-10 (REVISED) SIGN FOR SIGN
- 34 2023-08-10 (REVISED) SIGN FOR SIGN
- 35 2023-08-10 (REVISED) SIGN FOR SIGN
- 36 2023-08-10 (REVISED) SIGN FOR SIGN
- 37 2023-08-10 (REVISED) SIGN FOR SIGN
- 38 2023-08-10 (REVISED) SIGN FOR SIGN
- 39 2023-08-10 (REVISED) SIGN FOR SIGN
- 40 2023-08-10 (REVISED) SIGN FOR SIGN
- 41 2023-08-10 (REVISED) SIGN FOR SIGN
- 42 2023-08-10 (REVISED) SIGN FOR SIGN
- 43 2023-08-10 (REVISED) SIGN FOR SIGN
- 44 2023-08-10 (REVISED) SIGN FOR SIGN
- 45 2023-08-10 (REVISED) SIGN FOR SIGN
- 46 2023-08-10 (REVISED) SIGN FOR SIGN
- 47 2023-08-10 (REVISED) SIGN FOR SIGN
- 48 2023-08-10 (REVISED) SIGN FOR SIGN
- 49 2023-08-10 (REVISED) SIGN FOR SIGN
- 50 2023-08-10 (REVISED) SIGN FOR SIGN



**Duffin Architecture Inc.**  
 Telephone: (604) 278-2700  
 Fax: (604) 278-2700  
 www.duffinarchitecture.com  
 2707 Park Avenue Burnaby, BC  
 Canada V5C 2S8

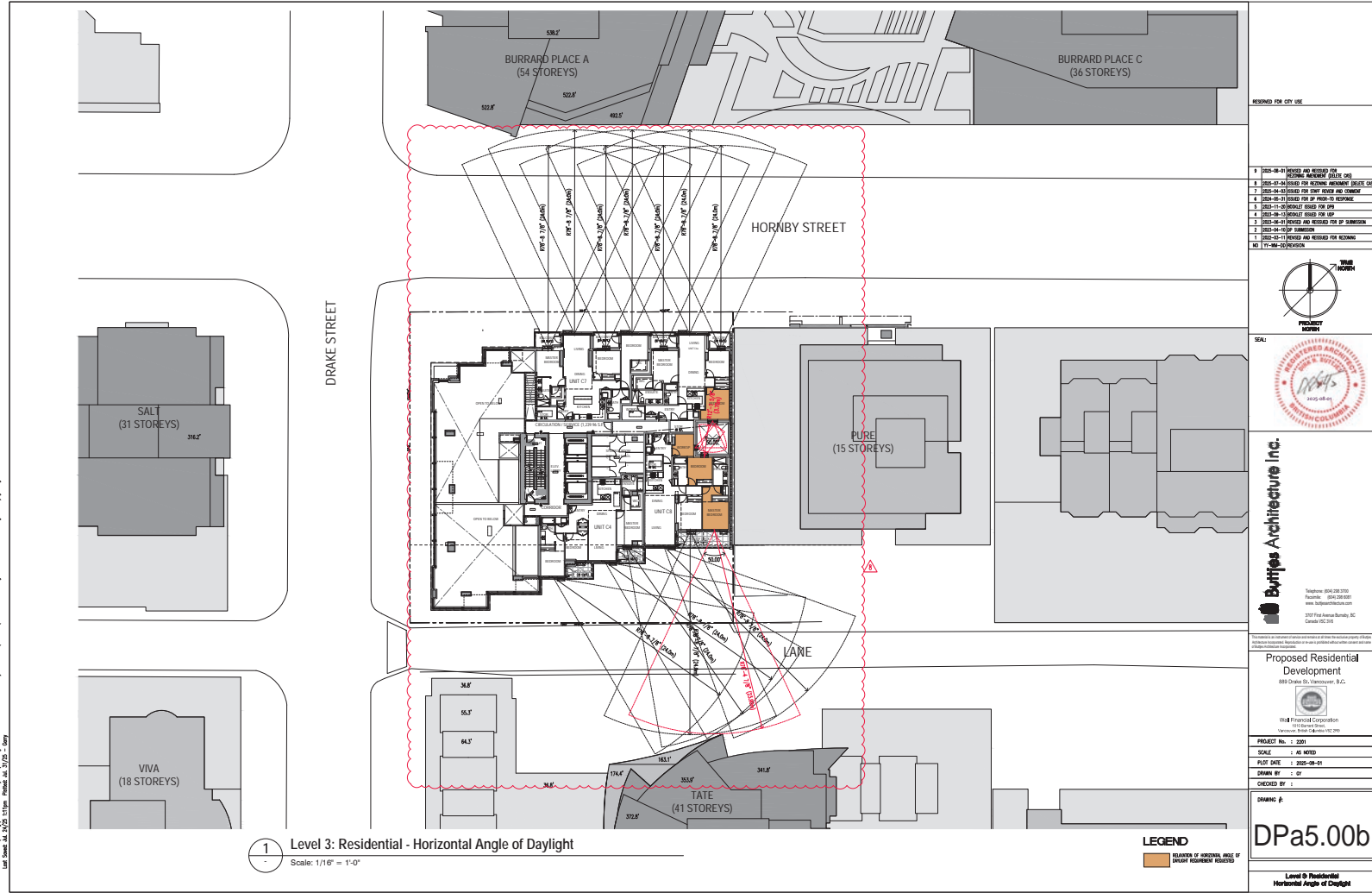
**Proposed Residential Development**  
 880 Green St., Vancouver, B.C.  
 Will Ferrell Corporation  
 1000 Burrard Street  
 Vancouver, B.C. V6C 2G8

PROJECT No. : 2201  
 SCALE : AS SHOWN  
 PLOT DATE : 2023-08-01  
 DRAWN BY : JF  
 CHECKED BY : JF

**DPa5.00a**  
 Level 2 Residential  
 Horizontal Angle of Daylight

**LEGEND**  
 HORIZONTAL ANGLE OF DAYLIGHT

Drawn: J. Duffin (2023-08-01) No. 2003-08-01 (REVISED) SIGN FOR SIGN  
 User: J. Duffin (2023-08-01) No. 2003-08-01 (REVISED) SIGN FOR SIGN



1 Level 3: Residential - Horizontal Angle of Daylight  
 Scale: 1/16" = 1'-0"

- RESERVED FOR CITY USE
- 1 2023-08-01 ISSUED AND REVISED FOR RESIDENTIAL WORKING SETS ONLY
  - 2 2023-08-01 ISSUED FOR ARCHITECTURAL SERVICES ONLY
  - 3 2023-08-01 ISSUED FOR UNIT REVIEW AND COMMENT
  - 4 2023-08-01 ISSUED FOR PERMITS REVIEW
  - 5 2023-11-01 ISSUED FOR PERMITS REVIEW
  - 6 2023-08-01 ISSUED FOR PERMITS REVIEW
  - 7 2023-08-01 ISSUED AND REVISED FOR PERMITS REVIEW
  - 8 2023-08-01 ISSUED FOR PERMITS REVIEW
  - 9 2023-08-01 ISSUED AND REVISED FOR PERMITS REVIEW
  - 10 2023-08-01 ISSUED FOR PERMITS REVIEW

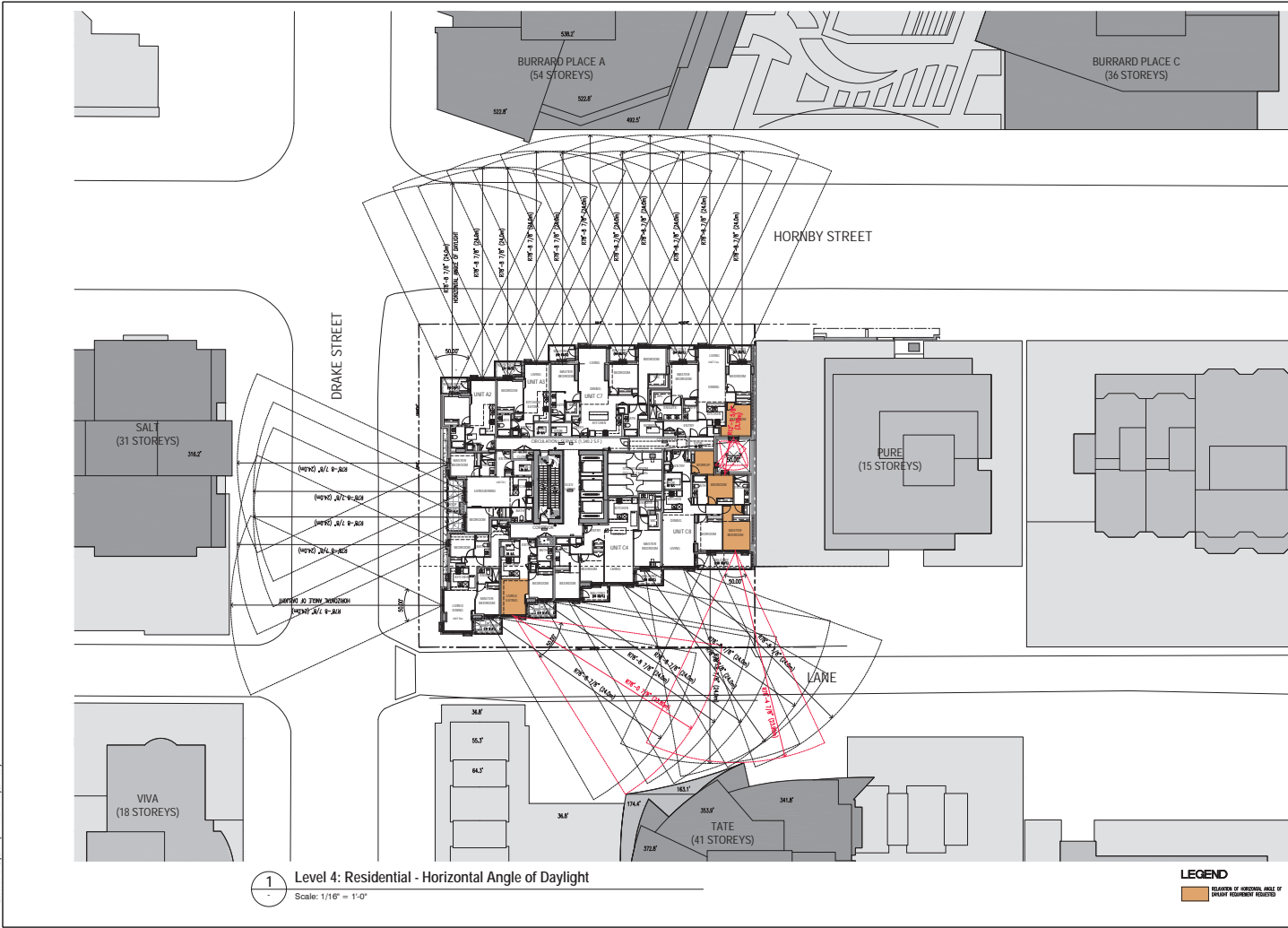


**Buffler Architecture Inc.**  
 Telephone: (604) 283-2700  
 Fax: (604) 283-6100  
 www.bufflerarchitecture.com  
 2787 West Broadway, Vancouver, BC  
 Canada V6K 2B8

**Proposed Residential Development**  
 880 Drake Street, Vancouver, B.C.  
 Will Ferrell Corporation  
 1100 Burrard Street, Vancouver, B.C. V6J 1K6

PROJECT No. : 2201  
 SCALE : AS SHOWN  
 PLOT DATE : 2023-08-01  
 DRAWN BY : JF  
 CHECKED BY : JF  
 DRAWING # : DPa5.00b  
 Level 3 Residential  
 Horizontal Angle of Daylight

**LEGEND**  
 RELATION OF HORIZONTAL ANGLE OF DAYLIGHT FOR PROPOSED RESIDENTIAL UNITS



1 Level 4: Residential - Horizontal Angle of Daylight  
Scale: 1/16" = 1'-0"

- RESIGNED FOR CITY USE
- 1 2023-06-01 (REVISED) AND REQUIRED FOR RESIDENTIAL WALKWAY SAFETY ONLY
  - 2 2023-05-24 (REVISED) FOR SIGNAGE, SIGNATURE SAFETY ONLY
  - 3 2023-04-20 (REVISED) FOR UNIT NUMBER AND CORNER
  - 4 2023-04-20 (REVISED) FOR UNIT NUMBER
  - 5 2023-11-20 (REVISED) SIGNAGE FOR SIGN
  - 6 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 7 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 8 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 9 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 10 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 11 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 12 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 13 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 14 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 15 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 16 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 17 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 18 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 19 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 20 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 21 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 22 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 23 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 24 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 25 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 26 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 27 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 28 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 29 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 30 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 31 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 32 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 33 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 34 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 35 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 36 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 37 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 38 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 39 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 40 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 41 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 42 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 43 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 44 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 45 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 46 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 47 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 48 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 49 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 50 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 51 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 52 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 53 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 54 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 55 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 56 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 57 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 58 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 59 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 60 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 61 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 62 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 63 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 64 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 65 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 66 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 67 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 68 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 69 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 70 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 71 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 72 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 73 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 74 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 75 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 76 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 77 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 78 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 79 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 80 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 81 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 82 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 83 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 84 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 85 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 86 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 87 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 88 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 89 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 90 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 91 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 92 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 93 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 94 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 95 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 96 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 97 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 98 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 99 2023-08-10 (REVISED) SIGNAGE FOR SIGN
  - 100 2023-08-10 (REVISED) SIGNAGE FOR SIGN



**Duffin Architecture Inc.**

Telephone: (604) 278-2700  
 Fax: (604) 278-2700  
 www.duffinarchitecture.com  
 2787 Park Avenue Burnaby, BC  
 Canada V5C 2S8

**Proposed Residential Development**

1850 Green St., Vancouver, B.C.

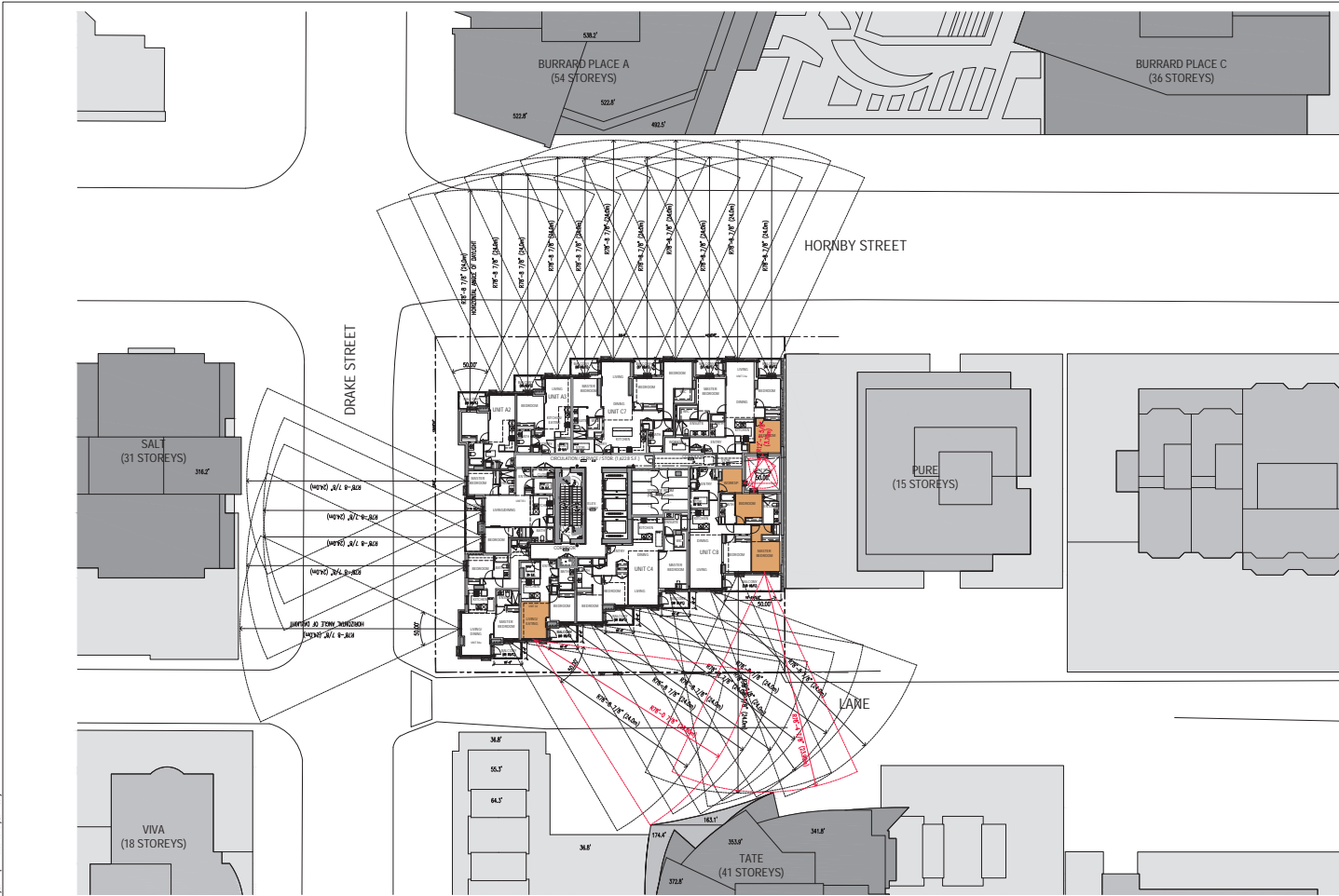
Will Financial Corporation  
 1000 Burrard Street  
 Vancouver, B.C. V6C 2K6

PROJECT No. :	2201
SCALE :	AS SHOWN
PLAT DATE :	2023-08-01
DRAWN BY :	JD
CHECKED BY :	JD
DRAWING # :	

**DPa5.01**

Level 4 Residential  
Horizontal Angle of Daylight

Drawn: J. Duffin (2201-2201) Rev: 01 (2023-08-01) File: 2201-2201-01.dwg  
 User: Jeffrey\_S\_Duffin Date: 2023-08-01 11:58 AM  
 Path: C:\Users\Jeffrey\_S\_Duffin\OneDrive - Duffin Architecture Inc.



