

RENTAL & BELOW MARKET RENTAL HOUSING PROPOSAL



2024-08-02



2024-08-01

1088 W 12th AVE

OWNER



PC URBAN PROPERTIES CORP.
880 - 1090 West Georgia Street,
Vancouver, BC V6E 3V7

ARCHITECT & LANDSCAPE



FRANCL ARCHITECTURE INC.
970 Homer Street,
Vancouver, BC V6B 2W7

TRAFFIC



BUNT & ASSOCIATES
1550 - 1050 West Pender Street,
Vancouver, BC V6E 3S7

CIVIL



APLIN & MARTIN CONSULTANTS Ltd.
1818 - 1177 West Hastings Street,
Vancouver, BC V6E 2K3

ELECTRICAL



AES ENGINEERING
505 Burrard Street, Suite 950, Box 91
Vancouver, BC V7X 1M4



ENERGY MODEL & ENVELOPE

EVOKE
250 - 997 Seymour Street,
Vancouver, BC V6B 3M1



GEOTECHNICAL

GEOPACIFIC CONSULTANTS Ltd.
1779 West 75th Avenue,
Vancouver, BC V6P 3T1



MECHANICAL

ENERSOLV DESIGN & BUILD Ltd.
50 - 3711 North Fraser Way,
Burnaby, BC V5J 5J2



SUSTAINABILITY

RECOLLECTIVE
210 - 128 West Hastings Street,
Vancouver, BC V6B 1G8



STRUCTURE

GLOTMAN SIMPSON
1661 West 5th Avenue,
Vancouver, BC V6J 1N5



ARBORIST

DIAMOND HEAD CONSULTING Ltd.
3559 Commercial Street,
Vancouver, BC V5N 4E8



ENVIRONMENTAL

KEYSTONE ENVIRONMENTAL Ltd.
320 - 444 Dominion Street,
Burnaby, BC V5G 4G3



LAND SURVEYOR

BENNETT SURVEYS
201 - 275 Fell Avenue,
North Vancouver, BC V7P 3R5



Founded in 2010, PC Urban Properties is a Vancouver-based real estate development and investment company.

The PC Urban team is a multidisciplinary group of dedicated individuals focused on maximizing the unrealized potential for our clients, for our communities and for the properties we re-imagine. We have successfully developed and launched real estate projects across all asset classes, retail, office, industrial and multi-family. Our passion is to build spaces for people to live and spaces for people to work.

PC Urban is active throughout Metro Vancouver, the Central Okanagan, and Southern Vancouver Island. PC Urban has developed over \$3.5 billion of projects across all asset classes. We currently have 5.2 million square feet of space under development including close to 1,500 rental homes completed or under construction, over 800 rental homes in development and 500,000 square feet of industrial strata.



PC Urban Work - 45 Gorge Road East, Victoria - 1150 Barclay Street, Vancouver - Esquimalt Road, Esquimalt - 612 7th Avenue, New Westminster - E 41st Avenue, Vancouver - 3370 Dewdney Trunk Road, Port Moody, BC

1.0 Introduction	06	5.0 Project Statistics	37
1.1 Rezoning Vision	07	5.1 Project Information.....	38
1.2 Rezoning Rationale.....	08	5.2 Project Statistics.....	39
2.0 Context	13	6.0 Architectural Drawings	43
2.1 Development Context.....	14	6.1 Site Survey.....	44
2.2 Site: Aerial Photos.....	15	6.2 Building Grade.....	45
2.3 Site: Photos.....	16	6.3 Site Plan.....	46
2.4 Neighbourhood Character.....	18	6.4 Below Grade Floors.....	47
2.5 Streetscapes.....	19	6.5 Above Grade Floors.....	49
2.6 Zoning Context.....	21	6.6 Roof Plan.....	57
2.7 Policy Context	22	6.7 Sections.....	58
		6.8 Elevations.....	62
		6.9 Renderings.....	64
		6.10 Shadow Study.....	68
3.0 Design Strategy	26	7.0 Landscape	68
3.1 Design Principles and Rationale.....	27	7.1 Tree Management.....	69
3.2 Program and Concept.....	28	7.2 Landscape Plans.....	70
3.3 Massing and Form.....	30	7.3 Representative Plant Palette.....	73
3.4 Landscape Design Principles and Rationale.....	31		
4.0 Sustainability	34		
4.1 Sustainability Strategies Overview.....	35		
4.2 Sustainability Features Overview.....	36		

1.0

INTRODUCTION

Rezoning Application for 1088 W 12th Avenue:

A Vision for Modern Urban Living

PC Urban is pleased to submit this rezoning application for the development of 1088 W 12th Avenue. This application aligns with the policy framework of the Fairview South Area A of the Broadway Plan, reflecting our commitment to creating sustainable and vibrant urban communities.

Our development plan includes 295 secured rental homes; 20% designated as affordable housing. Branded under our “Urban Flats” initiative, this project represents our second application in close proximity to Vancouver General Hospital (VGH). Urban Flats aims to address Vancouver’s critical housing needs by delivering next-generation rental communities. Consistent with our other Urban Flats developments throughout BC, this project will introduce innovative design and premium amenities to urban rental living.

Prime Location and Neighbourhood Employment

The site, spanning half a block, boasts an exceptional Walk Score of 97 and a Bike Score of 99, earning its status as a “Walker’s and Biker’s Paradise.” Located less than 500 meters from the future Oak-VGH Station and just an 8-minute walk away, this prime location offers unparalleled convenience. Its proximity to VGH, Vancouver’s largest employer with over

12,000 staff members, underscores its strategic importance. PC Urban has been in discussions with VGH, the VGH Foundation, and Vancouver Coastal Health (VCH) and we are committed to meeting the housing needs of this vital institution. In response to early discussions with VCH, our development will include 5 fully accessible suites tailored to high-needs individuals. This development supports VGH’s growing needs and promotes inclusivity within our community.

Engagement and Feedback

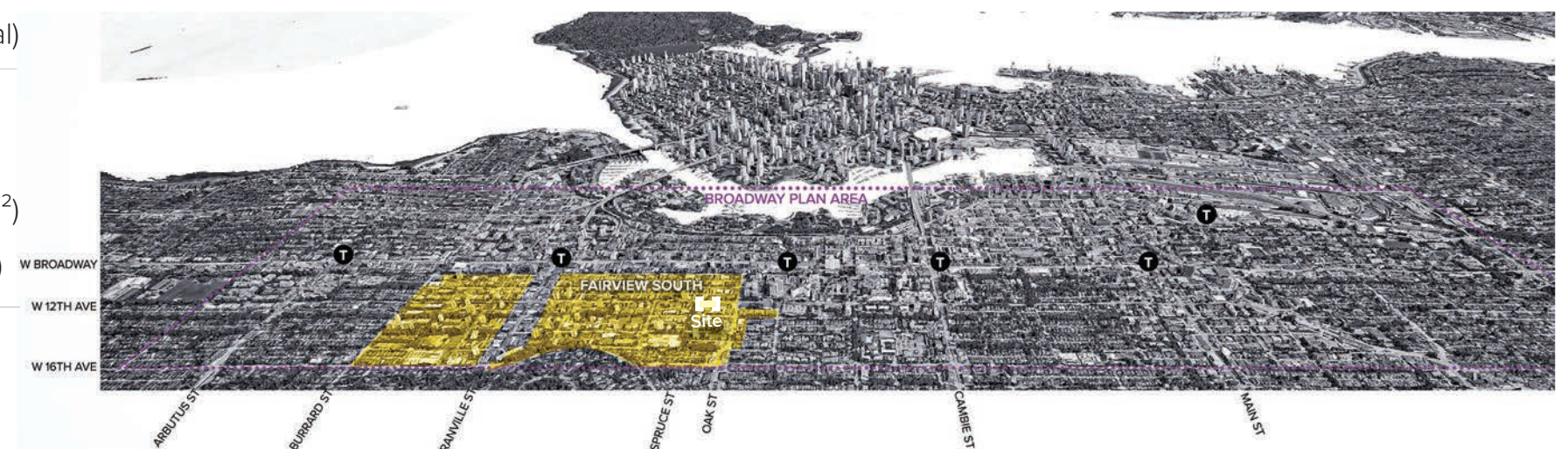
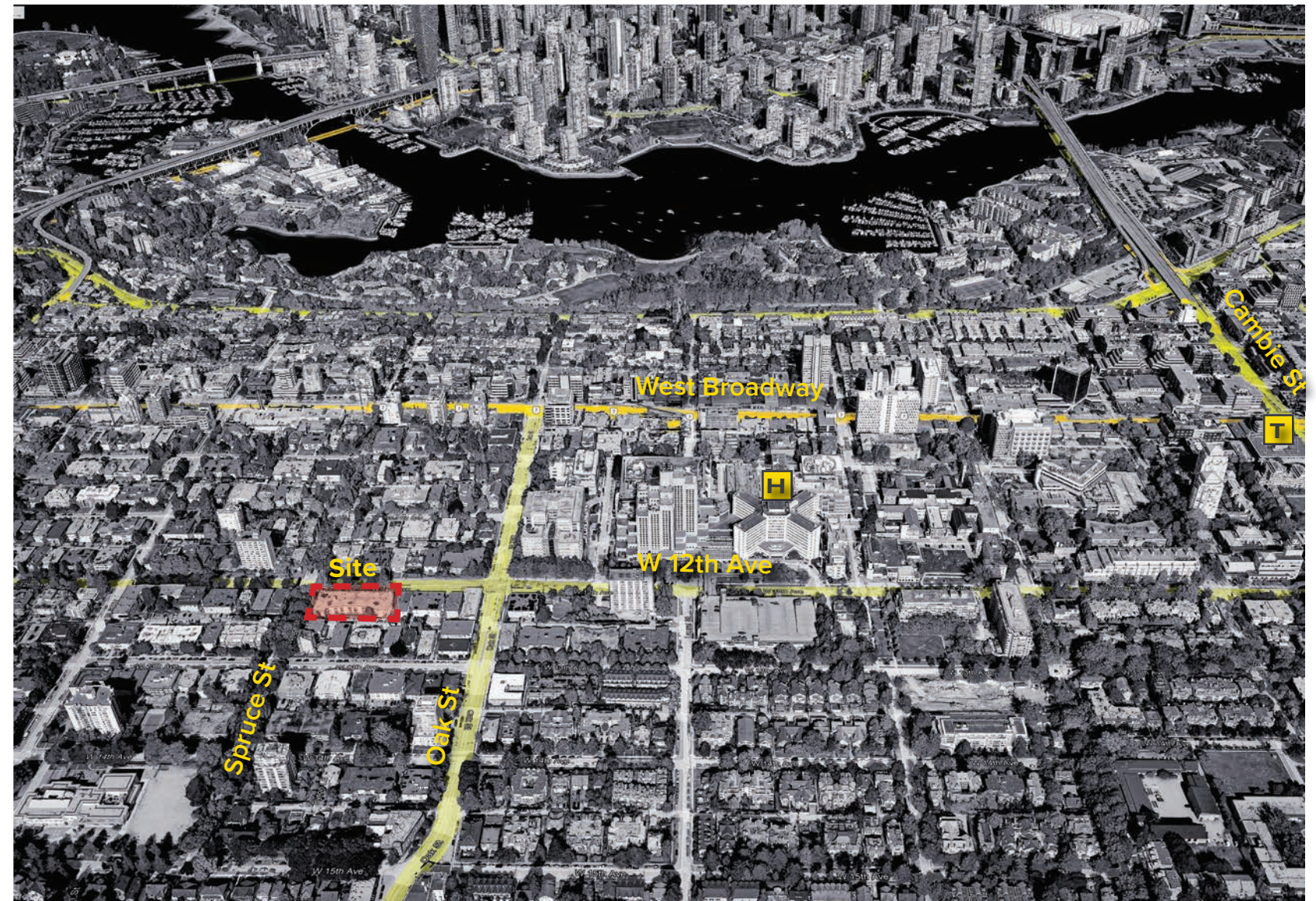
Ahead of submitting this rezoning application, we engaged in ongoing discussions with City staff and incorporated feedback received from the Letter of Enquiry. Key revisions to our original proposal include reducing the project to a single tower and podium instead of two towers, designing smaller floor plates but increasing the height of the podium and tower and introducing ground-floor retail space to enhance the streetscape and foster community engagement. The site’s increased height will not impact view cones, nor will it cast shadows on schools, parks, or shopping streets.

Conclusion

We believe this application aligns with the City’s goals for sustainable, community-focused urban development. By addressing the urgent need for rental housing, including below-market and accessible homes, our proposal supports Vancouver’s housing strategy. We appreciate the collaborative efforts of City staff and look forward to continuing our partnership to bring this project to fruition.

URBAN — FLATS
RENTAL COMMUNITIES

Address	1088 W 12th Ave Vancouver BC V6H 2R5
Existing Zoning	RM-3
Proposed Zoning	CD-1
Site Dimensions	Frontage: 76.2 m (250 ft) Depth: 38.10 m (125 ft) Area: 2,902.56 m ² (31,242.94 ft ²)
Gross Floor Area Proposed	21,387.29m ² (230,211 ft ²)
FSR Permitted	6.5 (+0.3 Bonus)
FSR Proposed	6.78
Building Height Proposed	24 storeys + 1 Amenity storey
Form of Development	Mixed-use - Residential / Retail Housing: 295 Units (20% of residential area is Below Market Rental)
Amenities	Residential Amenities: 3,940 ft ² (366 m ²) Indoor+ 9,395 ft ² (872.8 m ²) Outdoor: Total 13,335 ft ² (1,238.9 m ²) Commercial Retail Use: 2,946 ft ² (286.88 m ²)



The proposed rental development outlined in this Rezoning Application aligns with the recently approved Broadway Plan and the broader affordability and sustainability objectives of the City. This application proposes the creation of 295 secured market rental units, with 54 units available at a rate 20% below the citywide average market rates.

Existing Zoning Context

Situated in the Broadway Plan Sub Area – Fairview South Area A (FSOA), at the intersection of Spruce Street and West 12th Ave, just over a block away from the Vancouver General Hospital, a short 10-minute walk to the City Square Shopping Centre and close to a diverse selection of shops and dining options along Broadway, the subject site spans five parcels totaling an area of 2,902.56 m² (31,242.94 ft²) with a 76.20 m (250 ft) frontage on W 12th Avenue.

Currently, the site is occupied by a 3-storey rental building comprising 65 rental units that is not listed on the Vancouver Heritage Register. Developments adjacent to the eastern Property Line, North across 12th Ave, and West across Spruce St are comprised of 3-storey rental buildings. Across the lane to the South are a 3-storey single-detached house and further 3-storey rental buildings. Notably, the Broadway Plan has led to the consideration of secured market rental housing on sites with existing purpose-built rental on this block.

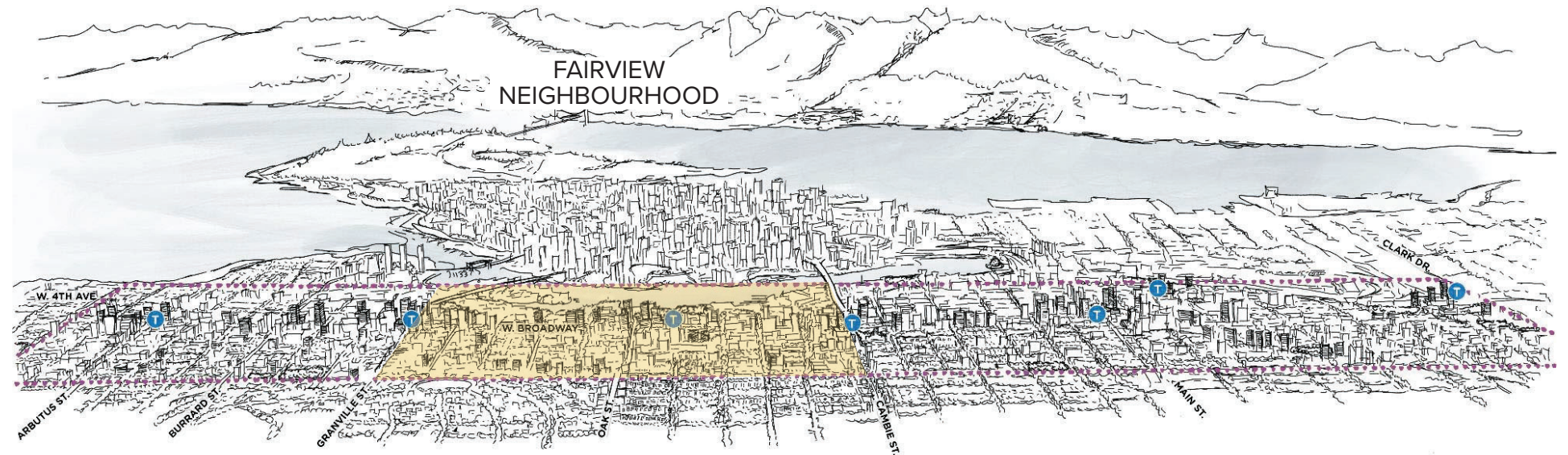


Figure 1.2.1 Context - Aerial View of Broadway Plan

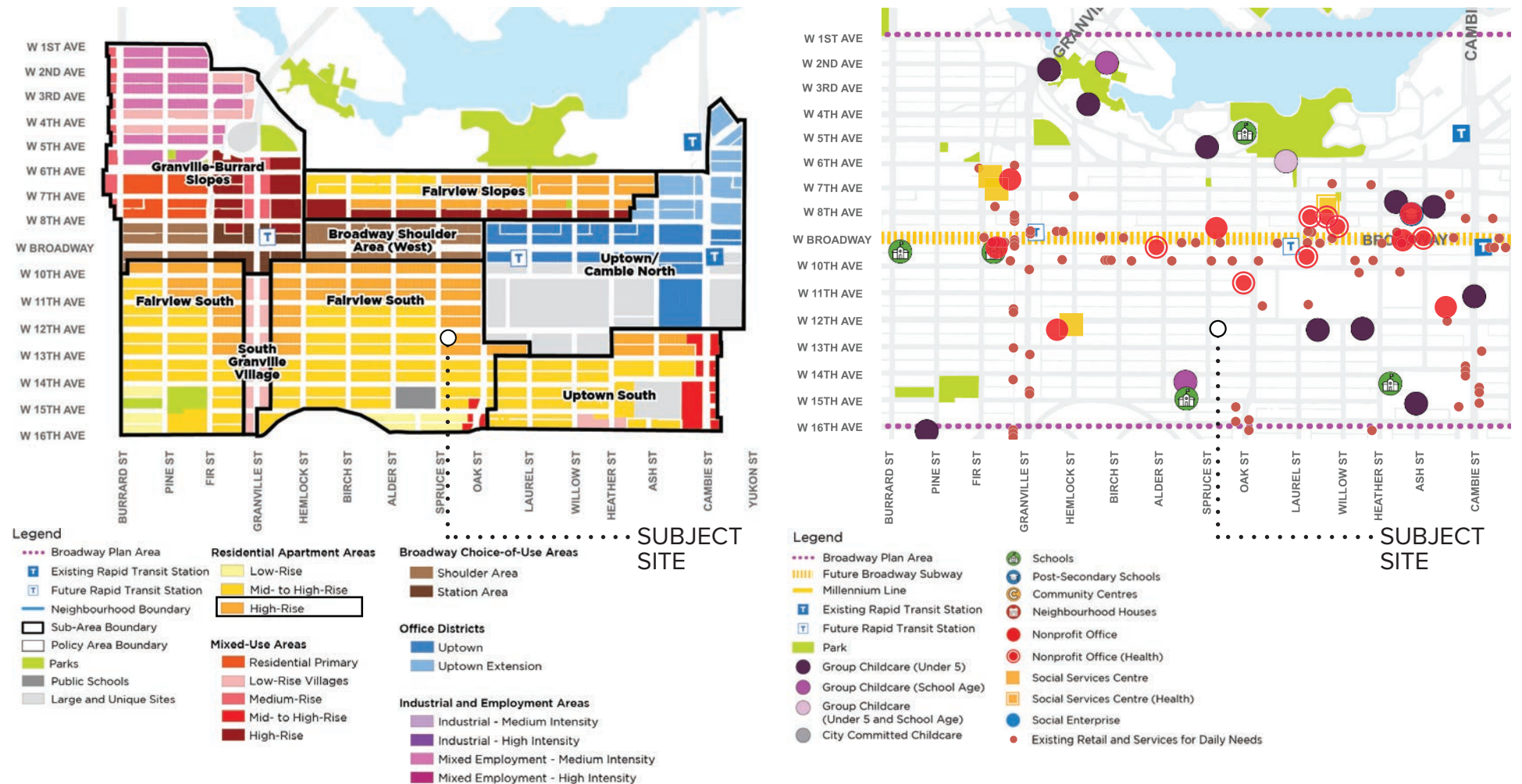


Figure 1.2.2 Broadway plan context - Fairview Neighbourhood

Response to the Rezoning Enquiry and the Housing Intent for 6.78 FSR Purpose Built Rental and Below Market Housing

This application responds to the Rezoning Enquiry response dated May 25, 2023, for the property located at 1088 W 12th Ave, a site spanning 250 feet of frontage, covering half the block between Oak and Spruce Streets. Our vision is to create a 24-storey secured rental apartment building with a 6-storey podium. While the site could accommodate two towers, we respect the City's preference for maintaining future development flexibility on the remaining portion of the block. Therefore, our design includes a single tower and a podium, in line with City staff recommendations. Both the podium and the tower embrace a stepped back design on the upper floors to minimize visual impact. The ground floor will include commercial space for a future retail, aimed at revitalizing the streetscape. Both indoor and outdoor amenities are incorporated into the design to foster community engagement and enhance residents' quality of life. Furthermore, we will be providing a few fully accessible homes on the first five floors of the podium to provide homes for high needs individuals. In order to meet the density of 6.8 FSR and ensure project viability, we have incorporated the following relaxations.

Podium Height

The podium height is increased from 4 to 6 storeys, as permitted under the Broadway Plan and as is necessary due to proposal of a single tower and podium solution for this site. The stepped-back design of the top two floors minimizes the visual impact and enhances the rooftop amenity space. This allows us to offer a generous roof deck with extensive outdoor amenity areas, improving the quality of life for residents and aligning with the City's objectives for enhanced community spaces.

Tower Height

The tower height at 24 storeys is in line with the proposed changes to the Broadway Plan and reflects feedback received from City staff. The site is not affected by view cones, and the increased height will not cast shadows on schools, parks, or shopping streets, nor will it impact the VGH helicopter flight path. The additional height allows for more residential units, supporting the City's goals for increased housing availability, particularly in areas well-served by public transit.

Floorplate Size

The floorplate size of 7,250 square feet is slightly over a 10% increase vs. the recommended 6,500 square feet. This adjustment is necessary to meet the allowable FSR, with only one tower, while accommodating new seismic structural requirements and providing the necessary core structure for three elevators. The site exceeds the minimum frontage requirement by 100 feet, which supports a larger building while maintaining the 80-foot separation from other potential tower sites. Larger floor plates are critical for limiting the site to a single tower at the density contemplated by the Broadway Plan.

This application meets the City's objectives for sustainable, community-focused urban development and we respectfully ask for your support and approval of these measures to bring this vision to fruition.