1 Level 5: Residential - Horizontal Angle of Daylight  
 Scale: 1/16" = 1'-0"

**LEGEND**  
 RELATION OF HORIZONTAL ANGLE OF DAYLIGHT TO SHADING FOOTPRINTS INDICATED

RESIGNED FOR CITY USE

1 2023-08-01 (REVISED) AND REQUIRED FOR PROPOSED DEVELOPMENT PROJECT ONLY  
 2 2023-07-20 (REVISED) FOR PROPOSED DEVELOPMENT PROJECT ONLY  
 3 2023-06-20 (REVISED) FOR UNIT REVIEW AND COMMENT  
 4 2023-06-20 (REVISED) FOR UNIT REVIEW AND COMMENT  
 5 2023-11-20 (REVISED) FOR UNIT REVIEW AND COMMENT  
 6 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 7 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 8 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 9 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 10 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 11 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 12 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 13 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 14 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 15 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 16 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 17 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 18 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 19 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 20 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 21 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 22 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 23 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 24 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 25 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 26 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 27 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 28 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 29 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 30 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 31 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 32 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 33 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 34 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 35 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 36 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 37 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 38 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 39 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 40 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 41 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 42 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 43 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 44 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 45 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 46 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 47 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 48 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 49 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 50 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 51 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 52 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 53 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 54 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 55 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 56 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 57 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 58 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 59 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 60 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 61 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 62 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 63 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 64 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 65 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 66 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 67 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 68 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 69 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 70 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 71 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 72 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 73 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 74 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 75 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 76 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 77 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 78 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 79 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 80 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 81 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 82 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 83 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 84 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 85 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 86 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 87 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 88 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 89 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 90 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 91 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 92 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 93 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 94 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 95 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 96 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 97 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 98 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 99 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT  
 100 2023-08-10 (REVISED) FOR UNIT REVIEW AND COMMENT

**PROPOSED DEVELOPMENT**

**Buffles Architecture Inc.**  
 Telephone: (604) 278-2700  
 Fax: (604) 278-2700  
 www.bufflesarchitecture.com  
 1007 Park Avenue Burnaby, BC  
 Canada V5C 3S8

**Proposed Residential Development**  
 880 Drake Street, Burnaby, B.C.

Will Financial Corporation  
 1000 Burrard Street  
 Vancouver, B.C. V6C 2K6

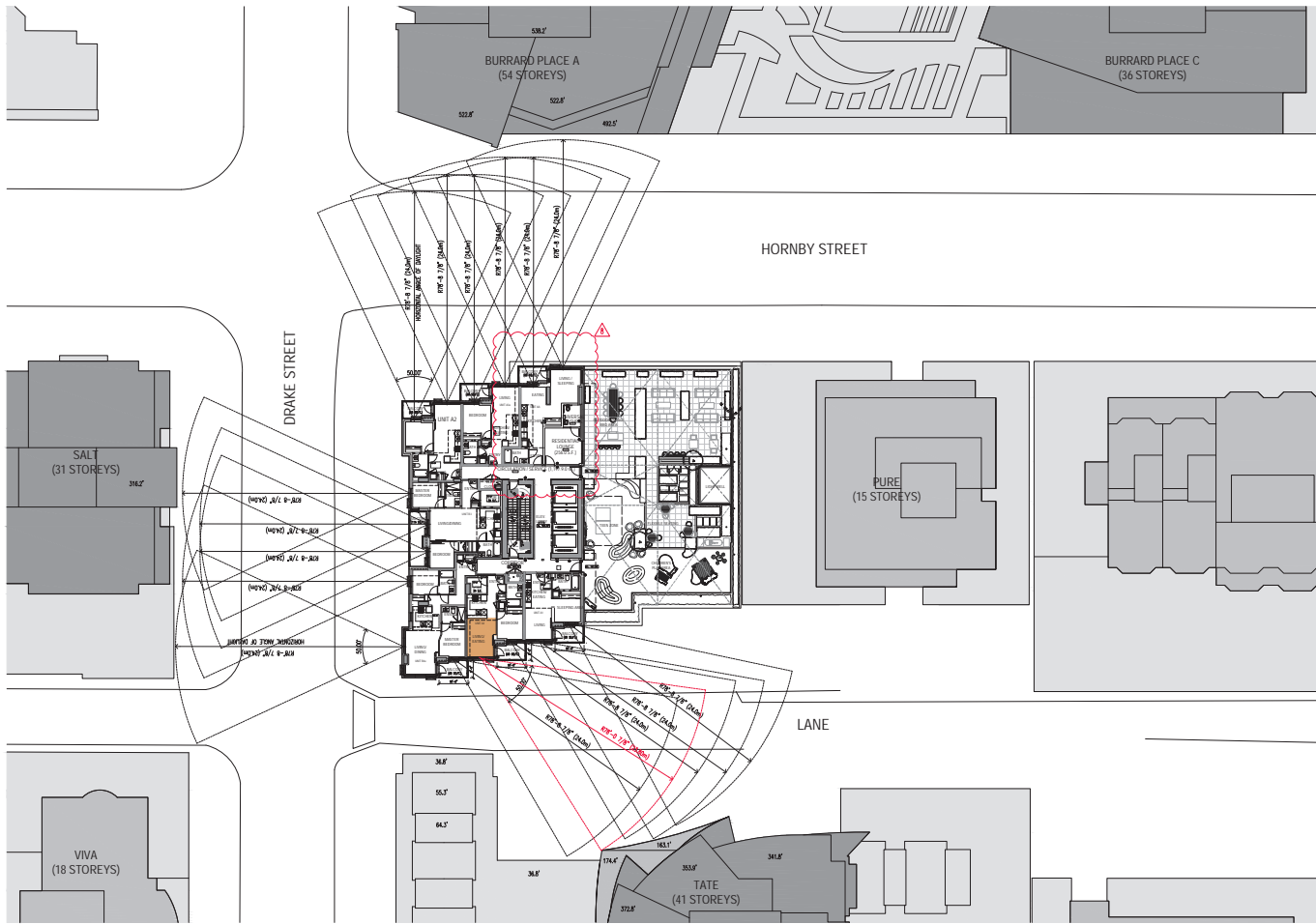
PROJECT No. : 2201  
 SCALE : AS SHOWN  
 PLOT DATE : 2023-08-01  
 DRAWN BY :  
 CHECKED BY :  
 DRAWING #

**DPa5.02**

Level 5 Residential  
 Horizontal Angle of Daylight

Drawn: J. [Name] 2023-08-01 11:00 AM, 1007 Burrard Street, Burnaby, BC V5C 3S8  
 Last Saved: M. [Name] 2023-08-01 11:00 AM, 1007 Burrard Street, Burnaby, BC V5C 3S8





- REVISIONS FOR CITY USE
- 1 2024-08-01 ISSUED AND REVISION FOR PROPOSED WORKING PLOT 04
  - 2 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 3 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 4 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 5 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 6 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 7 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 8 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 9 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 10 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 11 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 12 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 13 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 14 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 15 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 16 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 17 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 18 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 19 2024-08-01 ISSUED FOR REVIEW AND COMMENT
  - 20 2024-08-01 ISSUED FOR REVIEW AND COMMENT



**Buffles Architecture Inc.**

Telephone: (604) 283-2700  
 Fax: (604) 283-6100  
 www.bufflesarchitecture.com  
 2707 Park Avenue Burnaby, BC  
 Canada V5C 2H8

Proposed Residential Development  
 880 Green St., Vancouver, B.C.

Will Ferwood Corporation  
 1111 West Broadway  
 Vancouver, B.C. V6E 1V6

PROJECT No. : 2201  
 SCALE : AS SHOWN  
 PLOT DATE : 2024-08-01  
 DRAWN BY :  
 CHECKED BY :  
 DRAWING #

**DPa5.04**

Level 7 Residential  
 Horizontal Angle of Daylight

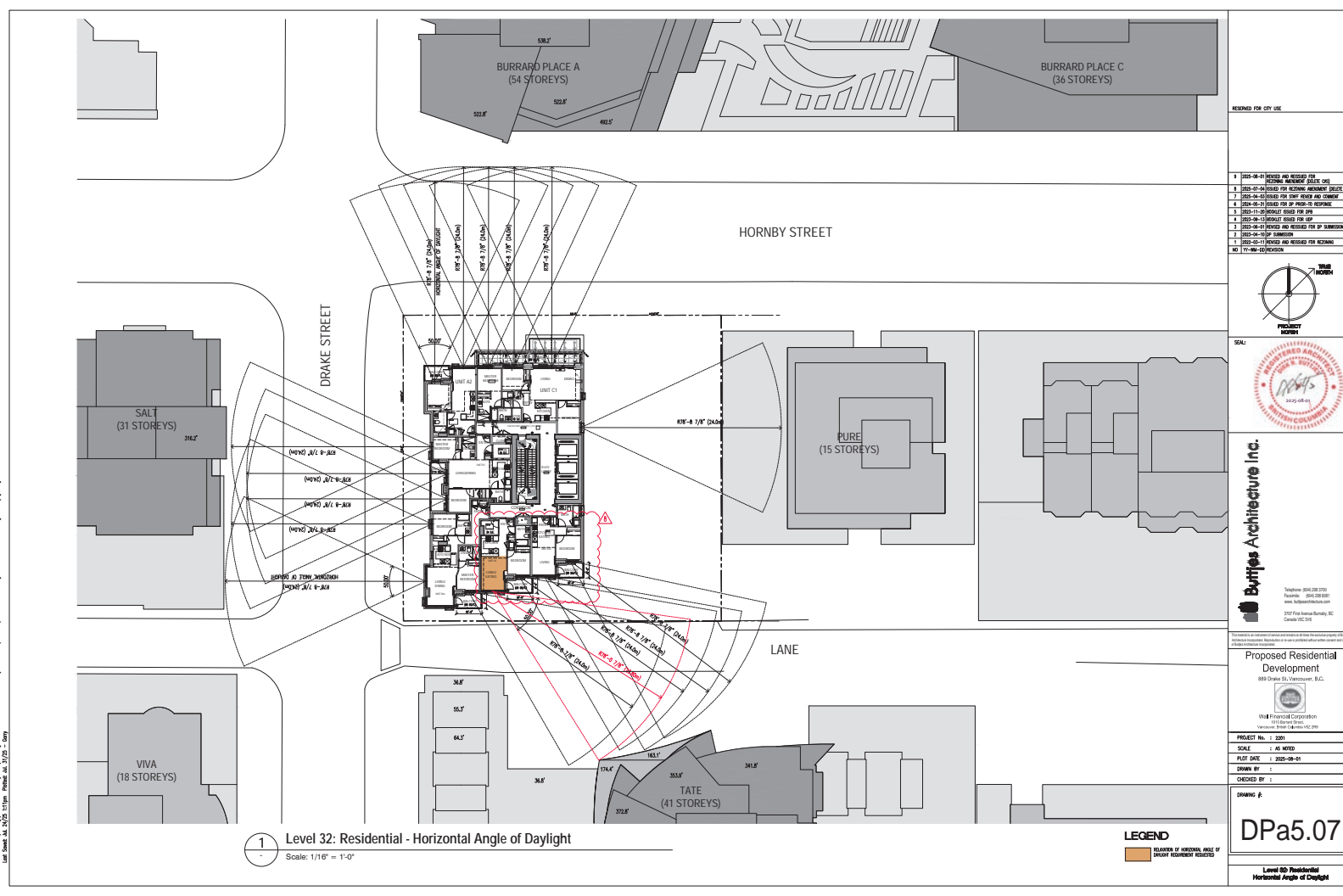
1 Level 7: Residential - Horizontal Angle of Daylight  
 Scale: 1/16" = 1'-0"

**LEGEND**  
 RELATION OF HORIZONTAL ANGLE OF DAYLIGHT TO SHADOW FOOTPRINT INDICATED

Drawn: J. [Name] 2024-08-01 11:00 AM (Vancouver) Approved: S. [Name] 2024-08-01 11:00 AM (Vancouver) Horizontal Angle of Daylight - DPa5.04  
 Last Saved: M. [Name] 2024-08-01 11:00 AM (Vancouver)







**1** Level 32: Residential - Horizontal Angle of Daylight  
 Scale: 1/16" = 1'-0"

**LEGEND**  
 RELATION OF HORIZONTAL ANGLE OF DAYLIGHT TO SHADING ELEMENTS

- RESIGNED FOR CITY USE
- 2023-08-01 REVIEWED AND REVISIONS FOR RESIDENTIAL WORKING DRAWING SET
  - 2023-08-01 REVIEWED FOR RESIDENTIAL WORKING DRAWING SET
  - 2023-08-01 REVIEWED FOR CIVIL ENGINE AND CONCRETE
  - 2023-08-01 REVIEWED FOR ARCHITECTURAL DRAWING
  - 2023-11-20 REVISIONS FOR PERMITS
  - 2023-08-01 REVIEWED FOR PERMITS
  - 2023-08-01 REVIEWED AND REVISIONS FOR PERMITS
  - 2023-08-01 REVIEWED AND REVISIONS FOR PERMITS
  - 2023-08-01 REVIEWED AND REVISIONS FOR PERMITS
  - 2023-08-01 REVIEWED AND REVISIONS FOR PERMITS



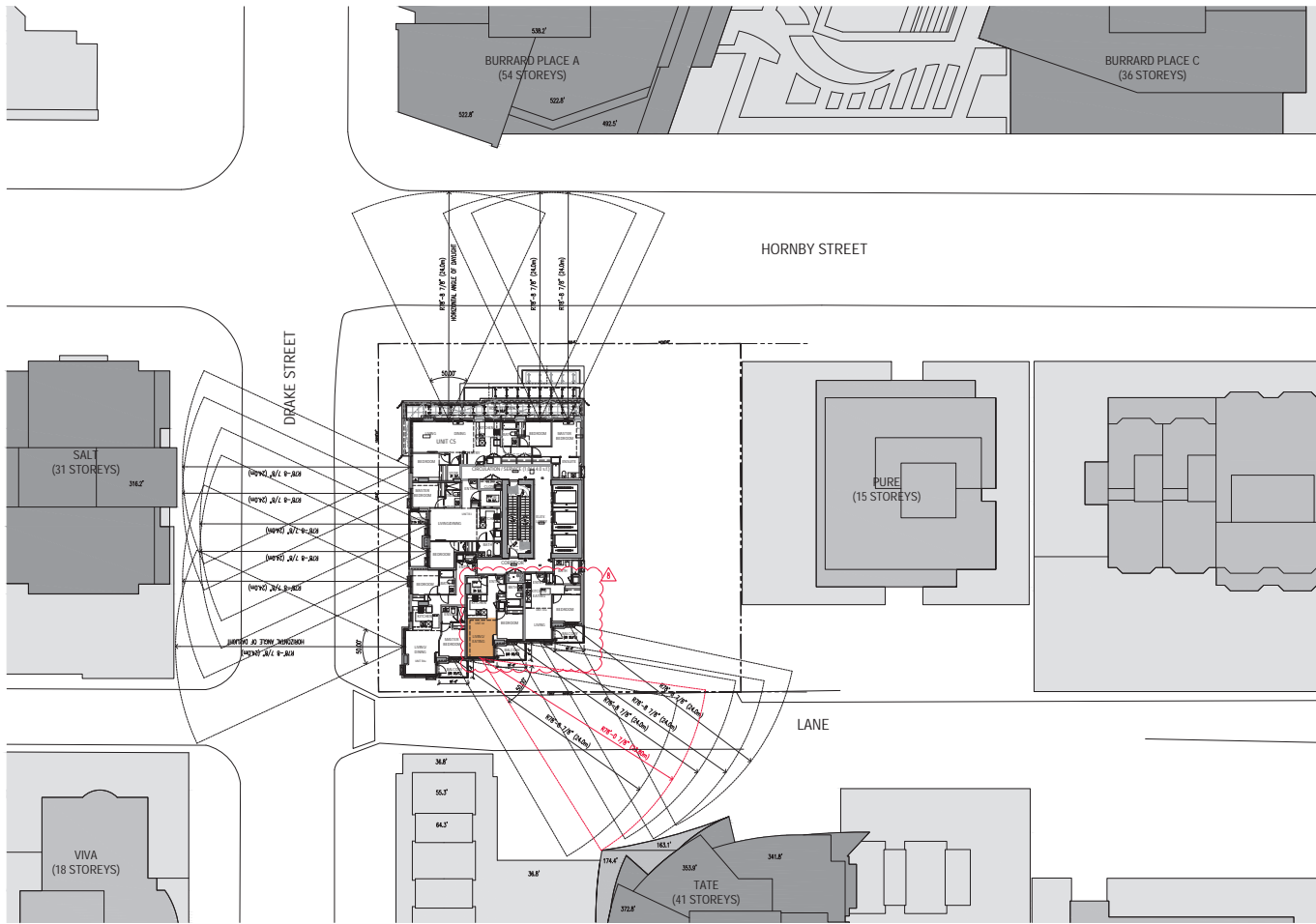
**Buffler Architecture Inc.**  
 Telephone: (604) 278-2700  
 Fax: (604) 278-6000  
 www.bufflerarchitecture.com  
 2707 Park Avenue Burnaby, BC  
 Canada V5C 5R3