Site Design

The proposal places a strong emphasis on providing an open landscape design on the W 12th Ave North frontage for a welcoming residential and commercial entrance with an outdoor gathering area, green open spaces along the streetscape, enriching the overall character of the neighbourhood. It provides a generous 5.40m (17.8') setback to the north while complying to the east and west minimum setback of 2.40m and providing ample setbacks on the laneway south facade to accommodate retail and visitor parking stalls along with the required Class A and B loading spaces, garbage staging, class A passenger spaces and car share stalls based on our selected TDM plan. The stalls are buffered from the proposed building with carefully selected vegetation and overall landscape path design. Throughout all building facades we prioritize the maintenance of spatial integrity and strict adherence to zoning regulations by ensuring a consistent 80-foot minimum separation between the proposed and potential towers.

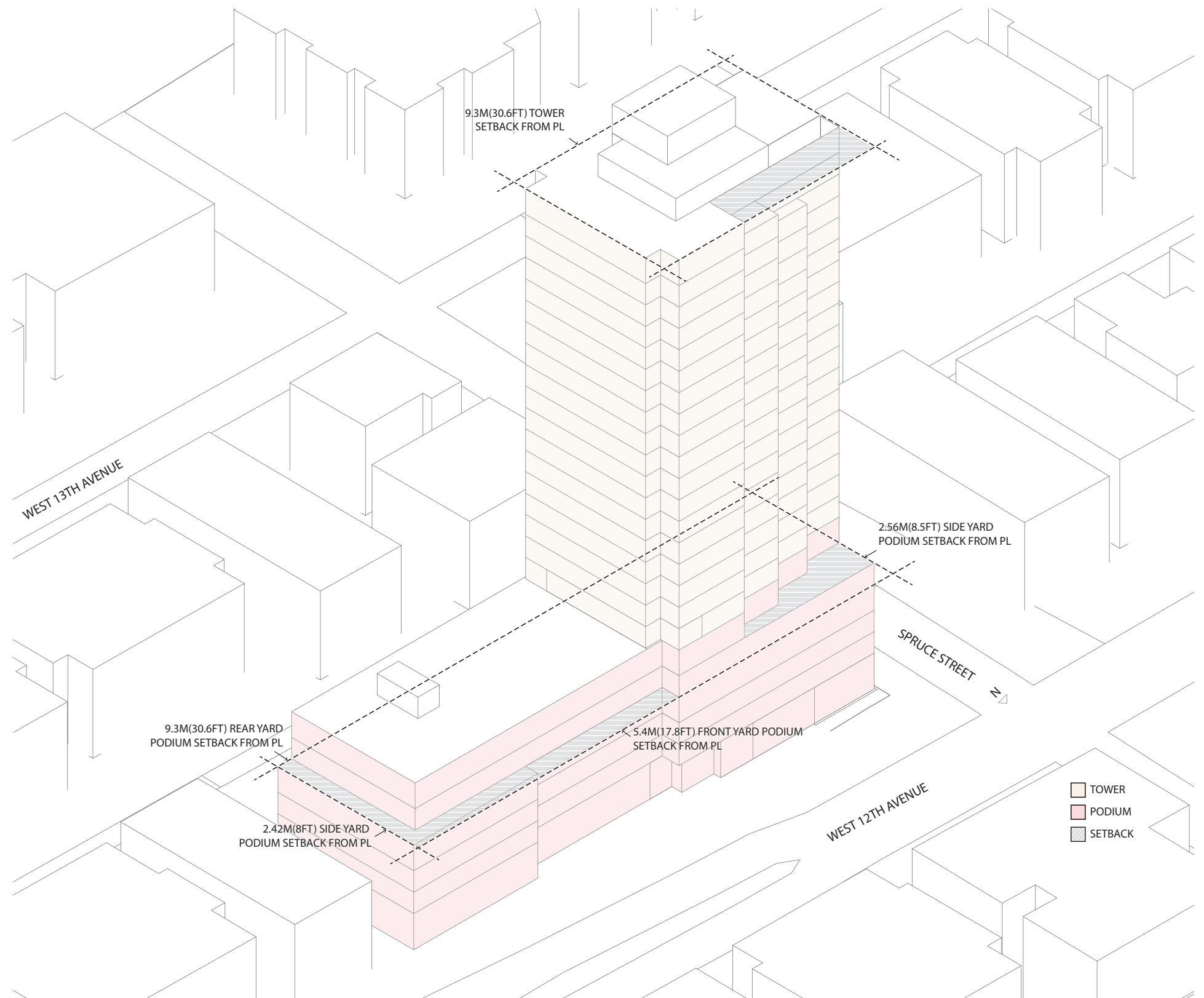


Figure 1.2.3 Setback isometric

Residential Amenity Areas

The planned development incorporates a variety of carefully considered indoor and outdoor amenities designed to improve the living experience of residents.

The outdoor minimum floor area requirement of 2.0 m² per dwelling unit has been met.

Outdoor Amenities include:

- Urban agricultural area for growing/harvesting and beehives on the L07 podium
- Outdoor Cooking / Barbecue spot on the L07 podium
- Kids' play area on the L07 podium
- Fitness zone on the rooftop amenity level (north)
- Lounge area on the rooftop amenity level (south)

The 1.2 m² per dwelling unit minimum floor area for indoor amenities are also being provided.

Indoor Amenities Include:

- Amenity Lounges / Co-working spaces at L01
- Pet Spa
- Bike Workshop
- Social Lounge space on the L07 podium
- Rooftop gym (north)

The use of roof top spaces for building amenities reflects the developer's dedication to enhancing the residential community's access to exceptional amenities. The gym and outdoor exercise spots on the north side offer expansive 180-degree views of the Northshore Mountains and the downtown skyline. The relaxation areas on the south side receive ample sunlight and offer breathtaking views. The developer aims to provide uniquely tailored amenity experiences that surpass typical rental offerings, aiming to cultivate a communal spirit and promote long-term tenancy within the building.

Retail Units - A Neighbourhood Hub

The layout of the retail units has been carefully planned to enhance visibility along the bustling W 12th Ave. The interior space is supplemented by a large, north west corner setback which will provide ample outdoor seating area. This space has been programmed to support the Retail use, but could be effectively used by building residents and the wider community beyond the retail hours of operation. Designed to capture maximum sunlight, it includes multiple seating options and areas for active engagement suitable for all age groups, contributing to its vibrancy.

The proposal considers incorporating public art to further beautify the building's frontage and highlight this area as a key focal point of the neighborhood. By introducing retail spaces at the intersection of W 12th Ave and Spruce St, the design aims to energize this corner, making it a more dynamic pedestrian zone. This activation is expected to enhance the overall pedestrian experience in the neighborhood by creating a lively, attractive environment that encourages walking, socialisation, and community life, thus enriching the neighborhood's urban fabric.



Figure 1.2.4 Precedents Roof Top Outdoor



Figure 1.2.5 Precedents Bodega - Neighbourhood Hub

2.0

CONTEXT



Neighbourhood Amenities

- 1 VGH Energy Plaza
- 2 Vancouver General Hospital

- 3 L'Ecole Bilingue
- 4 Pacific Theatre

- 5 Ecole Saint-Sacrement
- 6 Grocery Store

- Project Site
- Fairview South Area A (FSOA)