**Proposed Residential Development**  
 180 Drake Street, Vancouver, B.C.  
 Will Ferwood Corporation  
 180 Drake Street, Vancouver, B.C.  
 (604) 278-2700

PROJECT No. : 2201  
 SCALE : AS SHOWN  
 PLOT DATE : 2023-08-01  
 DRAWN BY :  
 CHECKED BY :  
 DRAWING #

**DPa5.07**  
 Level 32 Residential Horizontal Angle of Daylight

Drawn by: J. Smith/2201-2200/Residential/Architectural/Submitted: 2023-08-01/Revised: 2023-08-01/Resigned: 2023-08-01/Scale: 1/16" = 1'-0"



RESERVED FOR CITY USE

- 1 2018-08-01 ISSUED AND REVISED FOR PROPOSED WORKING PLOT 018
- 2 2018-08-01 ISSUED FOR PROPOSED WORKING PLOT 018
- 3 2018-08-01 ISSUED FOR SHADY AND CORNER
- 4 2018-08-01 ISSUED FOR SHADY AND CORNER
- 5 2018-08-01 ISSUED FOR SHADY AND CORNER
- 6 2018-08-01 ISSUED FOR SHADY AND CORNER
- 7 2018-08-01 ISSUED FOR SHADY AND CORNER
- 8 2018-08-01 ISSUED FOR SHADY AND CORNER
- 9 2018-08-01 ISSUED FOR SHADY AND CORNER
- 10 2018-08-01 ISSUED FOR SHADY AND CORNER
- 11 2018-08-01 ISSUED FOR SHADY AND CORNER
- 12 2018-08-01 ISSUED FOR SHADY AND CORNER
- 13 2018-08-01 ISSUED FOR SHADY AND CORNER
- 14 2018-08-01 ISSUED FOR SHADY AND CORNER
- 15 2018-08-01 ISSUED FOR SHADY AND CORNER
- 16 2018-08-01 ISSUED FOR SHADY AND CORNER
- 17 2018-08-01 ISSUED FOR SHADY AND CORNER
- 18 2018-08-01 ISSUED FOR SHADY AND CORNER
- 19 2018-08-01 ISSUED FOR SHADY AND CORNER
- 20 2018-08-01 ISSUED FOR SHADY AND CORNER
- 21 2018-08-01 ISSUED FOR SHADY AND CORNER
- 22 2018-08-01 ISSUED FOR SHADY AND CORNER
- 23 2018-08-01 ISSUED FOR SHADY AND CORNER
- 24 2018-08-01 ISSUED FOR SHADY AND CORNER
- 25 2018-08-01 ISSUED FOR SHADY AND CORNER
- 26 2018-08-01 ISSUED FOR SHADY AND CORNER
- 27 2018-08-01 ISSUED FOR SHADY AND CORNER
- 28 2018-08-01 ISSUED FOR SHADY AND CORNER
- 29 2018-08-01 ISSUED FOR SHADY AND CORNER
- 30 2018-08-01 ISSUED FOR SHADY AND CORNER
- 31 2018-08-01 ISSUED FOR SHADY AND CORNER
- 32 2018-08-01 ISSUED FOR SHADY AND CORNER
- 33 2018-08-01 ISSUED FOR SHADY AND CORNER
- 34 2018-08-01 ISSUED FOR SHADY AND CORNER
- 35 2018-08-01 ISSUED FOR SHADY AND CORNER
- 36 2018-08-01 ISSUED FOR SHADY AND CORNER
- 37 2018-08-01 ISSUED FOR SHADY AND CORNER
- 38 2018-08-01 ISSUED FOR SHADY AND CORNER
- 39 2018-08-01 ISSUED FOR SHADY AND CORNER
- 40 2018-08-01 ISSUED FOR SHADY AND CORNER
- 41 2018-08-01 ISSUED FOR SHADY AND CORNER
- 42 2018-08-01 ISSUED FOR SHADY AND CORNER
- 43 2018-08-01 ISSUED FOR SHADY AND CORNER
- 44 2018-08-01 ISSUED FOR SHADY AND CORNER
- 45 2018-08-01 ISSUED FOR SHADY AND CORNER
- 46 2018-08-01 ISSUED FOR SHADY AND CORNER
- 47 2018-08-01 ISSUED FOR SHADY AND CORNER
- 48 2018-08-01 ISSUED FOR SHADY AND CORNER
- 49 2018-08-01 ISSUED FOR SHADY AND CORNER
- 50 2018-08-01 ISSUED FOR SHADY AND CORNER



**Burton Architecture Inc.**  
 Telephone: (604) 278-2700  
 Fax: (604) 278-2700  
 www.burtonarchitecture.com  
 2707 Park Avenue Burnaby, BC  
 Canada V5C 3S8

**Proposed Residential Development**  
 880 Drake Street, Vancouver, B.C.  
 Will Ferrell Corporation  
 1000 West 10th Avenue  
 Vancouver, B.C. V6H 1A6

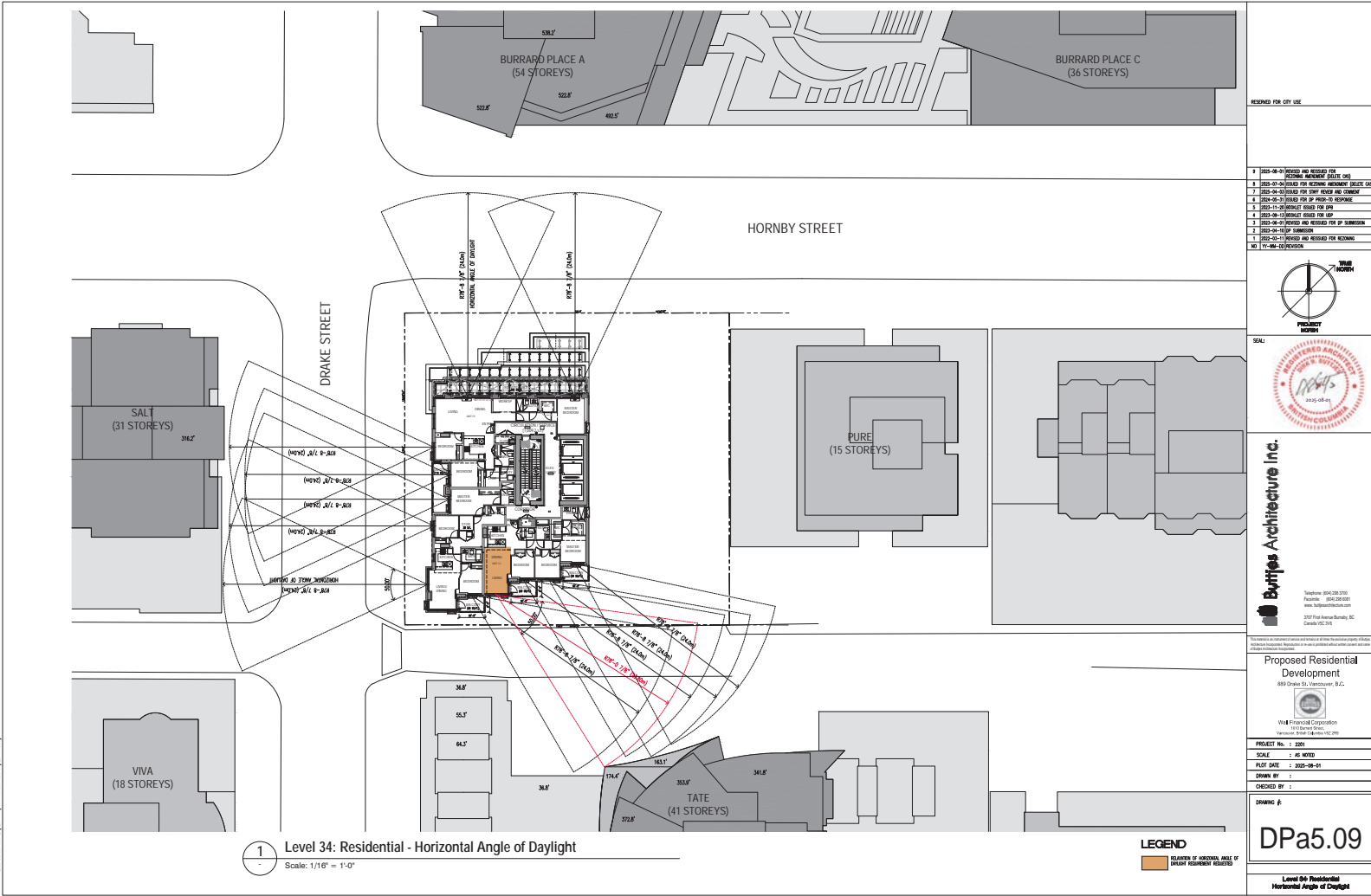
PROJECT No. : 2201  
 SCALE : AS SHOWN  
 PLOT DATE : 2018-08-01  
 DRAWN BY :  
 CHECKED BY :  
 DRAWING #

**DPa5.08**  
 Level 33 Residential  
 Horizontal Angle of Daylight

1 Level 33: Residential - Horizontal Angle of Daylight  
 Scale: 1/16" = 1'-0"

**LEGEND**  
 RELATION OF HORIZONTAL ANGLE OF DAYLIGHT TO SHADY TYPICALY EXPOSED

Drawn: J. [Name] 2018-08-01 11:10 AM  
 User: [Name] 2018-08-01 11:10 AM  
 Project: [Name] 2018-08-01 11:10 AM  
 Path: [Name] 2018-08-01 11:10 AM  
 Scale: 1/16" = 1'-0"



**1** Level 34: Residential - Horizontal Angle of Daylight  
 Scale: 1/16" = 1'-0"

**LEGEND**  
 RELATION OF HORIZONTAL ANGLE OF DAYLIGHT TO SHADY FOOTPRINT INDICATED

**RESERVED FOR CITY USE**

- 1 2023-08-01 REVIEWED AND APPROVED FOR PROPOSED WORKING DRAWING SET
- 2 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 3 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 4 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 5 2023-11-20 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 6 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 7 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 8 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 9 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 10 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 11 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 12 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 13 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 14 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 15 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 16 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 17 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 18 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 19 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 20 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 21 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 22 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 23 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 24 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 25 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 26 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 27 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 28 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 29 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 30 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 31 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 32 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 33 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 34 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 35 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 36 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 37 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 38 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 39 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 40 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 41 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 42 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 43 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 44 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 45 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 46 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 47 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 48 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 49 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 50 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 51 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 52 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 53 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 54 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 55 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 56 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 57 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 58 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 59 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 60 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 61 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 62 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 63 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 64 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 65 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 66 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 67 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 68 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 69 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 70 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 71 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 72 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 73 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 74 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 75 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 76 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 77 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 78 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 79 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 80 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 81 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 82 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 83 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 84 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 85 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 86 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 87 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 88 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 89 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 90 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 91 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 92 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 93 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 94 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 95 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 96 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 97 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 98 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 99 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET
- 100 2023-08-01 REVIEWED FOR PROPOSED WORKING DRAWING SET

**PROPOSED WORKING DRAWING SET**

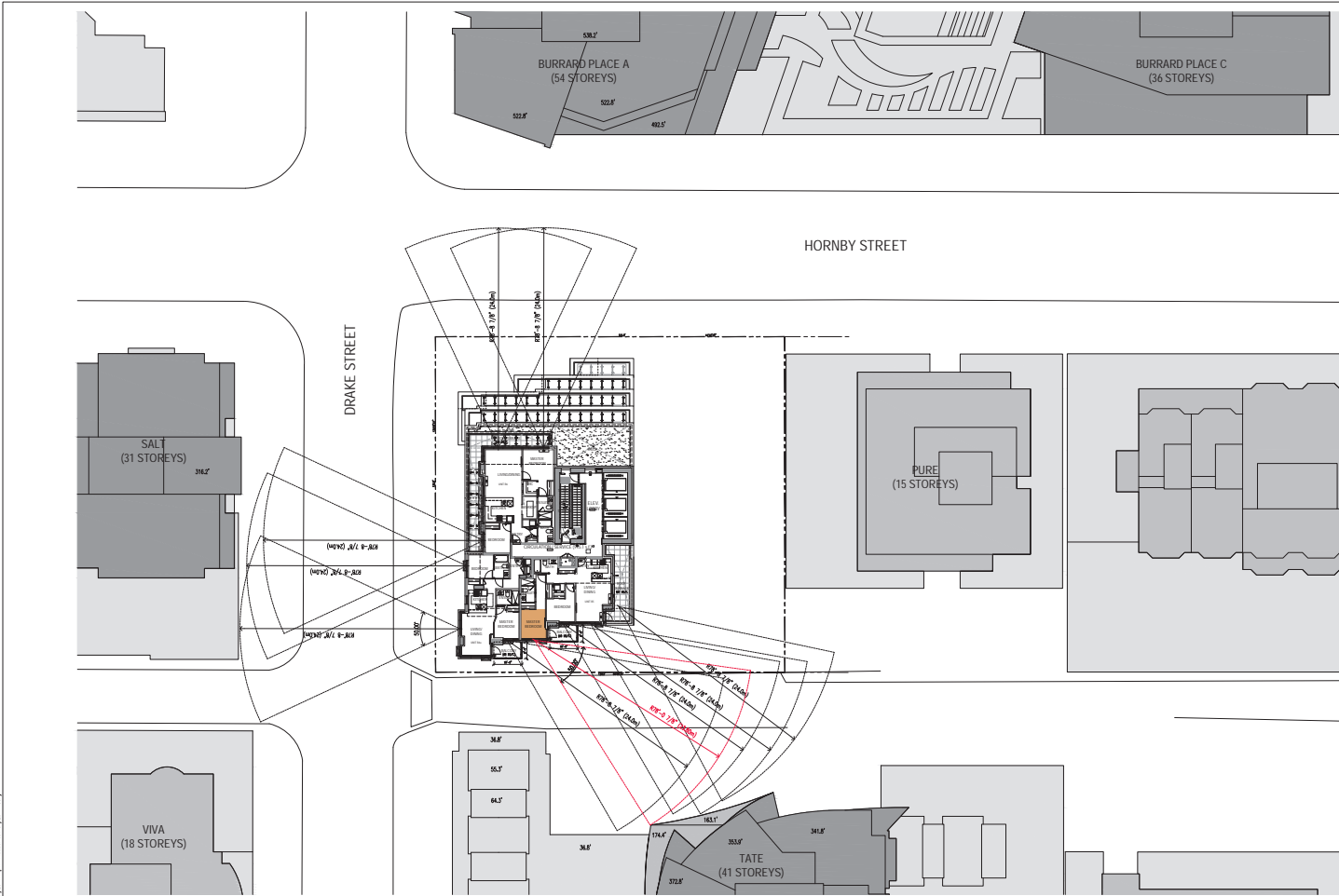
**BRUFFES ARCHITECTURE INC.**  
 Telephone: (604) 278-2700  
 Fax: (604) 278-2700  
 www.bruffesarchitecture.com  
 2707 Park Avenue Burnaby, BC  
 Canada V5C 3S8

**Proposed Residential Development**  
 880 Drake Street, Burnaby, B.C.

**Will Ferrell Corporation**  
 1111 West Broadway, Vancouver, B.C. V6E 2Y5

PROJECT No. : 2201  
 SCALE : AS SHOWN  
 PLOT DATE : 2023-08-01  
 DRAWN BY :  
 CHECKED BY :  
 DRAWING #

**DPa5.09**  
 Level 34 Residential Horizontal Angle of Daylight



1 Level 35: Residential - Horizontal Angle of Daylight  
 Scale: 1/16" = 1'-0"

RESIGNED FOR CITY USE

- 1 2023-08-01 REVIEWED AND REVISIONS FOR PROPOSED RESIDENTIAL PROJECT ONLY
- 2 2023-07-26 REVIEWED FOR PROPOSED RESIDENTIAL PROJECT ONLY
- 3 2023-06-20 REVIEWED FOR FINAL REVIEW AND COMMENT
- 4 2023-06-15 REVIEWED FOR PROPOSED RESIDENTIAL PROJECT ONLY
- 5 2023-11-20 REVIEWED FOR PROPOSED RESIDENTIAL PROJECT ONLY
- 6 2023-08-10 REVIEWED FOR PROPOSED RESIDENTIAL PROJECT ONLY
- 7 2023-08-01 REVIEWED AND REVISIONS FOR PROPOSED RESIDENTIAL PROJECT ONLY
- 8 2023-08-01 REVIEWED AND REVISIONS FOR PROPOSED RESIDENTIAL PROJECT ONLY
- 9 2023-08-01 REVIEWED AND REVISIONS FOR PROPOSED RESIDENTIAL PROJECT ONLY
- 10 2023-08-01 REVIEWED AND REVISIONS FOR PROPOSED RESIDENTIAL PROJECT ONLY



**Buffles Architecture Inc.**  
 Telephone: (604) 283-2700  
 Fax: (604) 283-6888  
 www.bufflesarchitecture.com  
 2707 Park Avenue Burnaby, BC  
 Canada V5C 2S8

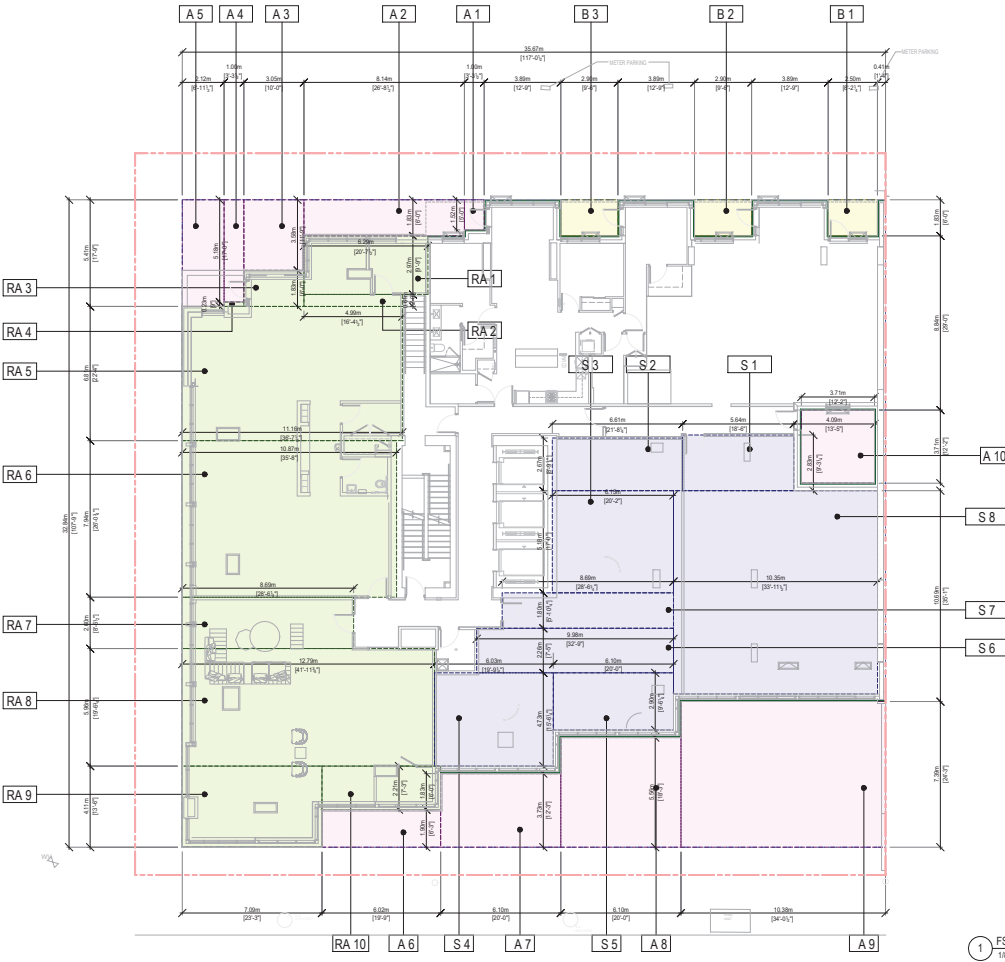
**Proposed Residential Development**  
 880 Drake Street, Burnaby, B.C.  
 Will Ferwood Corporation  
 1000 West Broadway, Vancouver, B.C. V6H 1G6

PROJECT No. : 2201  
 SCALE : AS SHOWN  
 PLOT DATE : 2023-08-01  
 DRAWN BY :  
 CHECKED BY :

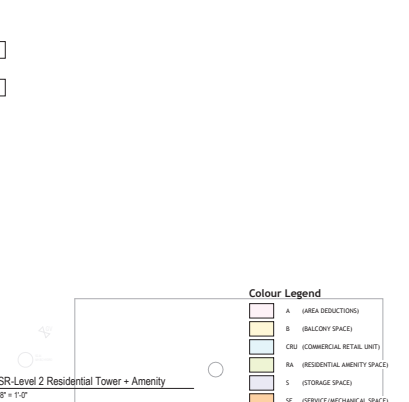
DRAWING #  
**DPa5.10**  
 Level 35 Residential Horizontal Angle of Daylight



2025-02-26 4:09:38 PM  
 W:\Projects\2025\25-04-01-FSR\Drawings\25-04-01-FSR-DP6.02.dwg  
 User: J. Smith  
 Project Information: 25-04-01-FSR



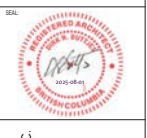
LEVEL 2			
GROSS PERIMETER AREA	107.5' X	117.04' =	12,611.06 SF
<b>AREA DEDUCTIONS</b>			
A.1	3.19' X	5.00' =	16.45 SF
A.2	6.00' X	26.71' =	160.26 SF
A.3	10.00' X	11.75' =	117.50 SF
A.4	3.19' X	17.00' =	55.93 SF
A.5	6.06' X	17.75' =	123.54 SF
A.6	6.5' X	19.75' =	129.44 SF
A.7	12.15' X	20.00' =	245.00 SF
A.8	18.15' X	20.00' =	365.00 SF
A.9	24.25' X	34.04' =	825.47 SF
A.10	12.17' X	12.18' =	148.23 SF
<b>BALCONY (OPEN)</b>			
B.1	6.00' X	8.20' =	49.20 SF
B.2	6.00' X	9.50' =	57.00 SF
B.3	6.00' X	9.50' =	57.00 SF
<b>STORAGE</b>			
S.1	9.17' X	18.51' =	171.59 SF
S.2	8.77' X	21.89' =	190.22 SF
S.3	17.00' X	20.17' =	342.89 SF
S.4	15.12' X	19.78' =	306.99 SF
S.5	9.52' X	20.00' =	190.40 SF
S.6	7.12' X	32.75' =	245.01 SF
S.7	5.90' X	28.52' =	168.27 SF
S.8	33.96' X	33.83' =	1,148.87 SF
<b>RESIDENTIAL AMENITY</b>			
RA.1	9.75' X	20.64' =	201.24 SF
RA.2	2.00' X	16.38' =	32.76 SF
RA.3	6.00' X	10.00' =	60.00 SF
RA.4	0.15' X	3.20' =	2.47 SF
RA.5	22.13' X	36.62' =	811.72 SF
RA.6	26.04' X	35.67' =	929.56 SF
RA.7	8.14' X	28.52' =	233.56 SF
RA.8	19.56' X	41.97' =	820.93 SF
RA.9	13.50' X	23.25' =	313.88 SF
RA.10	7.15' X	19.75' =	141.19 SF
<b>RANSCREEN</b>			
A.10	0.17' X	436.47' =	74.20 SF
<b>SUBTOTAL: (AREA DEDUCTIBLE + BALCONY + STORAGE + RES AMENITY + RANSREEN)</b>			
1,744.96 SF			
<b>TOTAL NET AREA: (PERIMETER - AREA DEDUCTIBLE - STORAGE - RES AMENITY - RANSREEN)</b>			
1,866.10 SF			



1 FSR-Level 2 Residential Tower + Amenity  
 1/8" = 1'-0"

RESERVED FOR CITY USE

1	25-04-01	REVISED FOR FSR REVIEW
2	25-04-01	REVISED FOR FSR REVIEW
3	25-04-01	REVISED FOR FSR REVIEW
4	25-04-01	REVISED FOR FSR REVIEW
5	25-04-01	REVISED FOR FSR REVIEW
6	25-04-01	REVISED FOR FSR REVIEW
7	25-04-01	REVISED FOR FSR REVIEW
8	25-04-01	REVISED FOR FSR REVIEW
9	25-04-01	REVISED FOR FSR REVIEW
10	25-04-01	REVISED FOR FSR REVIEW



**Buttles Architecture Inc.**  
 10000 NW 30th Street  
 Fort Lauderdale, FL 33309  
 Phone: (954) 333-1100  
 Fax: (954) 333-1101  
 www.buttlesarchitecture.com

**Proposed Residential Development**  
 888 South University Avenue, E.C.  
 Fort Lauderdale, FL 33309  
 Wall Financial Corporation  
 10000 NW 30th Street, Suite 200  
 Fort Lauderdale, FL 33309

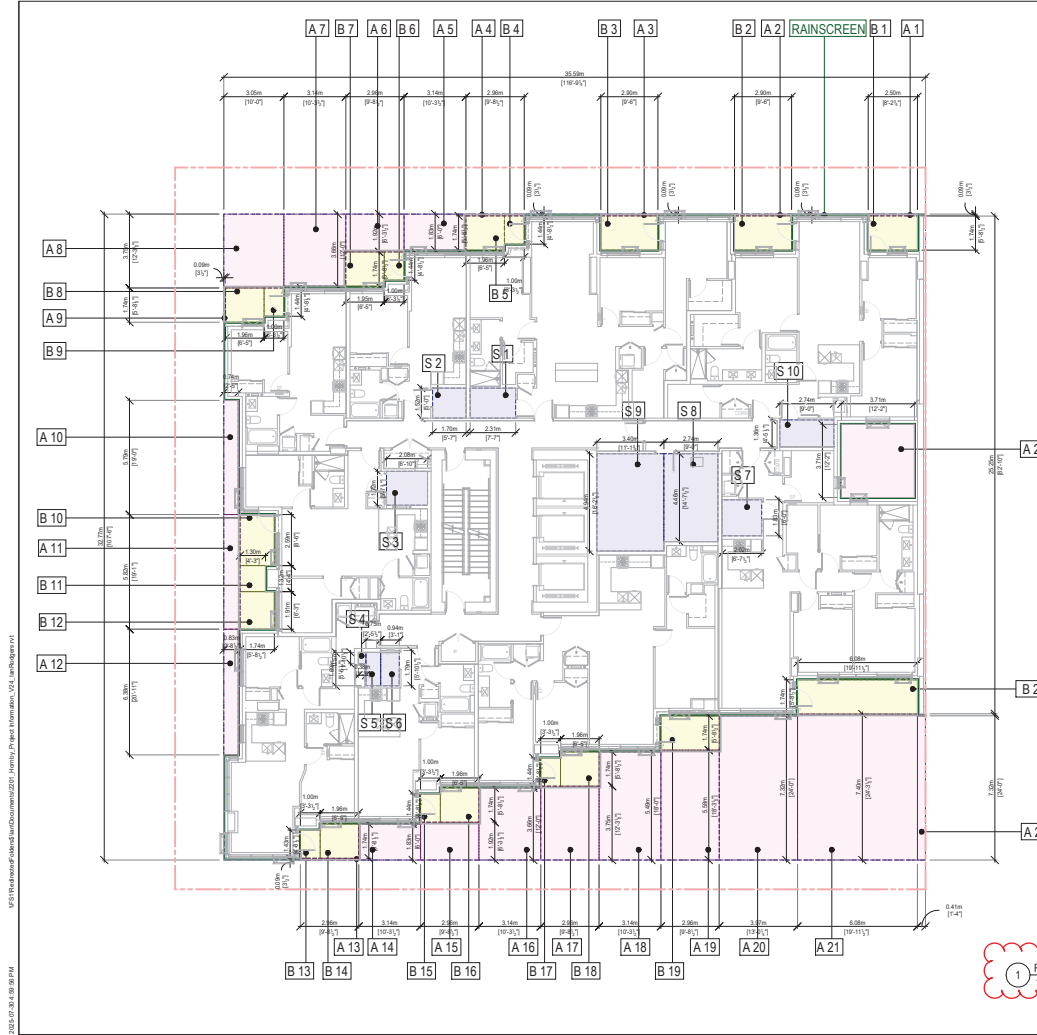
PROJECT NO: 2501  
 SCALE: AS NOTED  
 PLOT DATE: 2025-04-01  
 DRAWN BY: JR  
 CHECKED BY: JR

DRAWING #  
**DPa6.02**

FSR-Level 2 Tower + Amenity







LEVEL 5 GROSS PERIMETER AREA		107.50' X 116.78' =	12,553.85 SF
<b>AREA DEDUCTIONS</b>			
A 1	0.29' X 8.20'	=	2.38 SF
A 2	0.29' X 9.50'	=	2.76 SF
A 3	0.29' X 9.50'	=	2.76 SF
A 4	0.29' X 9.71'	=	2.82 SF
A 5	6.00' X 10.29'	=	61.74 SF
A 6	6.29' X 9.70'	=	61.01 SF
A 7	10.20' X 22.00'	=	226.00 SF
A 8	10.00' X 12.29'	=	122.90 SF
A 9	0.30' X 7.71'	=	2.31 SF
A 10	2.42' X 19.00'	=	45.98 SF
A 11	2.71' X 19.00'	=	51.71 SF
A 12	2.42' X 20.92'	=	50.63 SF
A 13	0.29' X 9.71'	=	2.82 SF
A 14	6.00' X 10.29'	=	61.74 SF
A 15	6.29' X 9.71'	=	61.00 SF
A 16	10.29' X 12.20'	=	123.48 SF
A 17	9.11' X 12.29'	=	111.94 SF
A 18	10.29' X 18.00'	=	185.22 SF
A 19	9.11' X 18.00'	=	164.00 SF
A 20	13.03' X 24.00'	=	312.72 SF
A 21	19.96' X 24.29'	=	484.83 SF
A 22	1.31' X 24.00'	=	31.50 SF
A 23	12.17' X 12.17'	=	148.11 SF
			2,237.36 SF
<b>BALCONY (OPEN)</b>			
B 1	5.11' X 8.20'	=	41.92 SF
B 2	5.11' X 9.50'	=	48.55 SF
B 3	5.11' X 9.50'	=	48.55 SF
B 4	3.28' X 4.71'	=	15.50 SF
B 5	5.11' X 6.42'	=	32.82 SF
B 6	3.29' X 4.71'	=	15.50 SF
B 7	5.11' X 6.41'	=	32.77 SF
B 8	5.11' X 6.42'	=	32.82 SF
B 9	3.29' X 4.71'	=	15.50 SF
B 10	5.11' X 9.50'	=	48.55 SF
B 11	4.25' X 4.29'	=	18.23 SF
B 12	5.11' X 6.25'	=	31.94 SF
B 13	3.29' X 4.70'	=	15.46 SF
B 14	5.11' X 6.42'	=	32.82 SF
B 15	3.29' X 4.71'	=	15.50 SF
B 16	5.11' X 6.42'	=	32.82 SF
B 17	3.29' X 4.71'	=	15.50 SF
B 18	5.11' X 6.42'	=	32.82 SF
B 19	5.11' X 9.71'	=	49.61 SF
B 20	6.51' X 10.64'	=	69.21 SF
<b>STORAGE</b>			
S 1	5.00' X 7.58'	=	37.90 SF
S 2	5.00' X 5.58'	=	27.90 SF
S 3	5.85' X 6.83'	=	40.06 SF
S 4	1.35' X 1.87'	=	2.54 SF
S 5	2.48' X 5.54'	=	13.83 SF
S 6	3.00' X 5.88'	=	17.54 SF
S 7	6.00' X 6.63'	=	39.78 SF
S 8	9.00' X 14.63'	=	131.67 SF
S 9	11.16' X 16.21'	=	180.90 SF
S 10	4.46' X 9.00'	=	40.14 SF
			740.19 SF
<b>RAINSCREEN</b>			
		0.17' X 472.35'	80.30 SF
			80.30 SF
<b>SUBTOTAL:</b>		(AREA DEDUCTIBLE + BALCONY + STORAGE + RAINSCREEN)	3,588.55 SF
<b>TOTAL NET AREA:</b>		(PERIMETER - AREA DEDUCTIBLE - BALCONY - STORAGE - RAINSCREEN)	8,965.30 SF

**Colour Legend**

- A (AREA DEDUCTIONS)
- B (BALCONY SPACE)
- CRU (COMMERCIAL RETAIL UNIT)
- RA (RESIDENTIAL AMENITY SPACE)
- S (STORAGE SPACE)
- SE (SERVICE/MECHANICAL SPACE)
- NET RESIDENTIAL AREA
- RAINSCREEN DEDUCTION

1 FSR-Level 5 Residential  
107' x 117'

RESERVED FOR CITY USE

1	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
2	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
3	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
4	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
5	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
6	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
7	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
8	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
9	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
10	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
11	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
12	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
13	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
14	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
15	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
16	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
17	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
18	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
19	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
20	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
21	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
22	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
23	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
24	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
25	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
26	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
27	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
28	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
29	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
30	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
31	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
32	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
33	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
34	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
35	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
36	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
37	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
38	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
39	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
40	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
41	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
42	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
43	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
44	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
45	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
46	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
47	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
48	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
49	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
50	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
51	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
52	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
53	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
54	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
55	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
56	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
57	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
58	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
59	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
60	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
61	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
62	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
63	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
64	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
65	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
66	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
67	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
68	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
69	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
70	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
71	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
72	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
73	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
74	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
75	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
76	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
77	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
78	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
79	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
80	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
81	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
82	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
83	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
84	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
85	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
86	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
87	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
88	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
89	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
90	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
91	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
92	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
93	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
94	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
95	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
96	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
97	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
98	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
99	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT
100	2024-04-15	REVISED FOR RESIDENTIAL AMENDMENT

Buffies Architecture Inc.