Roof Top View

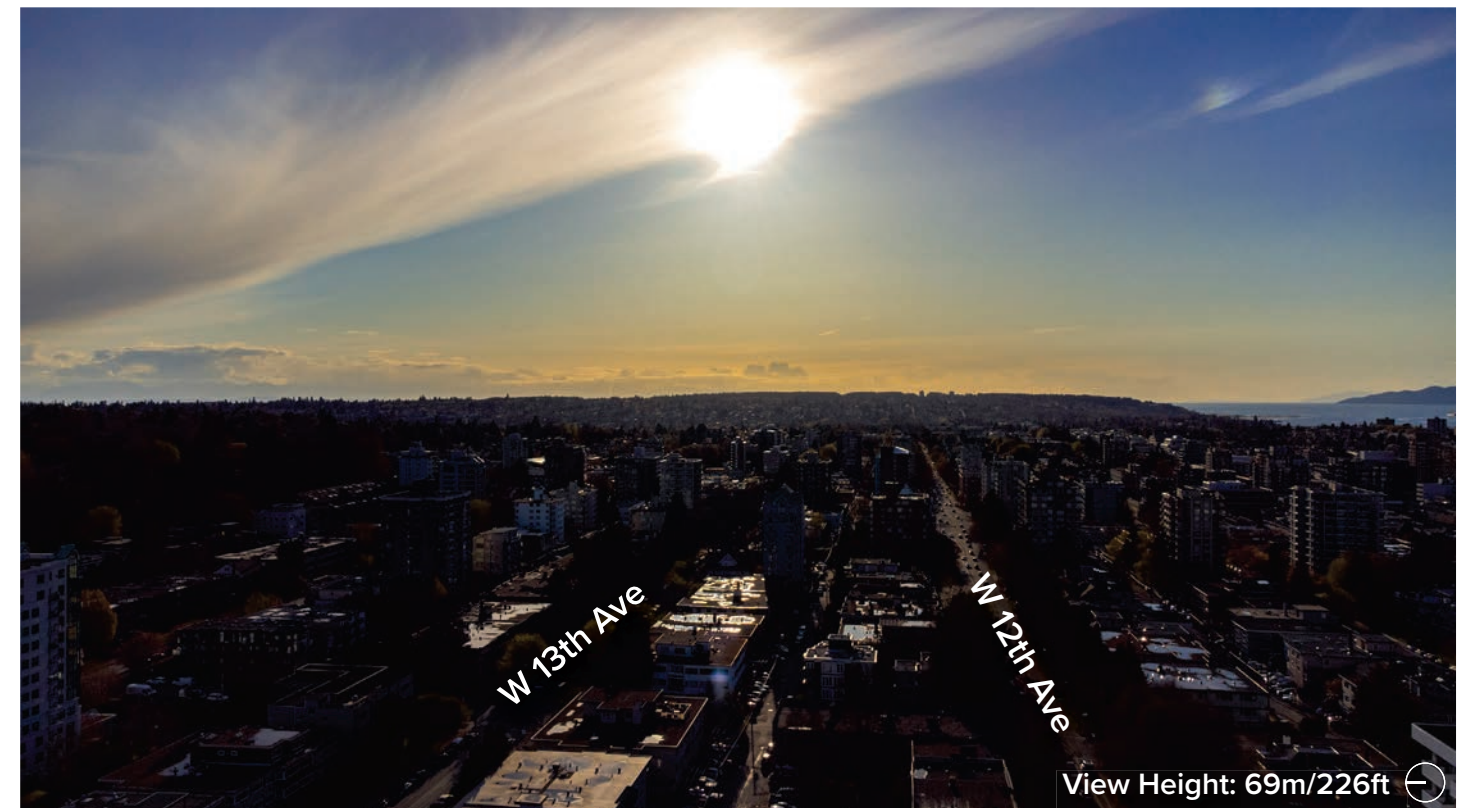
Site: Aerial Photos

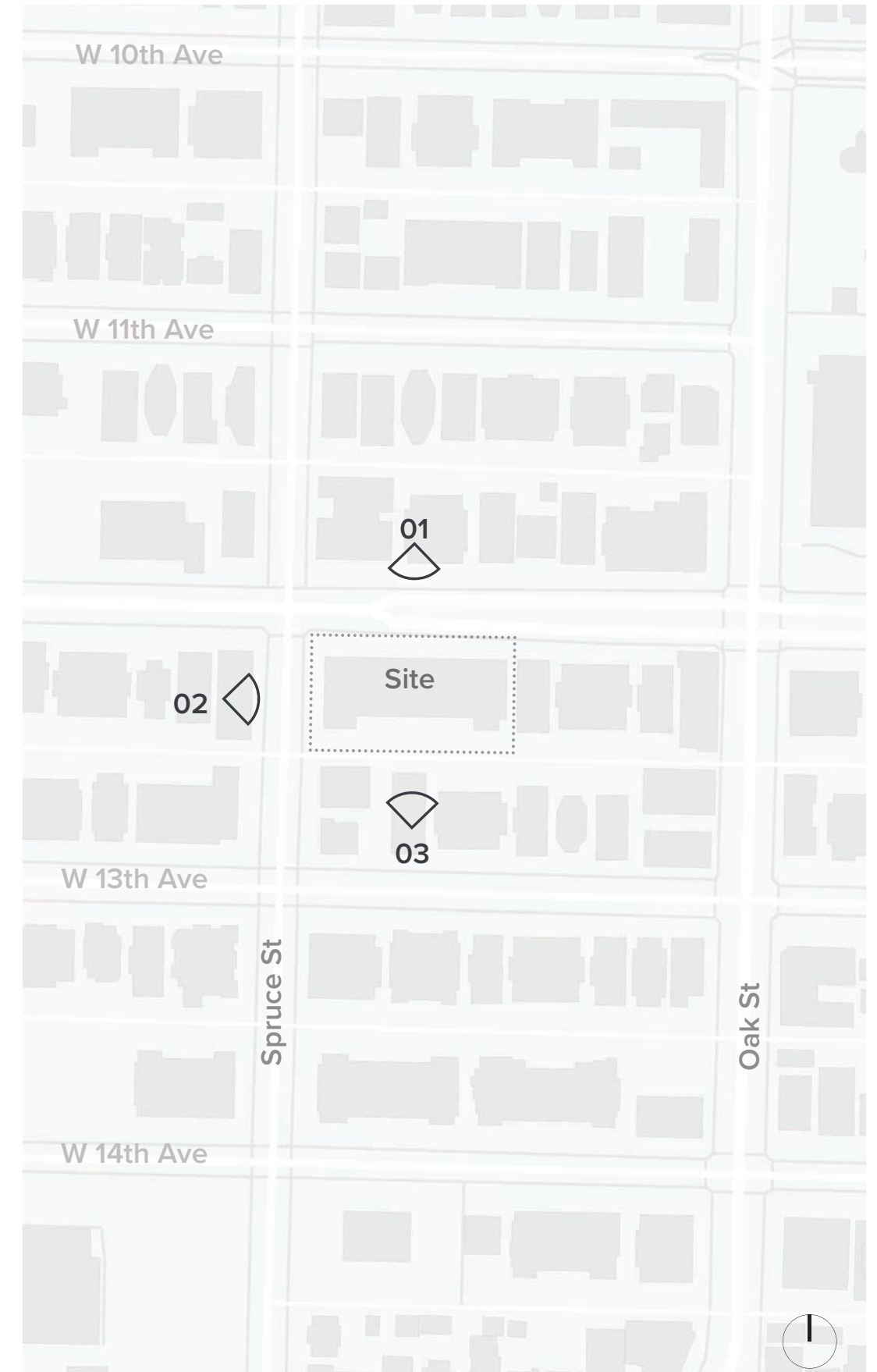
2.2

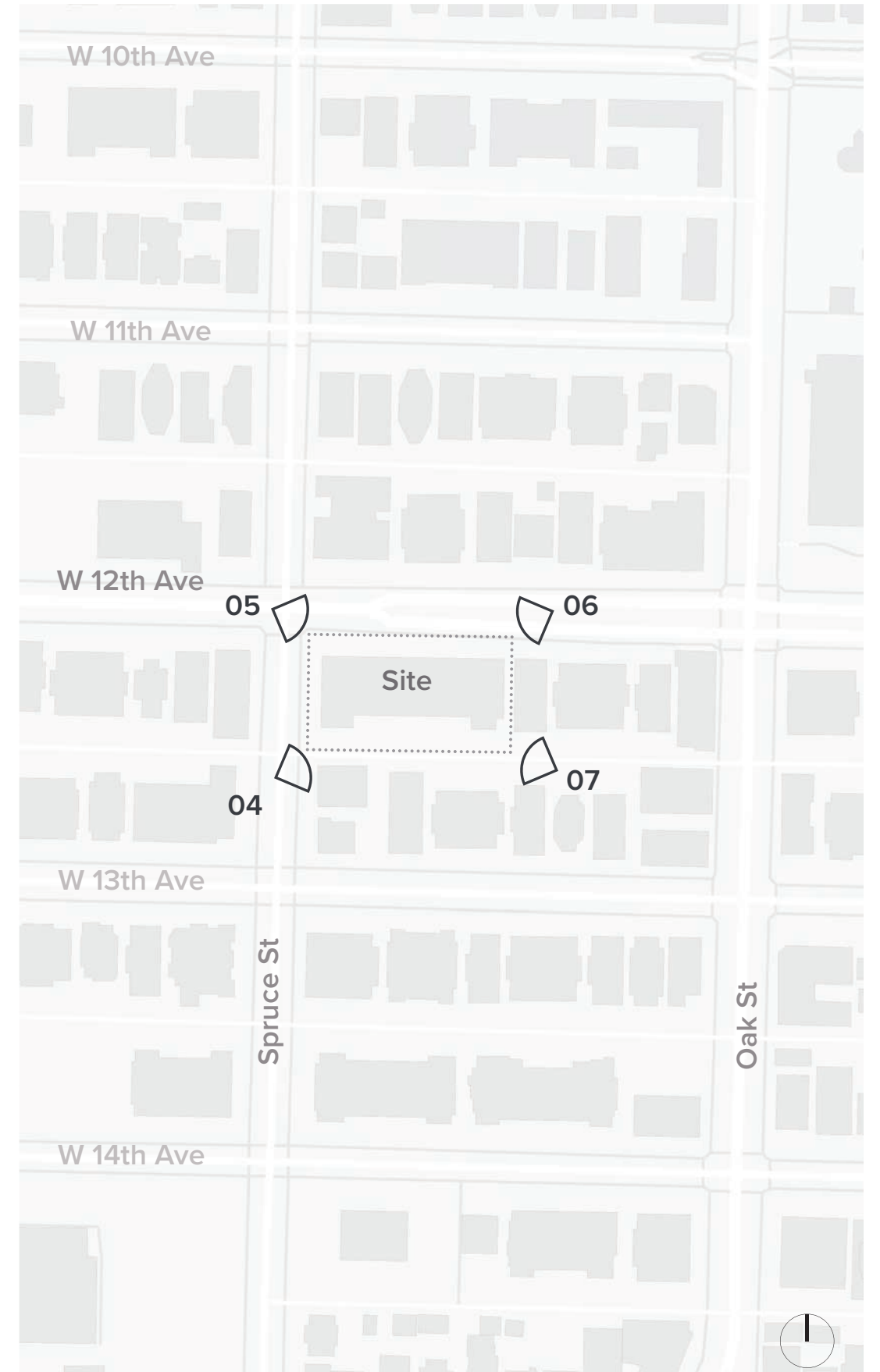
North East



South West









W 12th Ave



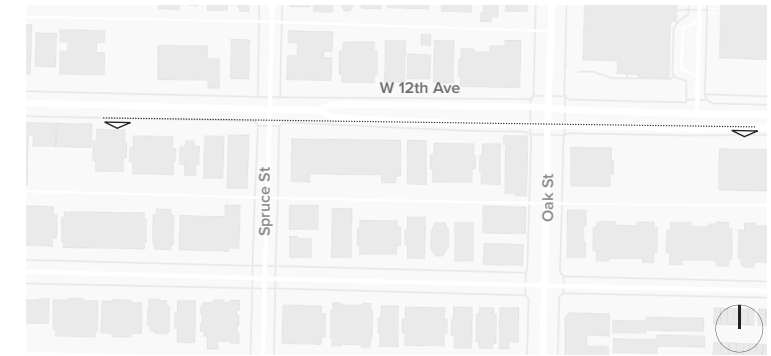
W 12th Ave



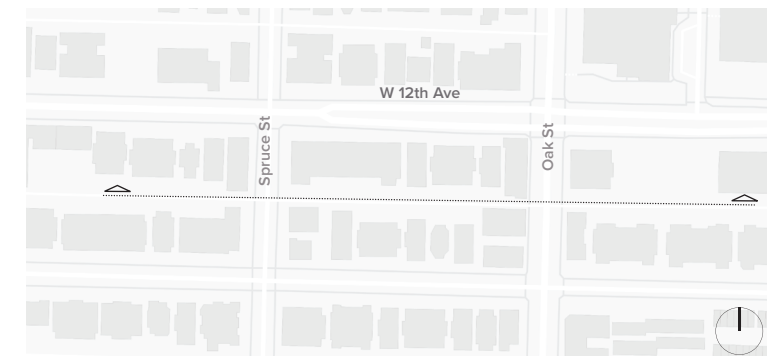
Spruce St

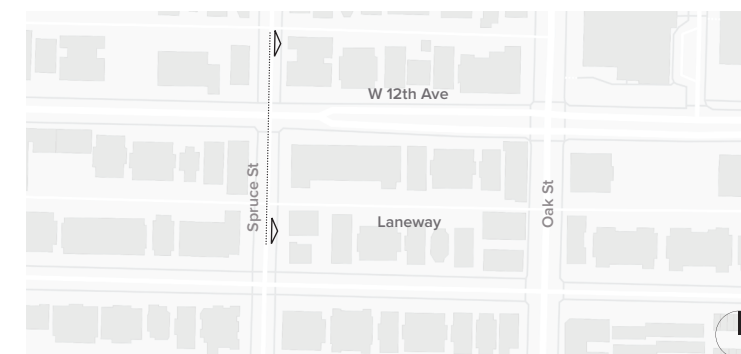


W 12TH AVE FACING SOUTH



LANEWAY FACING NORTH





SPRUCE ST FACING EAST

SITE



W 12TH AVE

LANEWAY

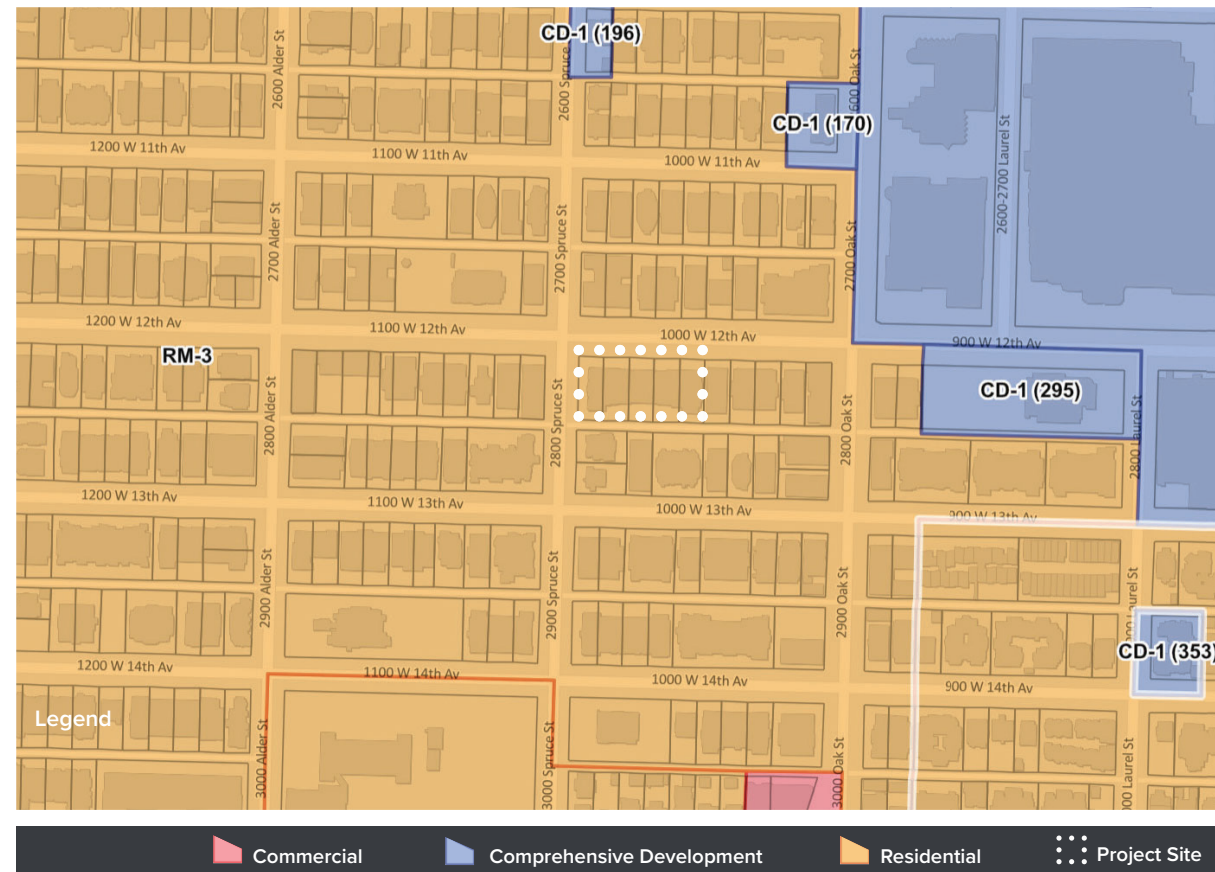
Existing Zoning Summary: RM-3

The site is currently zoned as RM-3 District Schedule which permits residential developments such as single detached houses, duplexes, and multiple dwellings including high-rise apartment buildings.