2024-04-15

Proposed Residential Development

Wall Financial Corporation

PROJECT NO: 2201

SCALE: AS NOTED

PLT DATE: 2022-08-01

DRAWN BY: JR

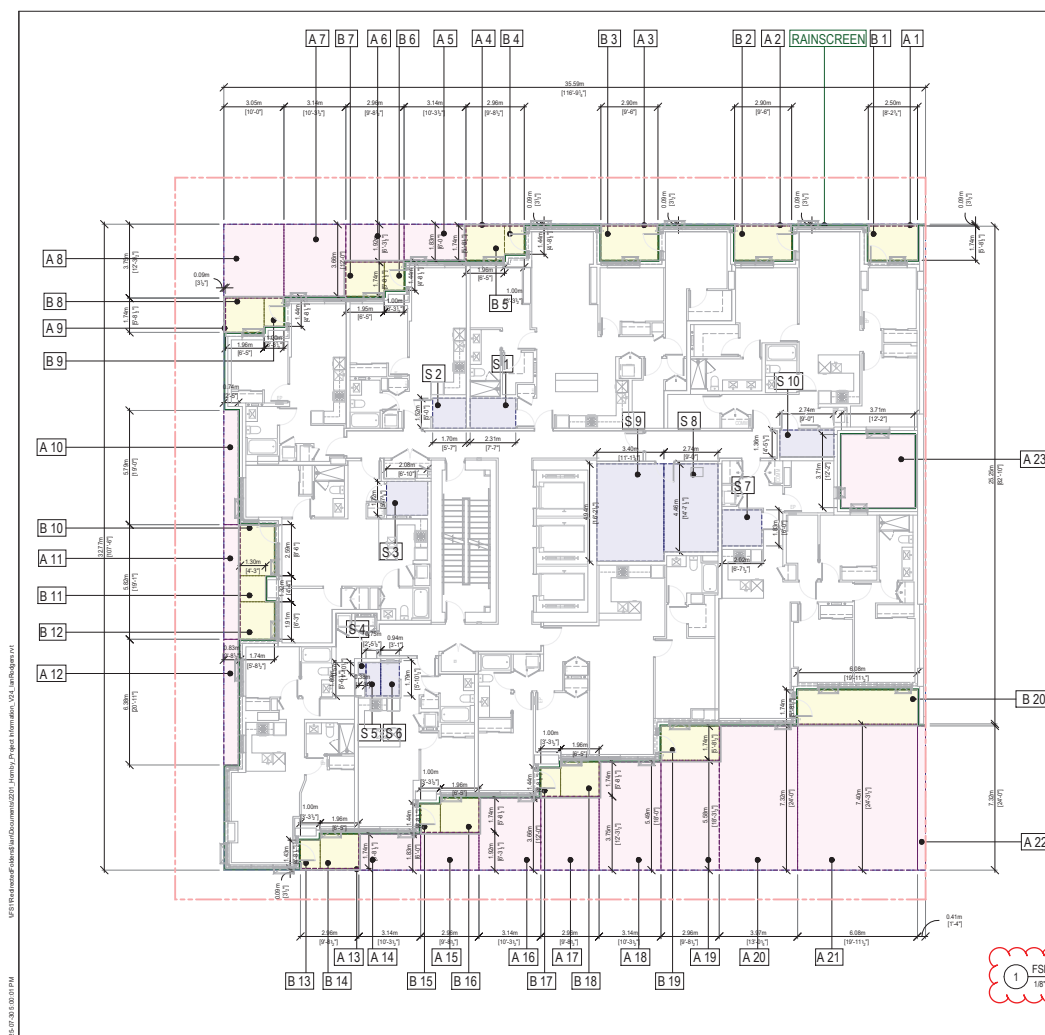
CHECKED BY: -

DRAWING #

**DPa6.05**

FSR-Level 5

2025-02-26 11:09:58 AM



LEVEL 6 GROSS PERIMETER AREA		
	107.50' X	116.78' = 12,553.85 SF
AREA DEDUCTIONS		
A 1	0.9' X	8.20' = 2.38 SF
A 2	0.9' X	9.50' = 2.76 SF
A 3	0.9' X	9.50' = 2.76 SF
A 4	0.9' X	9.71' = 2.82 SF
A 5	6.00' X	10.29' = 61.74 SF
A 6	6.9' X	9.70' = 63.01 SF
A 7	10.00' X	12.00' = 120.00 SF
A 8	10.00' X	12.29' = 122.90 SF
A 9	0.9' X	5.71' = 3.06 SF
A 10	2.42' X	19.00' = 45.98 SF
A 11	2.7' X	19.08' = 51.71 SF
A 12	2.42' X	20.92' = 50.63 SF
A 13	0.9' X	9.71' = 2.82 SF
A 14	6.00' X	10.29' = 61.74 SF
A 15	6.9' X	9.71' = 63.01 SF
A 16	10.00' X	12.00' = 120.00 SF
A 17	9.71' X	12.29' = 119.34 SF
A 18	10.00' X	18.00' = 180.00 SF
A 19	9.71' X	18.00' = 174.60 SF
A 20	13.00' X	24.00' = 312.00 SF
A 21	19.06' X	24.29' = 461.83 SF
A 22	1.3' X	24.00' = 31.92 SF
A 23	12.1' X	12.17' = 146.11 SF
<b>1,237.36 SF</b>		
BALCONY (OPEN)		
B 1	5.71' X	8.20' = 46.82 SF
B 2	5.71' X	9.50' = 54.25 SF
B 3	5.71' X	9.50' = 54.25 SF
B 4	3.9' X	4.71' = 15.50 SF
B 5	5.71' X	6.42' = 36.66 SF
B 6	3.9' X	4.71' = 15.50 SF
B 7	5.71' X	6.41' = 36.63 SF
B 8	5.71' X	6.42' = 36.66 SF
B 9	3.9' X	4.71' = 15.50 SF
B 10	5.71' X	8.50' = 48.54 SF
B 11	4.25' X	4.33' = 18.40 SF
B 12	5.71' X	6.25' = 35.69 SF
B 13	3.9' X	4.70' = 15.46 SF
B 14	5.71' X	6.42' = 36.66 SF
B 15	3.9' X	4.71' = 15.50 SF
B 16	5.71' X	6.42' = 36.66 SF
B 17	3.9' X	4.71' = 15.50 SF
B 18	5.71' X	6.42' = 36.66 SF
B 19	5.71' X	9.71' = 55.44 SF
B 20	5.71' X	10.94' = 114.97 SF
STORAGE		
S 1	5.00' X	7.58' = 37.90 SF
S 2	5.00' X	7.58' = 37.90 SF
S 3	5.5' X	6.83' = 38.59 SF
S 4	4.15' X	1.87' = 2.34 SF
S 5	2.4' X	5.54' = 13.63 SF
S 6	3.00' X	5.88' = 18.17 SF
S 7	6.00' X	6.63' = 39.78 SF
S 8	9.00' X	14.63' = 131.67 SF
S 9	11.6' X	16.21' = 188.90 SF
S 10	4.4' X	9.00' = 40.14 SF
RAINSREEN		
	0.17' X	472.35' = 80.30 SF
<b>80.30 SF</b>		
<b>SUBTOTAL (AREA DEDUCTIBLE + BALCONY + STORAGE + RAINSREEN) 1,588.55 SF</b>		
<b>TOTAL NET AREA (PERIMETER - AREA DEDUCTIBLE - BALCONY - STORAGE - RAINSREEN) 1,069.85 SF</b>		

**Colour Legend**

- A (AREA DEDUCTIONS)
- B (BALCONY SPACE)
- CRU (COMMERCIAL RETAIL UNIT)
- RA (RESIDENTIAL AMENITY SPACE)
- S (STORAGE SPACE)
- SE (SERVICE/MECHANICAL SPACE)
- NET RESIDENTIAL AREA
- Z (RAINSREEN DEDUCTION)

1 FSR-Level 6 Residential  
1.85 + 1.0'

RESERVED FOR CITY USE

1	2023-04-17	REVISED AND REBUILT FOR RESIDENTIAL
2	2023-04-17	REVISED FOR RESIDENTIAL
3	2023-04-17	REVISED FOR RESIDENTIAL
4	2023-04-17	REVISED FOR RESIDENTIAL
5	2023-04-17	REVISED FOR RESIDENTIAL
6	2023-04-17	REVISED FOR RESIDENTIAL

SEAL: [Professional Engineer Seal]

**Buffies Architecture Inc.**  
 1000 West Beaver Creek Rd, Suite 100, Richmond Hill, ON L4B 1N7  
 Tel: (905) 882-8888  
 Fax: (905) 882-8889  
 www.buffiesarchitecture.com

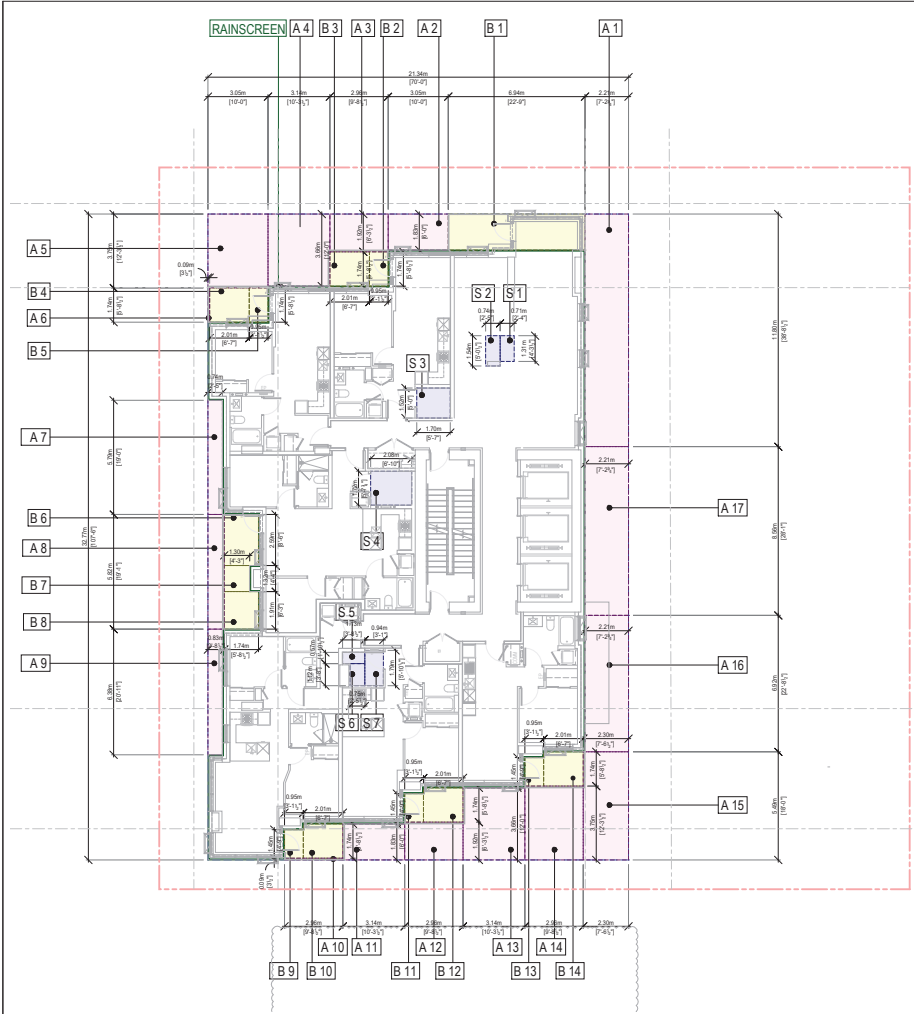
**Proposed Residential Development**  
 880 Denison St. Unit 101, Toronto, ON M6J 1C5  
 Wall Financial Corporation  
 (905) 882-8888  
 Toronto, Ontario M6J 1C5

PROJECT NO: 2201  
 SCALE: AS SHOWN  
 PLOT DATE: 2023-04-17  
 DRAWN BY: JR  
 CHECKED BY: [Signature]  
 DRAWING #: DPa6.06

FSR-Level 6



W:\Projects\2025\25-08-01\25-08-01-FSR-Level 8-30 Residential.dwg, 2025-08-01 10:33 AM



LEVEL 8-30			
GROSS PERIMETER AREA			
	70.00' X	107.50' =	7,525.00 SF
<b>AREA DEDUCTIONS</b>			
A 1	7.14' X	38.71' =	280.26 SF
A 2	0.28' X	9.71' =	2.82 SF
A 3	6.00' X	10.29' =	61.74 SF
A 4	6.29' X	9.70' =	61.01 SF
A 5	10.20' X	12.20' =	125.40 SF
A 6	10.00' X	12.29' =	122.90 SF
A 7	0.28' X	5.71' =	1.66 SF
A 8	2.12' X	19.00' =	40.28 SF
A 9	2.1' X	19.08' =	51.71 SF
A 10	2.12' X	20.92' =	50.63 SF
A 11	0.28' X	9.71' =	2.82 SF
A 12	6.00' X	10.29' =	61.74 SF
A 13	6.29' X	9.71' =	61.09 SF
A 14	10.20' X	12.20' =	123.48 SF
A 15	9.71' X	12.29' =	119.34 SF
A 16	7.54' X	18.00' =	135.72 SF
A 17	7.14' X	22.71' =	162.42 SF
A 18	7.14' X	28.08' =	201.30 SF
			1,647.20 SF
<b>BALCONY (OPEN)</b>			
B 1	5.71' X	9.71' =	55.44 SF
B 2	3.18' X	5.71' =	17.87 SF
B 3	5.71' X	6.58' =	37.57 SF
B 4	5.71' X	6.58' =	37.57 SF
B 5	3.18' X	5.71' =	17.87 SF
B 6	5.71' X	8.50' =	48.54 SF
B 7	4.51' X	4.33' =	18.40 SF
B 8	5.71' X	6.25' =	35.69 SF
B 9	3.18' X	4.75' =	14.87 SF
B 10	5.71' X	6.58' =	37.57 SF
B 11	3.18' X	4.75' =	14.87 SF
B 12	5.71' X	6.58' =	37.37 SF
B 13	3.18' X	4.75' =	14.87 SF
B 14	5.71' X	6.58' =	37.57 SF
			426.38 SF
<b>STORAGE</b>			
S 1	5.90' X	5.25' =	26.25 SF
S 2	5.38' X	7.31' =	39.85 SF
S 3	5.00' X	5.38' =	26.90 SF
S 4	3.71' X	5.33' =	19.77 SF
S 5	3.89' X	5.67' =	17.52 SF
S 6	2.18' X	4.28' =	9.37 SF
S 7	2.42' X	5.04' =	12.20 SF
			151.46 SF
<b>RAINSCREEN</b>			
	0.13' X	360.00' =	61.20 SF
			61.20 SF
<b>SUBTOTAL: (AREA DEDUCTIBLE + BALCONY + STORAGE + RAINSCREEN)</b>			
			1,286.20 SF
<b>TOTAL NET AREA: (PERIMETER - AREA DEDUCTIBLE - BALCONY - STORAGE - RAINSCREEN)</b>			
			6,238.80 SF

1 FSR-Level 8 - 30 Residential  
 1/8" = 1'-0"

**Colour Legend**

<span style="display: inline-block; width: 15px; height: 15px; background-color: #ADD8E6; border: 1px solid black;"></span>	A (AREA DEDUCTIONS)
<span style="display: inline-block; width: 15px; height: 15px; background-color: #FFFF00; border: 1px solid black;"></span>	B (BALCONY SPACE)
<span style="display: inline-block; width: 15px; height: 15px; background-color: #90EE90; border: 1px solid black;"></span>	CRU (COMMERCIAL RETAIL UNIT)
<span style="display: inline-block; width: 15px; height: 15px; background-color: #E0E0FF; border: 1px solid black;"></span>	RA (RESIDENTIAL AMENITY UNIT)
<span style="display: inline-block; width: 15px; height: 15px; background-color: #E0E0FF; border: 1px solid black;"></span>	S (STORAGE SPACE)
<span style="display: inline-block; width: 15px; height: 15px; background-color: #FFDAB9; border: 1px solid black;"></span>	SE (SERVICE/MECHANICAL SPACE)
<span style="display: inline-block; width: 15px; height: 15px; background-color: #FFFFFF; border: 1px solid black;"></span>	NET RESIDENTIAL AREA
<span style="display: inline-block; width: 15px; height: 15px; border: 2px dashed black;"></span>	Z' RAINSCREEN DEDUCTION

RESERVED FOR CITY USE

1	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
2	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
3	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
4	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
5	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
6	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
7	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
8	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
9	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
10	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
11	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
12	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
13	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
14	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
15	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
16	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
17	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
18	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
19	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL
20	2025-08-01	REVISED FOR FSR-LEVEL 8-30 RESIDENTIAL



**Buffies Architecture Inc.**

1000 West Beaver Creek Road  
 Suite 100  
 Richmond Hill, Ontario L4B 1N2  
 Canada

Telephone: (905) 882-5552  
 Facsimile: (905) 882-5553  
 www.buffiesarchitecture.com

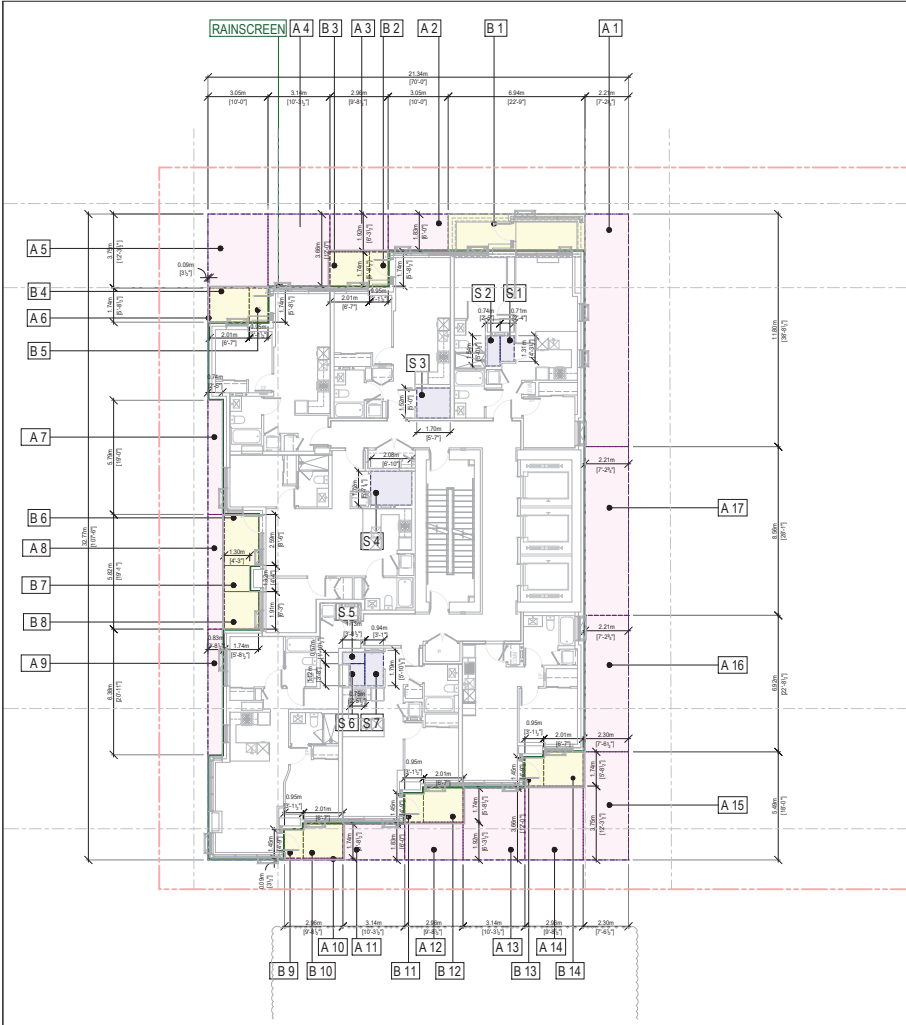
**Proposed Residential Development**

180 Dundas Street West, Toronto, Ontario M5G 1C5

Watt Financial Corporation  
 (incorporated in Ontario)  
 Toronto, Ontario M5G 1C5

PROJECT NO.	2501
SCALE	AS NOTED
PLOT DATE	2025-08-01
DRAWN BY	JR
CHECKED BY	-
DRAWING #	DPa6.08
FSR-Level 8-30	

UP:\Projects\2025\2501\Drawings\2501\_2501\_01\_00\_18.Plan.dwg  
 2025-02-20 10:18 AM



LEVEL 31			
GROSS PERIMETER AREA			
	70.00' X	107.50' X	7,525.00 SF
<b>AREA DEDUCTIONS</b>			
A 1	7.24' X	34.71' X	250.26 SF
A 2	6.00' X	10.00' X	60.00 SF
A 3	6.29' X	9.70' X	61.01 SF
A 4	10.30' X	12.00' X	123.60 SF
A 5	10.00' X	12.29' X	122.90 SF
A 6	0.29' X	5.71' X	1.66 SF
A 7	2.42' X	19.00' X	45.98 SF
A 8	2.31' X	19.06' X	51.71 SF
A 9	2.42' X	20.92' X	50.63 SF
A 10	0.29' X	9.71' X	2.82 SF
A 11	6.00' X	10.29' X	61.74 SF
A 12	6.29' X	9.71' X	61.08 SF
A 13	10.29' X	12.00' X	123.48 SF
A 14	9.11' X	12.29' X	111.94 SF
A 15	7.54' X	18.00' X	135.72 SF
A 16	7.24' X	22.71' X	164.42 SF
A 17	7.24' X	28.68' X	207.30 SF
			1,669.21 SF
<b>BALCONY (OPEN)</b>			
B 1	6.00' X	22.76' X	136.56 SF
B 2	3.19' X	5.71' X	17.87 SF
B 3	5.11' X	6.58' X	33.57 SF
B 4	3.19' X	5.71' X	17.87 SF
B 5	5.11' X	6.58' X	33.57 SF
B 6	5.11' X	8.50' X	43.54 SF
B 7	4.26' X	4.33' X	18.40 SF
B 8	5.11' X	6.25' X	35.69 SF
B 9	3.19' X	4.75' X	14.87 SF
B 10	5.11' X	6.58' X	33.57 SF
B 11	3.19' X	4.75' X	14.87 SF
B 12	5.11' X	6.58' X	33.57 SF
B 13	3.19' X	4.75' X	14.87 SF
B 14	5.11' X	6.58' X	33.57 SF
			507.39 SF
<b>STORAGE</b>			
S 1	5.1' X	4.28' X	9.97 SF
S 2	2.40' X	5.04' X	12.20 SF
S 3	5.00' X	5.58' X	27.90 SF
S 4	5.05' X	6.83' X	38.59 SF
S 5	1.87' X	3.71' X	6.94 SF
S 6	2.46' X	3.67' X	9.03 SF
S 7	3.00' X	5.88' X	18.17 SF
			124.80 SF
<b>RAINSCREEN</b>			
	0.17' X	338.24' X	57.50 SF
			57.50 SF
<b>SUBTOTAL: (AREA DEDUCTIBLE + BALCONY + STORAGE + RAINSCREEN)</b>			
			2,358.70 SF
<b>TOTAL NET AREA: (PERIMETER - AREA DEDUCTIBLE - STOR - BALCONY - RAINSCREEN)</b>			
			5,166.30 SF

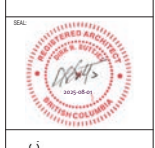
① FSR-Level 31 Residential  
 1/8" = 1'-0"

**Colour Legend**

- A (AREA DEDUCTIONS)
- B (BALCONY SPACE)
- CRU (COMMERCIAL RETAIL UNIT)
- RA (RESIDENTIAL AMENITY SPACE)
- S (STORAGE SPACE)
- SE (SERVICE/MECHANICAL SPACE)
- NET RESIDENTIAL AREA
- Z (RAINSCREEN DEDUCTION)

RESERVED FOR CITY USE

1 2025-04-17 REVIEW AND REVISION FOR RESIDENTIAL AMENDMENT  
 2 2025-02-20 REVISION FOR RESIDENTIAL AMENDMENT 2025 (01)  
 3 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 4 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 5 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 6 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 7 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 8 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 9 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 10 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 11 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 12 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 13 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 14 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 15 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 16 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 17 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 18 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 19 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)  
 20 2025-02-20 REVISION FOR FINAL CLARIFICATION (01) (01)



**Buffies Architecture Inc.**

Registered Professional Architect  
 2025-04-01

Buffies Architecture Inc.  
 1000 West Beaver Creek Road  
 Suite 100  
 Richmond Hill, Ontario L4B 1N2  
 Canada  
 Tel: (905) 882-8888  
 Fax: (905) 882-8889  
 www.buffiesarchitecture.com

**Proposed Residential Development**

180 Dundas Street West, Toronto, Ontario, Canada  
 180 Dundas Street West, Toronto, Ontario, Canada  
 180 Dundas Street West, Toronto, Ontario, Canada

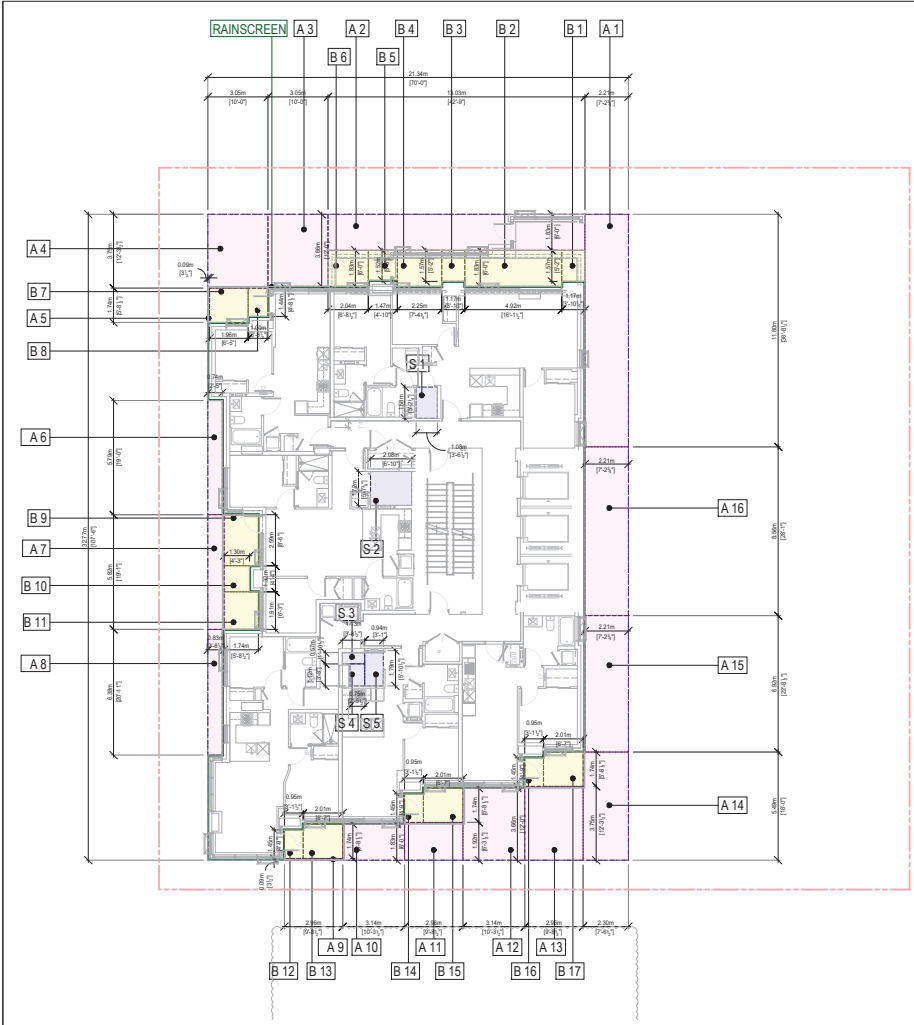
**Wall Financial Corporation**  
 180 Dundas Street West, Toronto, Ontario, Canada

PROJECT NO: 2501  
 SCALE: AS NOTED  
 PLOT DATE: 2025-04-01  
 DRAWN BY: JR  
 CHECKED BY: -  
 DRAWING #

**DPa6.09**

FSR-Level 31

U:\Projects\2025\2502\2502\_01\Drawings\2502\_01\_01\2502\_01\_01\_01.dwg  
 2025-02-26 10:00:28 AM



LEVEL 32			
GROSS PERIMETER AREA			
	70.00' X	107.50' X	7,525.00 SF
AREA DEDUCTIONS			
A.1	7.14' X	38.71' X	280.26 SF
A.2	6.00' X	42.76' X	256.56 SF
A.3	10.00' X	12.00' X	120.00 SF
A.4	10.00' X	12.29' X	122.90 SF
A.5	0.29' X	5.71' X	1.66 SF
A.6	2.12' X	19.00' X	40.28 SF
A.7	2.73' X	19.08' X	51.71 SF
A.8	2.42' X	20.92' X	50.63 SF
A.9	0.28' X	9.51' X	2.62 SF
A.10	6.00' X	10.29' X	61.74 SF
A.11	6.39' X	9.71' X	61.08 SF
A.12	10.19' X	12.00' X	122.28 SF
A.13	9.73' X	12.29' X	119.34 SF
A.14	7.54' X	18.00' X	135.72 SF
A.15	7.14' X	22.71' X	161.42 SF
A.16	7.14' X	28.08' X	200.30 SF
			1,806.40 SF
BALCONY (OPEN)			
B.1	3.85' X	5.17' X	19.90 SF
B.2	6.00' X	16.14' X	96.84 SF
B.3	3.83' X	5.17' X	19.80 SF
B.4	0.90' X	7.60' X	6.84 SF
B.5	4.83' X	5.00' X	24.15 SF
B.6	6.00' X	6.71' X	40.26 SF
B.7	5.71' X	6.42' X	36.66 SF
B.8	3.28' X	5.71' X	18.79 SF
B.9	5.71' X	8.50' X	48.54 SF
B.10	4.51' X	4.33' X	19.40 SF
B.11	5.71' X	6.25' X	35.69 SF
B.12	3.13' X	4.75' X	14.87 SF
B.13	5.71' X	6.58' X	37.57 SF
B.14	3.13' X	4.75' X	14.87 SF
B.15	5.71' X	6.58' X	37.57 SF
B.16	3.13' X	4.75' X	14.87 SF
B.17	5.71' X	6.58' X	37.57 SF
			560.74 SF
STORAGE			
S.1	3.54' X	5.30' X	18.81 SF
S.2	5.00' X	4.83' X	24.15 SF
S.3	1.87' X	3.71' X	6.94 SF
S.4	2.46' X	3.67' X	9.03 SF
S.5	3.99' X	5.88' X	18.17 SF
			91.13 SF
RAINSCREEN			
	0.17' X	335.45' X	57.03 SF
			57.03 SF
SUBTOTAL (AREA DEDUCTIBLE + BALCONY + STORAGE + RAINSCREEN)			
			2,515.30 SF
TOTAL NET AREA (PERIMETER - AREA DEDUCTIBLE - STOR - BALCONY - RAINSCREEN)			
			5,009.70 SF

1 FSR-Level 32 Residential  
 1/8" = 1'-0"

Colour Legend	
A	(AREA DEDUCTIONS)
B	(BALCONY SPACE)
CRU	(COMMERCIAL RETAIL UNIT)
RA	(RESIDENTIAL AMENITY SPACE)
S	(STORAGE SPACE)
SE	(SERVICE/MECHANICAL SPACE)
NET	NET RESIDENTIAL AREA
Z	RAINSCREEN DEDUCTION