One of the main goals is to encourage open spaces and daylight access, aligning with other applicable Council policies and guidelines thereby contributing to the city’s overall housing strategy.

Built in 1969, the existing building features 65 suites that include studio, one-bedroom, and two-bedroom apartments. The property is managed by Prospero International Realty Inc and offers secured parking, a communal laundry room, and adheres to a no-pets policy. It’s positioned merely a block and a half from the Vancouver General Hospital, a short 10-minute stroll to City Square Shopping Centre, and is conveniently close to numerous shops and restaurants along Broadway. The area is a major transportation hub, providing easy access to downtown Vancouver via the Broadway-City Hall SkyTrain Station.

The neighborhood surrounding the site is described as lively and energetic. Residents enjoy the convenience of nearby grocery options, and other retail and restaurant offerings, all within a 10-minute walking distance. The locality scores high in terms of walkability, shopping, cafe culture, and restaurant variety, making daily errands and dining out extremely convenient.



Site History

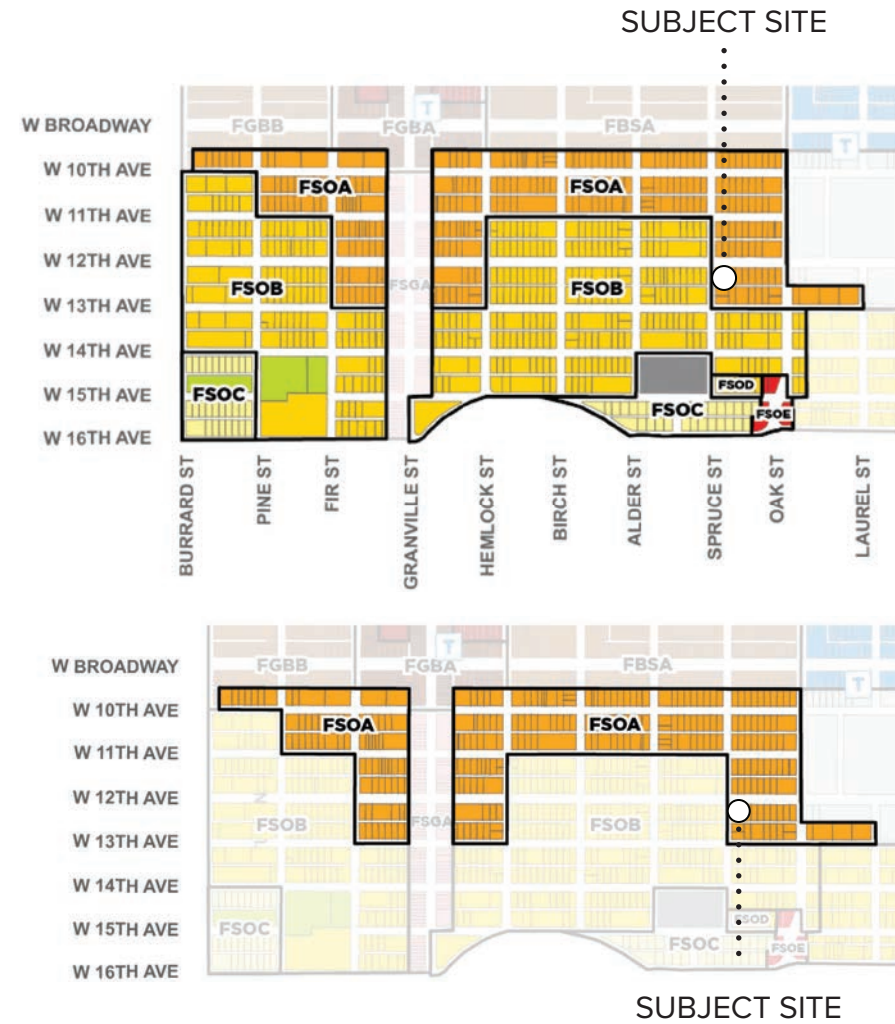
Comprised of five parcels on W 12th Avenue, between Spruce Street and Oak Street, the site is currently developed with a three-storey residential rental building called Mistletoe Manor.



FAIRVIEW SOUTH

Overall Intent

“Strengthen Fairview South as a walkable, primarily residential area with a diversity of housing options by providing strategic opportunities for new housing, encouraging the retention and renewal of existing older rental housing, and introducing new smallscale retail/service uses.”



Additional Policies

9.9.2 There will be a maximum of two towers per block (street to street, including any laneways). On blocks with two or more existing towers constructed prior to adoption of the Broadway Plan, one additional tower will be considered. However, for the northern block faces along 10th Avenue and the northern block face along 13th Avenue between Oak Street and Laurel Street, only one tower will be allowed on the Fairview South Area A block face.

9.9.3 Minor increases in height and density will be considered for delivery of ground-level local-serving retail/service uses or childcare.



Figure 2.71 Vancouver Zoning Bylaw

Policy Area	Fairview South - Area A		FSOA	
Uses	Residential, retail/service			
Option/Tenure	Secured market rental housing or social housing		Strata ownership housing, limited to sites without existing purpose-built rental or social housing	
	Tower form	Non-tower form	Tower form	Non-tower form
Max Height	20 storeys	3-6 storeys	20 storeys	3-6 storeys
Max Density	6.5 FSR	1.0-2.7 FSR	6.0 FSR	1.0-2.7 FSR
Min Frontage	45.7 m (150 ft.)		45.7 m (150 ft.)	
Notes	<ul style="list-style-type: none"> A minimum of 20% of the residential floor area is required to be secured at below-market rents (see Housing (Chapter 12) for details). For existing social housing sites, 100% of the residential floor area must be social housing. See Land Use (Chapter 7) for cases where lesser site frontage may be considered at the discretion of the Director of Planning. 		<ul style="list-style-type: none"> A minimum of 20% of the residential floor area is required to be delivered as turnkey social housing units to the City. See Land Use (Chapter 7) for cases where lesser site frontage may be considered at the discretion of the Director of Planning. 	
	<ul style="list-style-type: none"> “Existing purpose-built rental or social housing” refers to sites where rental housing replacement requirements apply per the Rental Housing Stock Official Development Plan. 			

Compliance with the plan

“Applications should demonstrate overall compliance with the Broadway Plan and all other relevant City policies and regulations.”

- **BROADWAY PLAN** (2022)
- **VANCOUVER PLAN** (2022)
- **HOUSING NEEDS REPORT** (2022)
- **RENTAL HOUSING STOCK OFFICIAL DEVELOPMENT PLAN** (2021)
- **TENANT RELOCATION AND PROTECTION POLICY** (2022)
- **HIGH-DENSITY HOUSING FOR FAMILIES WITH CHILDREN GUIDELINES** (1992, last amended 2022)
- **FAMILY ROOM: HOUSING MIX POLICY FOR REZONING PROJECTS** (2016)
- **COMMUNITY AMENITY CONTRIBUTIONS POLICY FOR REZONINGS** (1999, last amended 2022)
- **DEVELOPMENT COST LEVIES INFORMATION BULLETIN** (2018, last amended 2022)
- **VANCOUVER DEVELOPMENT COST LEVY BY-LAW NO. 9755** (2008, last amended 2022)
- **VANCOUVER UTILITIES DEVELOPMENT COST LEVY BY-LAW NO. 12183** (2018, last amended 2022)
- **URBAN FOREST STRATEGY** (2018)
- **HOUSING VANCOUVER STRATEGY** (2017)

GREENEST CITY ACTION PLAN

Approved in 2011, the plan recommends key actions including: planning for mixed-use areas so that goods and services are within a safe and enjoyable 10 minute walk from where people live; planning for new development that supports existing and new transit infrastructure; and encouraging new household choices in existing walkable neighbourhoods to reduce household and transportation costs.

GREENEST CITY 2020 ACTION PLAN PART TWO: 2015-2020

This policy builds on part one of the Greenest City Action Plan, encouraging the City to “Use land-use and zoning policies to develop complete compact communities and complete streets that encourage active transportation and transit.”

GREEN BUILDING POLICY FOR REZONINGS

Mandatory for all Rezoning applications the requirements are for either: Near zero Emissions building designed to meet Passive House requirements or Low Emissions Green buildings designed to meet at minimum LEED Gold building design and construction. The historical existing components can be exempted from or all of the requirements of this policy at the discretion of the Director of Planning.

TRANSPORTATION 2040

Approved in 2012, this is a long-term strategic vision for the City that will help guide transportation and land use decisions and public investment for the years ahead. The plan encourages the “5Ds of the Built Environment”, which include:

- Density – higher levels of residential and employment density support more local amenities within walking and cycling distance, and justify high levels of transit service;
- Diversity – a diverse mix of land uses and housing types makes it easier to live, work, shop, and play without having to travel far.

The policy also encourages prioritizing and encouraging a dense and diverse mix of services, amenities, jobs, and housing types in areas served by frequent, high-capacity transit.

PUBLIC ART POLICY

The Public Art Policy for Rezoned Developments requires rezonings having a floor area of 9,290.0 sq. m (100,000 sq. ft.) or greater to contribute public art or provide 80 per cent cash in lieu as a condition of rezoning. Public art budgets are based on a formula (2016) of \$21.31 per sq. m (\$1.98 per sq. ft.) for areas contributing to the total FSR calculation. The Public Art rate is finalized at the development permit stage and is subject to periodic adjustments to address inflation.

OTHER POLICIES AND GUIDELINES IN CONSIDERATION:

- Bulk storage an in-suite storage - multiple family residential developments.
- Amenity Areas - Excluded from FSR
- View protection guidelines
- Housing design and technical guidelines
- Transportation Demand Management for Developments (TDM)
- Neighborhood Energy Connectivity standards
- Rainwater management bulletin
- Parking, loading and bicycle design supplements and regulations

HOUSING INTENT FOR 6.78 FSR - PURPOSE BUILT RENTAL + BELOW MARKET HOUSING

The proposed project is a residential building with 295 secured rental homes.

With a Floor Space Ratio of 6.78, the proposal consists of a 24-storey building with a 6 storey podium along with partial rooftop amenity spaces, presenting a diverse range of options for both new market and below-market rental housing. The total of 295 secured rental homes includes 54 below-market rental homes (corresponding to the required 20% residential floor area), contributing to the overall diversity of the resident population.

The surplus provision of rental housing and of CRUs spaces in this site carries the potential to contribute to the resiliency of neighbouring businesses and an increased utilization of sustainable transportation services available at close proximity to the site.

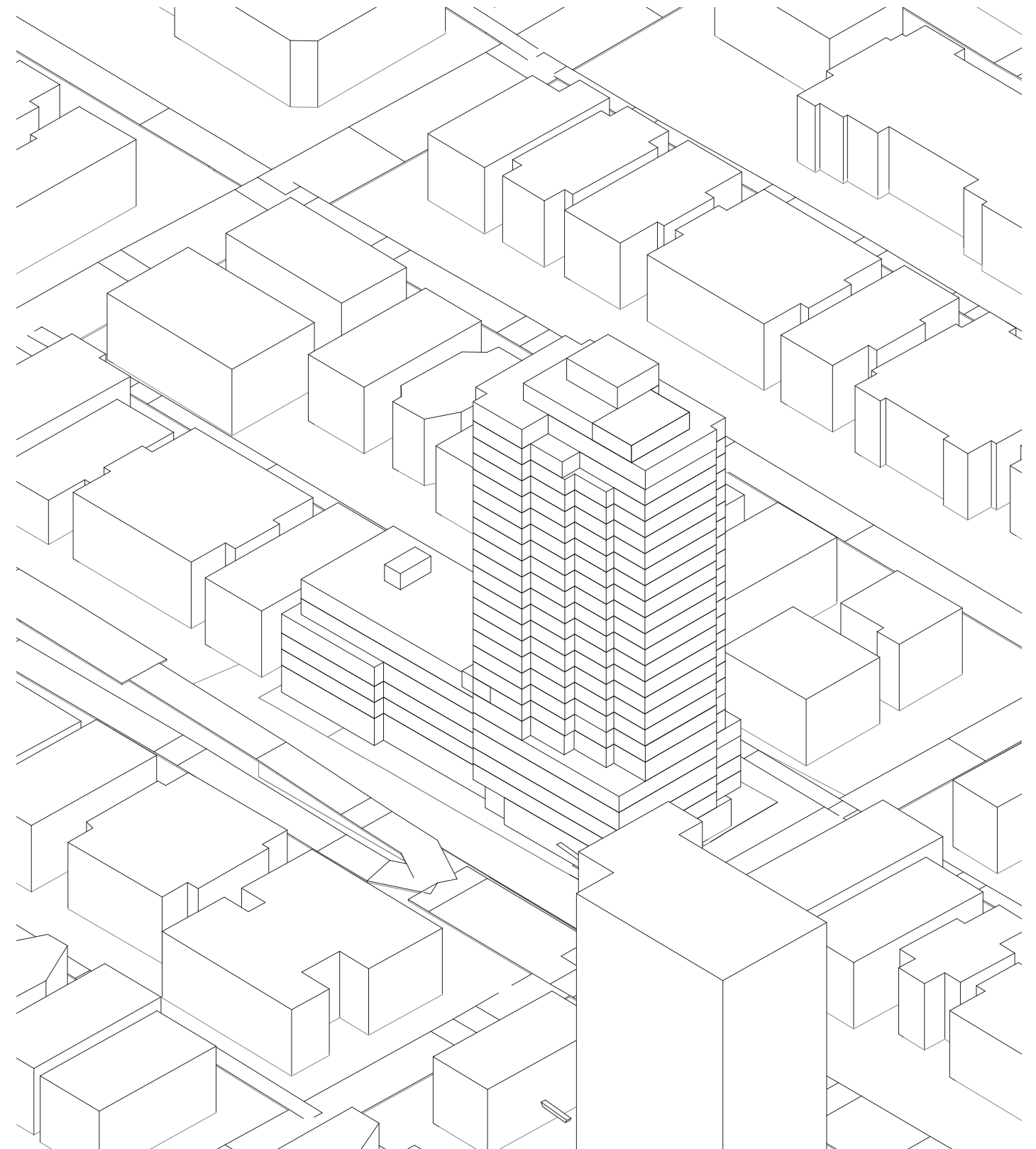


Figure 2.7.2 Isometric massing

3.0

DESIGN STRATEGY

The project is located in the Fairview South - Area A of the Broadway Plan, where secure rental housing and retail is permitted. Additionally, a minimum of 20% of the residential floor area is required to be secured at below-market rents. Council approval for the Broadway Plan was granted on June 22nd, 2022, and it officially came into effect on September 1st, 2022.

The upcoming high-rise residential rental building will provide resident services both on the ground level and the rooftop, including retail units on the ground floor.

The location of the building allows for the creation of a service laneway, facilitating vehicle access to parking levels, garbage collection, and bike rooms.

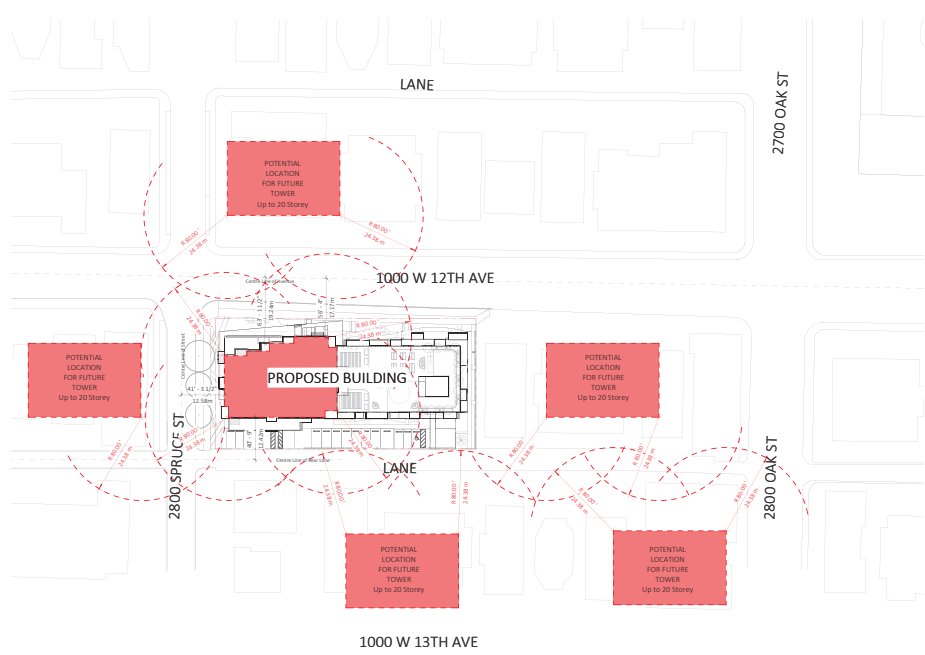


Figure 3.1.1 Potential future context scenario - Tower Separation

Tower Separation / Block Study

The tower is positioned along the western edge of the site to anchor the corner effectively. The proposed design ensures a 24-meter (80-foot) corner-to-corner separation, maintaining adequate distance for future developments.

Building Design

The proposal for this site is significantly constrained by various conditions. Setbacks, site and design restrictions, floor plate sizing and shadowing all play a crucial role in shaping the building’s overall massing and design.



Figure 3.1.2 Simple massing form diagram

The building presents a 6-story podium from which a tower rises to level 24, plus a rooftop amenity level. The design starts with basic box shapes that are broken down into different sizes to reduce the building’s perceived scale and massing, making it more pedestrian-friendly and adding architectural merit. The top floors of the podium (levels 5 and 6) are slightly recessed, as well as the west side of floors 23 and 24, to further shape the building’s volume and reduce bulkiness.

A sense of verticality is achieved through vertical elements that step down along the corner of the tower, directing attention towards the intersection of 12th Avenue and Spruce. This design minimizes visual impact from street level while creating interesting geometry and opportunities to incorporate visible green elements.

The strict vertical and symmetrical design of the tower is intentionally disrupted by the use of colors and panels on the façade, creating a dominant regular grid that wraps the podium. The building is clad in light-tone metal panels with a few slightly darker shades, giving the structure a lighter appearance as it rises. The tallest levels of both the podium and the tower feature intentionally darker colors and are recessed from the main façade to reduce street-level impact, creating an engaging composition with a mix of green elements and diamond-shaped metal panels.

Site Design

The residential character of the Fairview South area will be maintained and enhanced by the existing retail units on the ground floor, specifically at the corner of 12th and Spruce Street.

The underground parking for vehicles will be accessible from the lane, encouraging the use of environmentally friendly transportation such as electric vehicles and bicycles. EV charging stations will also be provided below grade. Additional services in the underground parking accessed from the laneway include off-street bicycle lockers/rooms, bike workshops/wash, garbage rooms, communications closets, and mechanical and electrical equipment rooms.

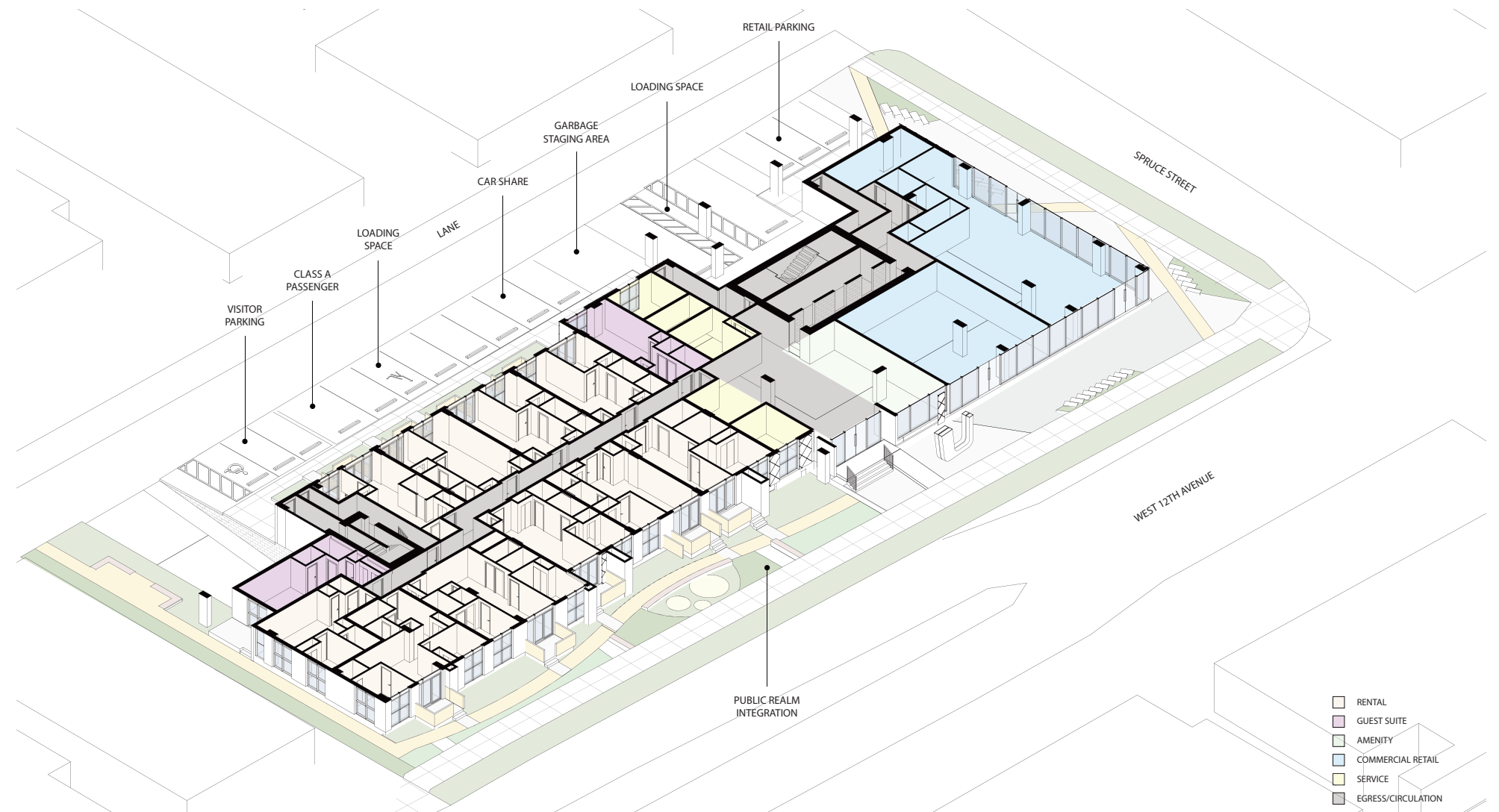


Figure 3.2.1 Ground floor space isometric

Residential Design

All homes in the proposal meet or exceed the requirements and standards of all applicable guidelines.