RESERVED FOR CITY USE

1	255-847	REVISED AND REBUILT FOR RESIDENTIAL DEVELOPMENT	BUELL COLE
1	255-847	REVISION FOR PERMITS AND CITY REVIEW	BUELL COLE
1	255-847	REVISION FOR PERMITS AND CITY REVIEW	BUELL COLE
1	255-847	REVISION FOR PERMITS AND CITY REVIEW	BUELL COLE
1	255-847	REVISION FOR PERMITS AND CITY REVIEW	BUELL COLE
1	255-847	REVISION FOR PERMITS AND CITY REVIEW	BUELL COLE
1	255-847	REVISION FOR PERMITS AND CITY REVIEW	BUELL COLE
1	255-847	REVISION FOR PERMITS AND CITY REVIEW	BUELL COLE
1	255-847	REVISION FOR PERMITS AND CITY REVIEW	BUELL COLE
1	255-847	REVISION FOR PERMITS AND CITY REVIEW	BUELL COLE

**Buttles Architecture Inc.**

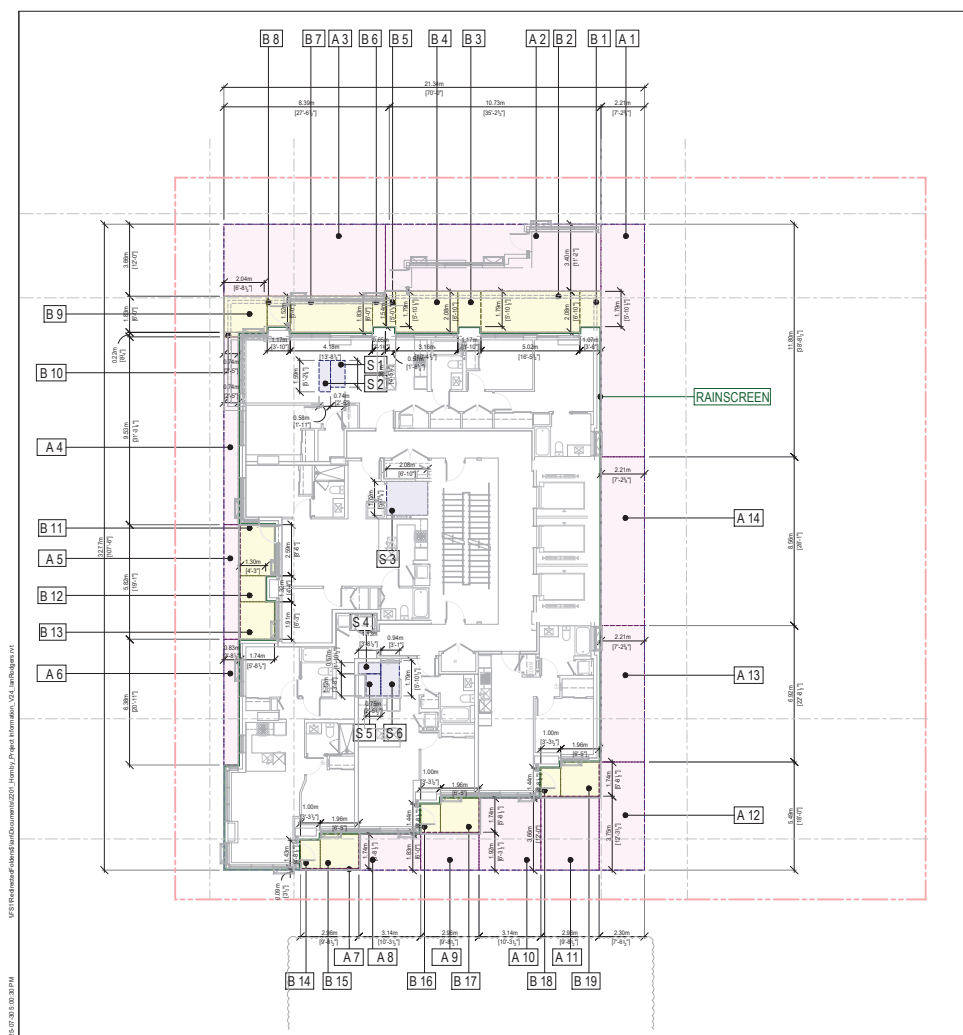
10000 NW 25th Street, Suite 200  
 Fort Lauderdale, FL 33309  
 Phone: (954) 381-1100  
 Fax: (954) 381-1101  
 www.buttlesarchitecture.com

**Proposed Residential Development**  
 888 SW 15th Street, Suite 100  
 Fort Lauderdale, FL 33309  
 Wall Financial Corporation  
 10000 NW 25th Street, Suite 200  
 Fort Lauderdale, FL 33309

PROJECT NO:	2501
SCALE:	AS NOTED
PLUT DATE:	2025-08-01
DRAWN BY:	JR
CHECKED BY:	-
DRAWING #:	

DPa6.10

FSR-Level 32



LEVEL 33			
GROSS PERIMETER AREA	70.00' X	107.50' =	7,525.00 SF
AREA DEDUCTIONS			
A 1	7.34' X	38.71' =	282.26 SF
A 2	11.04' X	35.21' =	388.72 SF
A 3	12.00' X	27.54' =	330.48 SF
A 4	2.42' X	32.00' =	77.44 SF
A 5	2.11' X	19.08' =	40.25 SF
A 6	2.42' X	20.93' =	50.63 SF
A 7	0.29' X	9.71' =	2.82 SF
A 8	6.00' X	10.29' =	61.74 SF
A 9	6.29' X	9.71' =	61.08 SF
A 10	10.29' X	12.00' =	123.48 SF
A 11	9.71' X	12.29' =	119.34 SF
A 12	7.34' X	18.00' =	132.12 SF
A 13	7.34' X	22.71' =	166.42 SF
A 14	7.34' X	28.08' =	206.30 SF
			2,064.00 SF
BALCONY (OPEN)			
B 1	3.31' X	5.88' =	20.64 SF
B 2	6.83' X	16.47' =	112.49 SF
B 3	3.83' X	5.88' =	22.52 SF
B 4	6.83' X	10.36' =	70.76 SF
B 5	1.89' X	5.87' =	9.92 SF
B 6	2.65' X	5.04' =	10.84 SF
B 7	6.00' X	13.70' =	82.20 SF
B 8	3.83' X	5.00' =	19.15 SF
B 9	6.00' X	6.71' =	40.26 SF
B 10	0.19' X	2.41' =	1.77 SF
B 11	5.71' X	8.50' =	48.54 SF
B 12	4.25' X	4.33' =	18.40 SF
B 13	5.71' X	6.25' =	35.69 SF
B 14	3.29' X	4.29' =	15.46 SF
B 15	5.71' X	6.42' =	36.66 SF
B 16	3.29' X	4.71' =	15.50 SF
B 17	5.71' X	4.42' =	25.24 SF
B 18	3.29' X	4.21' =	15.50 SF
B 19	5.71' X	6.42' =	36.66 SF
			649.60 SF
STORAGE			
S 1	2.40' X	4.46' =	10.70 SF
S 2	1.52' X	5.23' =	10.02 SF
S 3	5.65' X	6.83' =	38.59 SF
S 4	1.89' X	3.71' =	6.94 SF
S 5	2.46' X	3.87' =	9.03 SF
S 6	3.09' X	3.88' =	18.17 SF
			93.52 SF
RAINSCREEN			
	0.17' X	324.00' =	55.08 SF
			55.00 SF
SUBTOTAL: (AREA DEDUCTIBLE + BALC + STOR + RAINSCREEN)			
			2,862.10 SF
TOTAL NET AREA: (PERIMETER - AREA DEDUCTIBLE - BALC - STOR - RAINSCREEN)			
			4,662.90 SF

**Colour Legend**

- A (AREA DEDUCTIONS)
- B (BALCONY SPACE)
- CRU (COMMERCIAL RETAIL UNIT)
- RA (RESIDENTIAL AMENITY SPACE)
- S (STORAGE SPACE)
- SE (SERVICE/MECHANICAL SPACE)
- NET RESIDENTIAL AREA
- Z' RAINSCREEN DEDUCTION

1 FSR-Level 33 Residential  
1/8" = 1/0"

RESERVED FOR CITY USE

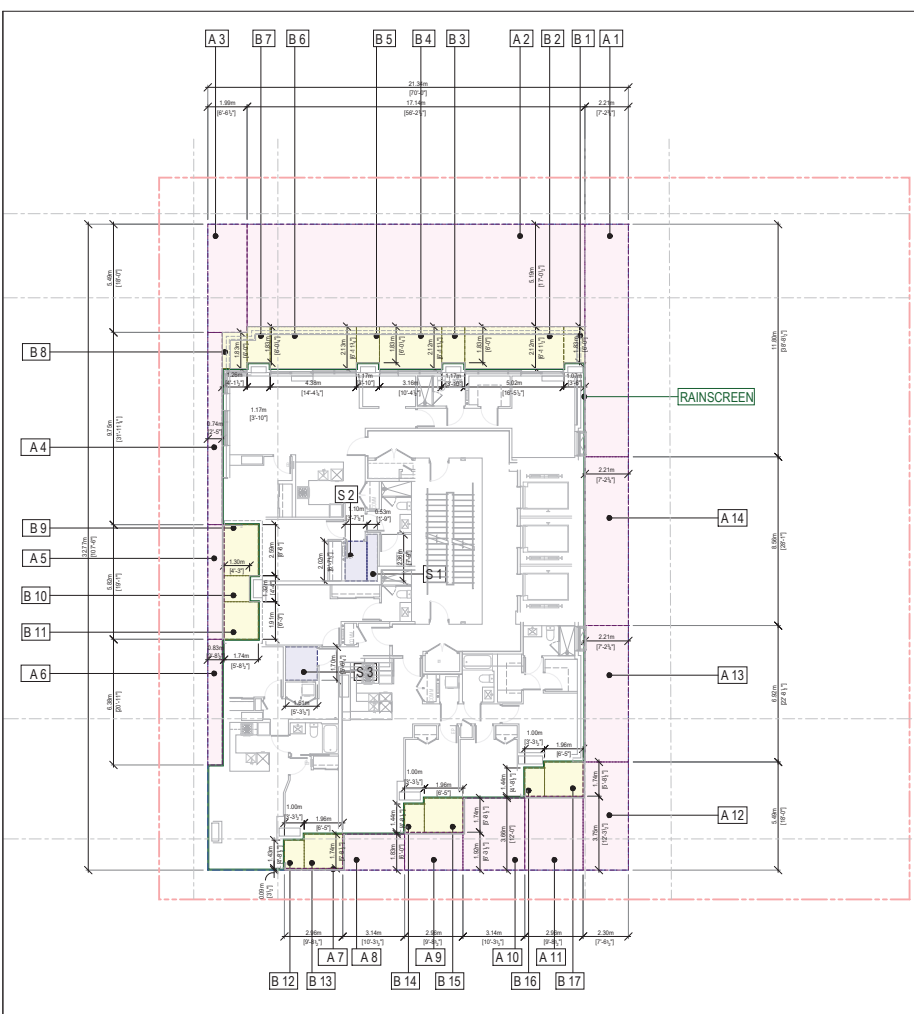
1	2025-04-01	REVISED AND REBUILT FOR RESIDENTIAL AMENDMENT
2	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
3	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
4	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
5	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
6	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
7	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
8	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
9	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
10	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
11	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
12	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
13	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
14	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
15	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
16	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
17	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
18	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
19	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
20	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
21	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
22	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
23	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
24	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
25	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
26	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
27	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
28	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
29	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
30	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
31	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
32	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
33	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
34	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
35	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
36	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
37	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
38	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
39	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
40	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
41	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
42	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
43	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
44	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
45	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
46	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
47	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
48	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
49	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
50	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
51	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
52	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
53	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
54	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
55	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
56	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
57	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
58	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
59	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
60	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
61	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
62	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
63	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
64	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
65	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
66	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
67	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
68	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
69	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
70	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
71	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
72	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
73	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
74	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
75	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
76	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
77	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
78	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
79	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
80	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
81	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
82	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
83	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
84	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
85	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
86	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
87	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
88	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
89	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
90	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
91	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
92	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
93	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
94	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
95	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
96	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
97	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
98	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
99	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT
100	2025-04-01	REBUILT FOR RESIDENTIAL AMENDMENT

Seal: PROFESSIONAL ARCHITECT, BUIFFIES ARCHITECTURE INC., 2025-04-01

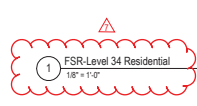
**Proposed Residential Development**  
WFL Financial Corporation  
10000 Lake Center Circle 200  
Tampa, FL 33637

PROJECT NO: 2201  
SCALE: AS NOTED  
PLOT DATE: 2025-04-01  
DRAWN BY: JR  
CHECKED BY: -  
DRAWING #: DPa6.11  
FSR-Level 33

2025-02-20 11:00:38 AM  
 \\P:\Projects\2025\2501\2501-01\Drawings\2501-01-01\Level 34 Residential.dwg  
 User: jhughes



LEVEL 34		70.00' X 107.50' = 7,525.00 SF	
<b>GROSS PERIMETER AREA</b>			
<b>AREA DEDUCTIONS</b>			
A.1	7.14' X 38.71' =	278.25 SF	
A.2	17.04' X 56.21' =	957.82 SF	
A.3	6.54' X 18.00' =	117.72 SF	
A.4	2.42' X 33.98' =	77.39 SF	
A.5	2.13' X 33.08' =	51.71 SF	
A.6	2.42' X 20.92' =	50.63 SF	
A.7	0.28' X 9.71' =	2.82 SF	
A.8	6.00' X 10.29' =	61.74 SF	
A.9	6.29' X 9.71' =	61.09 SF	
A.10	10.29' X 12.00' =	123.48 SF	
A.11	9.11' X 12.29' =	111.94 SF	
A.12	7.54' X 18.00' =	135.72 SF	
A.13	7.14' X 22.71' =	161.42 SF	
A.14	7.14' X 28.08' =	200.30 SF	
			<b>1,415.37 SF</b>
<b>BALCONY (OPEN)</b>			
B.1	3.51' X 6.00' =	21.06 SF	
B.2	6.96' X 16.47' =	114.63 SF	
B.3	3.83' X 6.00' =	22.98 SF	
B.4	6.96' X 10.36' =	72.11 SF	
B.5	3.83' X 6.02' =	23.05 SF	
B.6	6.97' X 14.85' =	103.62 SF	
B.7	3.84' X 6.02' =	23.12 SF	
B.8	4.13' X 6.00' =	24.78 SF	
B.9	5.11' X 8.50' =	43.44 SF	
B.10	4.25' X 4.31' =	18.40 SF	
B.11	5.71' X 6.25' =	35.69 SF	
B.12	3.29' X 4.71' =	15.50 SF	
B.13	5.11' X 6.42' =	32.82 SF	
B.14	3.29' X 4.71' =	15.50 SF	
B.15	5.71' X 6.42' =	36.66 SF	
B.16	3.29' X 4.71' =	15.50 SF	
B.17	5.71' X 6.42' =	36.66 SF	
			<b>660.84 SF</b>
<b>STORAGE</b>			
S.1	1.35' X 7.75' =	13.56 SF	
S.2	3.83' X 6.63' =	25.47 SF	
S.3	3.29' X 5.53' =	18.29 SF	
			<b>67.29 SF</b>
<b>RAINSCREEN</b>			
R.1	0.17' X 311.18' =	52.90 SF	
			<b>52.90 SF</b>
<b>SUBTOTAL:</b>		<b>(AREA DEDUCTIBLE + BALCONY + STORAGE + RAINSCREEN)</b>	
		<b>1,196.30 SF</b>	
<b>TOTAL NET AREA:</b>		<b>(PERIMETER - AREA DEDUCTIBLE - BALCONY - STORAGE - RAINSCREEN)</b>	
		<b>1,328.80 SF</b>	



**Colour Legend**

<span style="display: inline-block; width: 10px; height: 10px; background-color: #f0f0f0; border: 1px solid black;"></span>	A (AREA DEDUCTIONS)
<span style="display: inline-block; width: 10px; height: 10px; background-color: #e0e0e0; border: 1px solid black;"></span>	B (BALCONY SPACE)
<span style="display: inline-block; width: 10px; height: 10px; background-color: #d0d0d0; border: 1px solid black;"></span>	CRU (COMMERCIAL RETAIL UNIT)
<span style="display: inline-block; width: 10px; height: 10px; background-color: #c0c0c0; border: 1px solid black;"></span>	RA (RESIDENTIAL ANEITY SPACE)
<span style="display: inline-block; width: 10px; height: 10px; background-color: #b0b0b0; border: 1px solid black;"></span>	S (STORAGE SPACE)
<span style="display: inline-block; width: 10px; height: 10px; background-color: #a0a0a0; border: 1px solid black;"></span>	SE (SERVICE/MECHANICAL SPACE)
<span style="display: inline-block; width: 10px; height: 10px; background-color: #909090; border: 1px solid black;"></span>	NET RESIDENTIAL AREA
<span style="display: inline-block; width: 10px; height: 10px; background-color: #808080; border: 1px solid black;"></span>	Z' RAINSCREEN DEDUCTION

RESERVED FOR CITY USE

1	REVISED AND REBUILT FOR RESIDENTIAL DEVELOPMENT	
2	REVISED FOR PERMITS	
3	REVISED FOR PERMITS	
4	REVISED FOR PERMITS	
5	REVISED FOR PERMITS	
6	REVISED FOR PERMITS	
7	REVISED FOR PERMITS	
8	REVISED FOR PERMITS	
9	REVISED FOR PERMITS	
10	REVISED FOR PERMITS	
11	REVISED FOR PERMITS	
12	REVISED FOR PERMITS	
13	REVISED FOR PERMITS	
14	REVISED FOR PERMITS	
15	REVISED FOR PERMITS	
16	REVISED FOR PERMITS	
17	REVISED FOR PERMITS	
18	REVISED FOR PERMITS	
19	REVISED FOR PERMITS	
20	REVISED FOR PERMITS	

Buttles Architecture Inc.