Family homes follow the requirements from High-Density Housing for Families with Children Guidelines, providing residents with a private outdoor space with views and indoor space with shade. Every home features a balcony, except for few studio homes which have a juliet balconies, with a large double sliding doors.

Each home, including those designated as below market rentals, comes equipped with a washer-dryer and fully equipped kitchens. The open floor plans provide residents with flexibility in arranging furniture according to their preferences. Careful consideration has been given to the placement of windows, ensuring that

natural daylight illuminates the rooms while maintaining privacy for the residents.

Homes do not exceed a depth of 35 feet in any direction, and the design of storage spaces ensures that they are optimised for storage purposes only.

Amenities

The proposed design exceeds the minimum indoor and outdoor recommended requirements for building amenity space for residents. This is complemented by private outdoor space on a unit by unit basis.

The ground floor of the building houses a flexible indoor amenity space connected to an open outdoor public space that will allow residents to engage in different social and physical activities.

Additional services on the ground floor include two guest suites, pet spa, an activated lobby lounge space, and parcel rooms. A bike workshop and wash is provided in the underground parking.

On Level 07, there is a spacious and flexible indoor amenity space that includes an accessible washroom and a kitchenette. This indoor area connects to the outdoor podium space, which features BBQ areas and gathering spaces for residents.

The rooftop amenity level is comprised of a partial storey with fitness areas that are also immediately connected to outdoor amenity spaces. The rooftop outdoor space will receive sunlight, air and magnificent views all year, providing an ideal space for social gatherings, bbqing, studying, exercising, sunbathing and more.

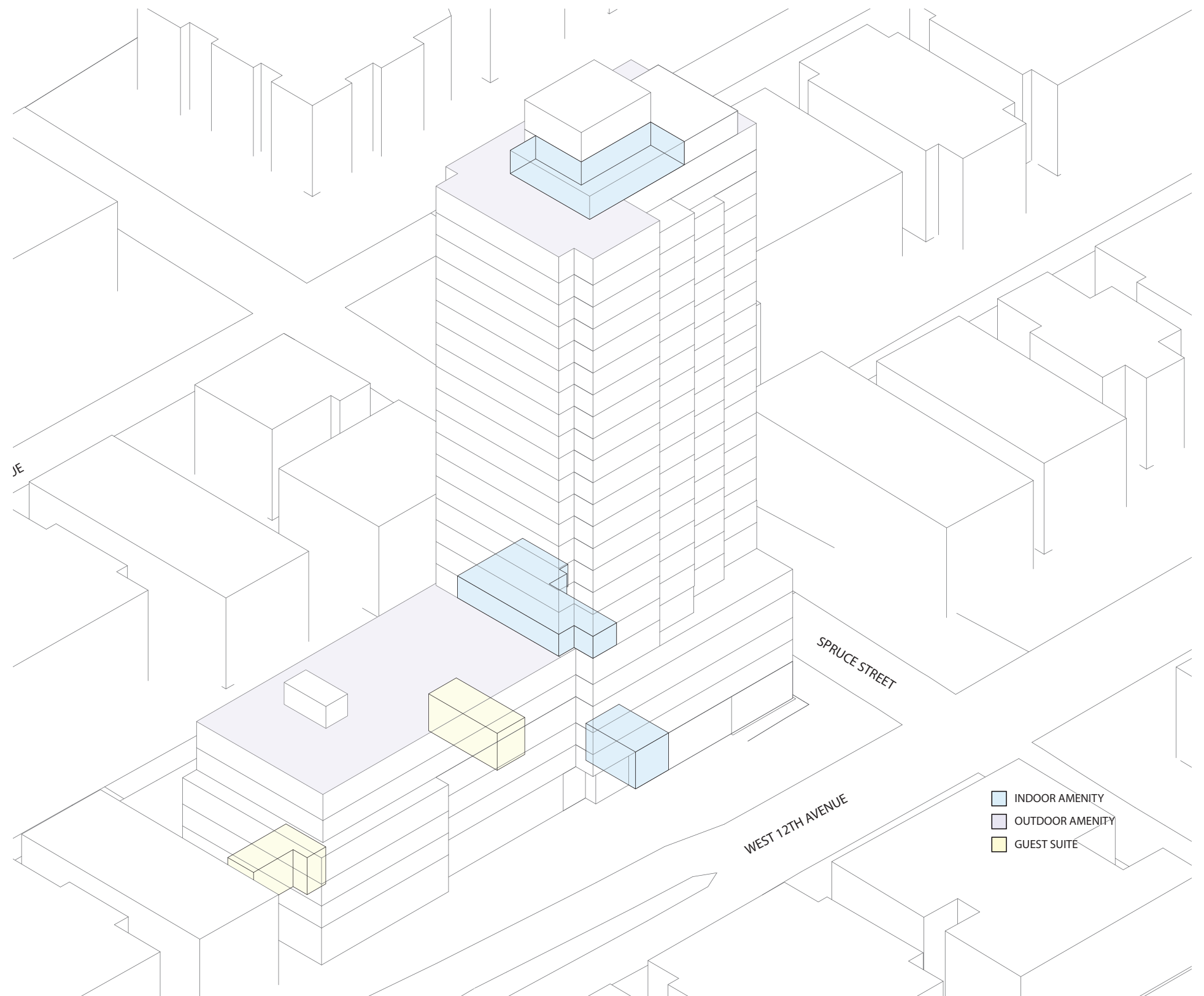


Figure 3.2.2 Amenity isometric

Built Form

The massing is formed by 24 levels above ground of which 6 are a podium, plus a rooftop level, and responds to site setbacks.

Ground Floor - The ground floor of the tower contains a 15'4" ceiling lobby and amenity spaces, along with guest suites and two CRUs.

Podium - The first fully residential floors on level 2 to 4 are treated with balconies and shading along with daylight access to all homes. Level 5 and 6 are recessed along 12th ave, providing a smaller floor plate to reduce the street impact.

Tower - The tower maintains the same floor plate and unit layout up to Level 22. However, the top two levels, 23 and 24, introduce a vertical step-back design, offering larger homes with private outdoor spaces. This design also incorporates green elements into the façade.

Amenities - Indoor amenity spaces are located on the ground level, podium level, and on a partial storey on the roof top.

Accessible Homes - The building will feature 5 fully accessible homes. These units are situated on levels 1 to 5 of the podium.

Intended to be designed together with Vancouver Coastal Health for high-needs individuals.

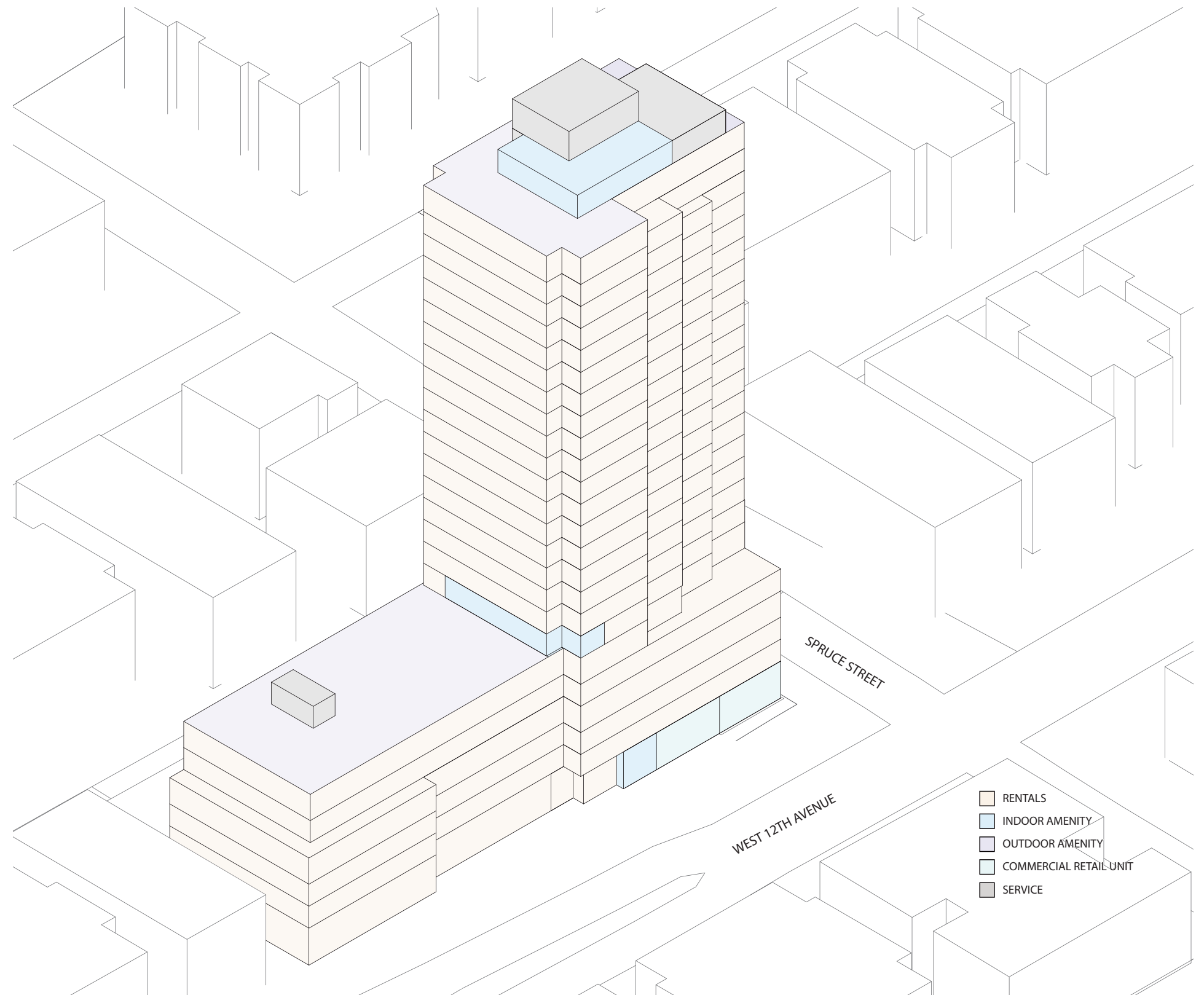


Figure 3.3.1 Amenity and FSR distribution isometric

Existing Site

The existing site landscaping comprises several trees along W 12th Avenue and Spruce Street, together with smaller tree and various ornamental plants surrounding the existing building.

Tree Management

The proposed reorganization of the boulevard, sidewalk, and site frontage aligns with the envisioned street boulevard layout detailed in the Broadway Plan. There are 4 City trees located within 4 meters of the property line or within a tree protection zone that extends onto the subject site. 3 City trees along Spruce Street are proposed to be retained and 1 City tree is suggested for removal due to the underground structure. Furthermore, there are 18 on-site trees (one of which is shared with the City) that are proposed for removal to accommodate the site plan. Our proposal aims to introduce a new row of street trees along the boulevard on Spruce, as well as additional trees at the front of the property, in order to create a publicly accessible street garden at grade within the prescribed setbacks.

New Development

The proposed project aligns with the Broadway Plan, which aims to integrate development harmoniously within the neighbourhood. The landscape design comprises two main areas: the street and lane interfaces, and the outdoor amenities on the upper levels, atop the podium and at the rooftop. The new development aims to ensure that outdoor spaces provide a mix private, semi-private, and public spaces, facilitating a broad range of uses.

the privacy and socialization needs of residents.