10000 West 11th Street  
 Suite 100  
 Fort Lauderdale, FL 33324  
 Phone: (954) 381-5100  
 Fax: (954) 381-5101  
 www.buttlesarchitecture.com

**Proposed Residential Development**

1800 S.W. 11th Street, Ft. Lauderdale, FL 33324

Wall Financial Corporation

Project No: 2501

Scale: AS NOTED

Plot Date: 2025-04-01

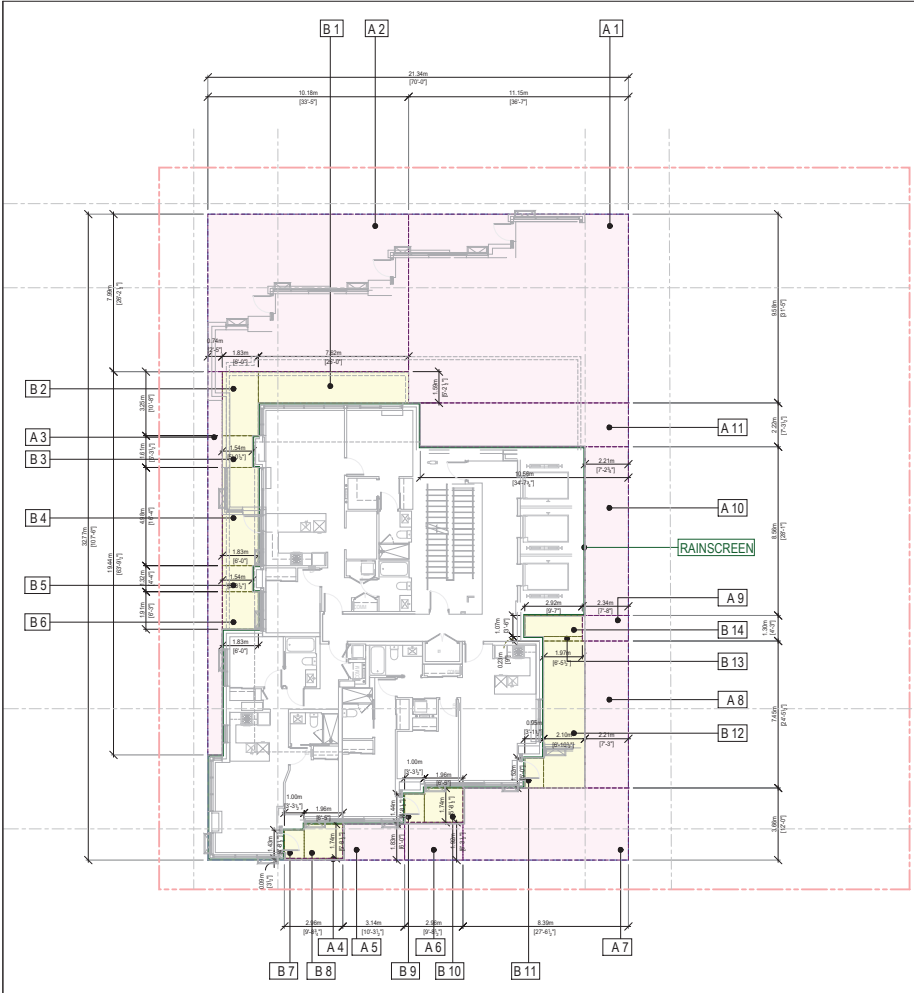
Drawn By: JR

Checked By: -

Drawing #: **DPa6.12**

FSR-Level 34

2025-02-26 10:00:41 PM  
 \\FSR\residential\shared\Documents\2201\_Harvey\_P\Project Information\_V04\_Landmark.rvt



LEVEL 35 GROSS PERIMETER AREA		70.00' X 107.50' =	7,525.00 SF
<b>AREA DEDUCTIONS</b>			
A.1	31.2' X 36.5'	=	1,149.66 SF
A.2	26.2' X 33.4'	=	875.68 SF
A.3	2.4' X 63.7'	=	154.37 SF
A.4	0.9' X 9.7'	=	2.82 SF
A.5	6.8' X 10.2'	=	69.74 SF
A.6	6.2' X 9.7'	=	61.08 SF
A.7	12.8' X 27.5'	=	350.48 SF
A.8	7.5' X 24.6'	=	177.34 SF
A.9	4.5' X 7.8'	=	32.65 SF
A.10	7.8' X 28.0'	=	202.30 SF
A.11	7.9' X 34.6'	=	252.53 SF
			1,296.17 SF
<b>BALCONY (OPEN)</b>			
B.1	5.3' X 24.9'	=	130.20 SF
B.2	6.0' X 10.4'	=	64.02 SF
B.3	5.8' X 5.2'	=	26.66 SF
B.4	6.8' X 16.3'	=	98.04 SF
B.5	4.3' X 5.0'	=	21.82 SF
B.6	6.0' X 6.2'	=	37.50 SF
B.7	3.9' X 4.7'	=	15.46 SF
B.8	5.7' X 6.4'	=	36.66 SF
B.9	3.9' X 4.7'	=	15.50 SF
B.10	5.7' X 6.4'	=	36.66 SF
B.11	3.3' X 5.0'	=	15.65 SF
B.12	6.8' X 24.6'	=	168.28 SF
B.13	0.7' X 6.6'	=	4.85 SF
B.14	3.0' X 9.5'	=	33.53 SF
			704.83 SF
<b>STORAGE</b>			
S.1	0.0' X 0.0'	=	0.00 SF
			0.00 SF
<b>RAINSCREEN</b>			
R.1	0.7' X 281.7'	=	47.90 SF
			47.90 SF
<b>SUBTOTAL: (AREA DEDUCTIBLE + BALCONY + STORAGE + RAINSCREEN)</b>			
			1,048.90 SF
<b>TOTAL NET AREA: (PERIMETER - AREA DEDUCTIBLE - BALCONY - STOR - RAINSCREEN)</b>			
			1,476.10 SF

RESERVED FOR CITY USE

1	2025-02-26	REVISED FOR FSR REVIEW
2	2025-02-26	REVISED FOR FSR REVIEW
3	2025-02-26	REVISED FOR FSR REVIEW
4	2025-02-26	REVISED FOR FSR REVIEW
5	2025-02-26	REVISED FOR FSR REVIEW
6	2025-02-26	REVISED FOR FSR REVIEW
7	2025-02-26	REVISED FOR FSR REVIEW
8	2025-02-26	REVISED FOR FSR REVIEW
9	2025-02-26	REVISED FOR FSR REVIEW
10	2025-02-26	REVISED FOR FSR REVIEW
11	2025-02-26	REVISED FOR FSR REVIEW
12	2025-02-26	REVISED FOR FSR REVIEW
13	2025-02-26	REVISED FOR FSR REVIEW
14	2025-02-26	REVISED FOR FSR REVIEW
15	2025-02-26	REVISED FOR FSR REVIEW
16	2025-02-26	REVISED FOR FSR REVIEW
17	2025-02-26	REVISED FOR FSR REVIEW
18	2025-02-26	REVISED FOR FSR REVIEW
19	2025-02-26	REVISED FOR FSR REVIEW
20	2025-02-26	REVISED FOR FSR REVIEW
21	2025-02-26	REVISED FOR FSR REVIEW
22	2025-02-26	REVISED FOR FSR REVIEW
23	2025-02-26	REVISED FOR FSR REVIEW
24	2025-02-26	REVISED FOR FSR REVIEW
25	2025-02-26	REVISED FOR FSR REVIEW
26	2025-02-26	REVISED FOR FSR REVIEW
27	2025-02-26	REVISED FOR FSR REVIEW
28	2025-02-26	REVISED FOR FSR REVIEW
29	2025-02-26	REVISED FOR FSR REVIEW
30	2025-02-26	REVISED FOR FSR REVIEW
31	2025-02-26	REVISED FOR FSR REVIEW
32	2025-02-26	REVISED FOR FSR REVIEW
33	2025-02-26	REVISED FOR FSR REVIEW
34	2025-02-26	REVISED FOR FSR REVIEW
35	2025-02-26	REVISED FOR FSR REVIEW
36	2025-02-26	REVISED FOR FSR REVIEW
37	2025-02-26	REVISED FOR FSR REVIEW
38	2025-02-26	REVISED FOR FSR REVIEW
39	2025-02-26	REVISED FOR FSR REVIEW
40	2025-02-26	REVISED FOR FSR REVIEW
41	2025-02-26	REVISED FOR FSR REVIEW
42	2025-02-26	REVISED FOR FSR REVIEW
43	2025-02-26	REVISED FOR FSR REVIEW
44	2025-02-26	REVISED FOR FSR REVIEW
45	2025-02-26	REVISED FOR FSR REVIEW
46	2025-02-26	REVISED FOR FSR REVIEW
47	2025-02-26	REVISED FOR FSR REVIEW
48	2025-02-26	REVISED FOR FSR REVIEW
49	2025-02-26	REVISED FOR FSR REVIEW
50	2025-02-26	REVISED FOR FSR REVIEW

1 FSR Level 35 Residential  
 3/8" = 1'-0"

**Colour Legend**

A	(AREA DEDUCTIONS)
B	(BALCONY SPACE)
CRU	(COMMERCIAL RETAIL UNIT)
RA	(RESIDENTIAL RETAIL UNIT)
S	(STORAGE SPACE)
SE	(SERVICE/MECHANICAL SPACE)
NET	(NET RESIDENTIAL AREA)
Z	(RAINSCREEN DEDUCTION)

**Butties Architecture Inc.**

2025-02-26 10:00:41 PM

**Proposed Residential Development**

180 St. James Street, Suite 100, Toronto, ON M5H 2R4

Wall Financial Corporation

180 St. James Street, Suite 100, Toronto, ON M5H 2R4

PROJECT NO: 2201

SCALE: AS NOTED

PLT DATE: 2025-02-26

DRAWN BY: JR

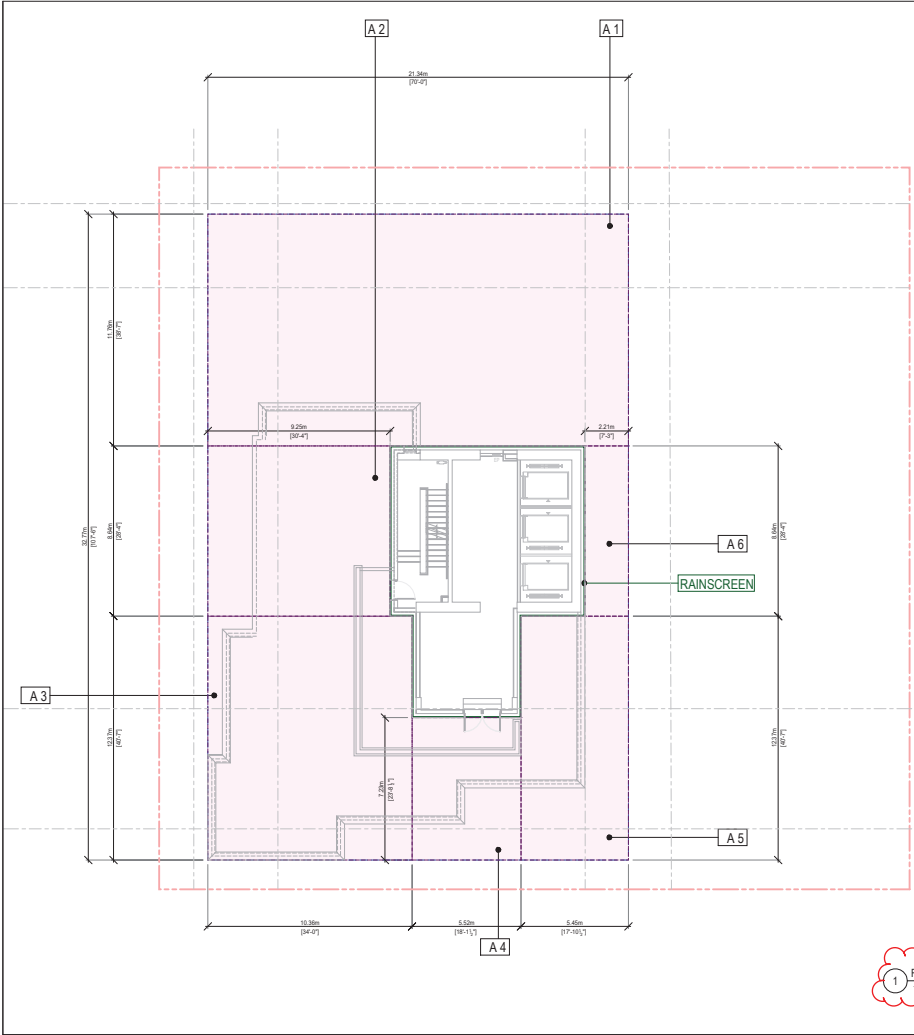
CHECKED BY: -

DRAWING #

**DPa6.13**

FSR-Level 35

2025-02-26 11:00:46 PM  
 W:\Projects\2025\2501\Drawings\2501\_01\2501\_01\_01\_01.dwg  
 Project Information: V:\L\Projects\2501



LEVEL 36			
GROSS PERIMETER AREA	70.40' X 107.50'	=	7,525.00 SF
AREA DEDUCTIONS	A 1 38.58' X 70.00'	=	2,700.60 SF
	A 2 28.23' X 30.33'	=	859.25 SF
	A 3 34.40' X 40.58'	=	1,379.72 SF
	A 4 18.13' X 23.71'	=	429.86 SF
	A 5 17.99' X 40.58'	=	725.98 SF
	A 6 7.52' X 28.33'	=	205.39 SF
			6,300.60 SF
RAINSCREEN	0.12' X 151.76'	=	25.80 SF
SUBTOTAL:	(AREA DEDUCTIBLE + RAINSCREEN)		6,326.40 SF
TOTAL NET AREA:	(PERIMETER - AREA DEDUCTIBLE - RAINSCREEN)		1,198.60 SF

RESERVED FOR CITY USE

1	2025-02-26	REVISED FOR RECORD
2	2025-02-26	REVISED FOR RECORD
3	2025-02-26	REVISED FOR RECORD
4	2025-02-26	REVISED FOR RECORD
5	2025-02-26	REVISED FOR RECORD
6	2025-02-26	REVISED FOR RECORD
7	2025-02-26	REVISED FOR RECORD
8	2025-02-26	REVISED FOR RECORD
9	2025-02-26	REVISED FOR RECORD
10	2025-02-26	REVISED FOR RECORD



**Bullfinch Architecture Inc.**  
 1000 West Beaver Creek Road, Suite 100  
 Richmond Hill, Ontario L4B 1N2  
 Telephone: (905) 882-1100  
 Fax: (905) 882-1101  
 www.bullfinch.com

**Proposed Residential Development**  
 880 Dundas St. West, Toronto, Ontario, Canada  
 880 Dundas St. West, Toronto, Ontario, Canada

**Wall Financial Corporation**  
 100 Dundas St. West, Toronto, Ontario, Canada

PROJECT NO: 2501  
 SCALE: AS NOTED  
 PLOT DATE: 2025-02-26  
 DRAWN BY: JR  
 CHECKED BY: -

DRAWING # **DPa6.14**

FSR-Level 36

**Colour Legend**

A	(AREA DEDUCTIONS)
B	(BALCONY SPACE)
CRU	(COMMERCIAL RETAIL UNIT)
RA	(RESIDENTIAL ANEALTY SPACE)
S	(STORAGE SPACE)
SE	(SERVICE/MECHANICAL SPACE)
(Light Blue)	NET RESIDENTIAL AREA
(Red Dashed)	2' RAINSCREEN DEDUCTION

1 FSR-Level 36 Elevator Machine Room  
 18" = 1'-0"