Front building spaces are designed to foster active and engaging edges, encouraging social interaction and providing privacy for the residential units on level 1. There will be an animated urban plaza at the corner of Spruce Street and 12th Avenue, serving as an inviting space with commercial uses. For the residential units, we consider utilizing layers of planting to achieve



Figure 3.4.1 and 3.4.2 Urban Plaza and Main Entrance

the right balance of privacy and sociability. While we encourage the use of hedges and planted barriers, we minimize full-height solid fencing and continuous visual barriers to allow filtered views between spaces.

A proposed public art location has been situated in the urban plaza at the corner of 12th Avenue and Spruce Street due to its potential for public accessibility and visibility.

Community-oriented urban amenities are available, including a small bike hub accessible to residents and the public. The laneway interface features designated spaces for garbage totes staging, as well as passenger and loading bays.

The outdoor amenities on the podium level and rooftop offer a wide range of spaces for various activities. These include dining areas, lounge spaces, gathering places, a children’s play area, adult game spaces, workout areas, flexible spots, urban agriculture, and a beekeeping space. These spaces are integrated with soft landscaped areas such as an extensive green roof on the podium level and potted plantings throughout the outdoor amenities. This integration aims to connect residents with nature, enhance their quality of life, and improve well-being.

Design approach

The landscape strategy for the new development aims to establish meaningful connections with the neighbouring community, enhance habitat, and address environmental concerns and social values. Our approach prioritizes the seamless integration of architectural elements into the outdoor environment, considering materiality, textures, colours, natural-based solutions, and the overall character of the development.

Moreover, we plan to use permeable materials, rain gardens, and green roofs, along with strategic tree and shrub planting, to provide habitat, improve microclimate conditions, assist in rain-water management, and mitigate the impact of urban heat islands.

We aim to create a joyful activity area for children on the podium level, incorporating playfulness, vibrant colours and shapes, natural materials, and elements that provide educational



Figure 3.4.3 and 3.4.4 Street Garden and Plan View

opportunities as well as support a range of creative, social, dramatic, and physical activities, outdoor amenity spaces are provided that offer opportunities for food production, recreation, and social interaction.

Planting Selection

The plant species throughout the site are selected based on their ornamental quality with consideration to drought tolerance, native attributes, adaptability, contribution to habitat and biodiversity, and resistance to pests and diseases. The selection process follows several guidelines, including the COV Water management guidelines, Urban Forest Strategy, Bird-Friendly Design Guidelines, Biodiversity Strategy, and Rewilding Strategy. Permanent raised planters, dropped slabs, and berming are used to enhance green spaces, ensuring trees and shrubs meet the required minimum soil volume. The proposed design aims to create larger planted areas where possible to provide connected habitat provisions such as food sources, nesting spots, perches, and wildlife shelters. Considering that most planted areas lack access to natural soils, high-efficiency irrigation systems are suggested throughout the site.



Figure 3.4.5 and 3.4.6 Outdoor Amenities, Podium and Roof

4.0

SUSTAINABILITY

Sustainability Measures

Based on the preliminary analysis, the project would currently be expected to meet the more stringent for TEDI “no LCES” pathway targets, though with very little buffer.

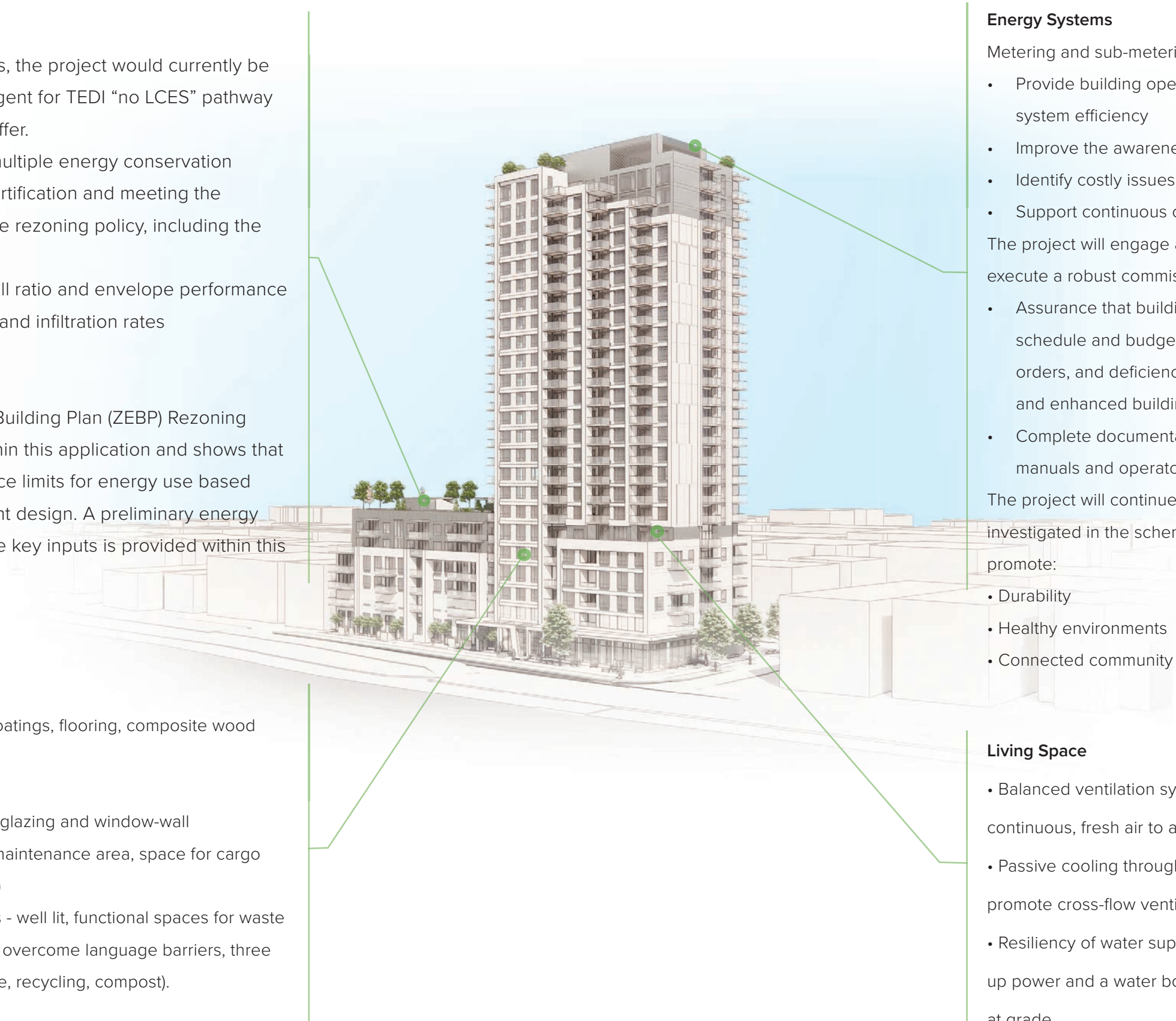
The proposed design employs multiple energy conservation methods pursuing LEED Gold Certification and meeting the required performance limits of the rezoning policy, including the following:

- Optimization of window to wall ratio and envelope performance
- Attention to thermal bridging and infiltration rates
- Electric mechanical systems
- High efficiency heat recovery

The preliminary Zero Emissions Building Plan (ZEBP) Rezoning Energy Checklist is provided within this application and shows that the project meets the performance limits for energy use based on the major inputs for the current design. A preliminary energy modelling report summarizing the key inputs is provided within this application.

Design Strategy

- Low emitting finishing materials (coatings, flooring, composite wood products)
- Water conserving fixtures
- Combination of high-performance glazing and window-wall
- Superior bike infrastructure (bike maintenance area, space for cargo bikes/trailers, electric bike charging)
- Waste management best practices - well lit, functional spaces for waste sorting, ventilation, pictographs to overcome language barriers, three stream sorting within suites (garbage, recycling, compost).



Energy Systems

Metering and sub-metering of energy systems which will:

- Provide building operators with performance data to optimise system efficiency
- Improve the awareness of energy consumption
- Identify costly issues during operations
- Support continuous optimization

The project will engage a third party Commissioning Authority to execute a robust commissioning process to provide:

- Assurance that building can be delivered within the project schedule and budget by reducing design delays, change orders, and deficiencies, leading to reduced operational costs and enhanced building performance over time.
- Complete documentation at building turnover with systems manuals and operator training.

The project will continue to consider resiliency measures investigated in the schematic design as the project develops to promote:

- Durability
- Healthy environments
- Connected community

Living Space

- Balanced ventilation system supplying filtered, tempered, continuous, fresh air to all living spaces.
- Passive cooling through sliding balcony doors and design to promote cross-flow ventilation.
- Resiliency of water supply for residents with water pump on back up power and a water bottle filling station powered by city pressure at grade.

Landscape

- Preference for native and adaptive plants
- High efficiency irrigation
- Bird-friendly fruit bearing trees
- Pollinator-friendly planting
- Edible planting
- Outdoor amenity spaces for residents provide a balance of shaded, covered, and sunlit areas to promote year-round use during various weather conditions
- Providing universal access to diversity of social/gathering spaces for all ages and abilities
- Space for urban agriculture is nurtured by rooftop beehives and resident garden planters.

Green Mobility

- Offering an optimal chance to embrace a car-free lifestyle providing convenient locations for bicycle parking
- Providing the advantage of proximity to a variety of shops, services, and other amenities within walking distance
- Access to transit networks along the Broadway corridor
- Providing car share vehicles, Mobi All Access Passes, and monthly transit passes



Rainwater Management

- Project will align with the City of Vancouver’s rainwater management policy
- The site will provide a biodiverse green environment, reducing peak stormwater volume flow that could affect sensitive habitats, through the incorporation of extensive roofs and planters.

5.0

PROJECT STATISTICS

PROJECT DATA SUMMARY				
CIVIC ADDRESS		1088 W 12th Ave, Vancouver BC		
LEGAL DESCRIPTION		LOT 1 TO 5 BLOCK 415 PLAN VAP1276 DISTRICT LOT 526 NEW WESTMINSTER LOTS 1 TO 5 BLK 415 DL 526 PLN VAP1276 011659416		
ZONING		CD		
SITE AREA		2,902.56	31,242.94	
GROSS FLOOR AREA PROPOSED		M2	SF	
		21,387.29	230,211.00	
	FAR AREA	M2	SF	
		19,682.71	211,863.00	
	TOTAL	19,682.71	211,863.00	
TOTAL FSR		6.78		
Total rental area (FSR Area)		19,409.02	208,917.00	
Commercial area (FSR Area)		273.69	2,946.00	
NET MARKET RENTAL FLOOR AREA		11,756.28	126,543.64	
NET BELOW MARKET RENTAL FLOOR AREA		2,960.05	31,861.76	
BUILDING HEIGHT		PROVIDED		
RESIDENTIAL		24 STOREY		
AMENITY/MECH		1 STOREY		
* number of storey is including amenity space on the rooftop				
TOTAL UNITS				
RENTAL		295		
TOTAL		295		
Allowed residential balconies (12%)		2,329.08	25,070.04	PROVIDED: 14,986.00
RESIDENTIAL AMENITY		RECOMMENDED		PROVIDED
		M2	SF	M2 SF
INDOOR AMENITY		354	3,810.42	366 3,940.00
OUTDOOR AMENITY		590	6,350.70	873 9,395.00

PROPOSED SETBACKS		
	M	FT
FRONT YARD SETBACK:	5.40	17' - 8 1/2"
SIDE YARD SETBACK (WEST):	2.56	8' - 5"
SIDE YARD SETBACK (EAST):	2.42	7' - 11 1/2"
REAR YARD SETBACK:	9.30	30' - 6"

BUILDING HEIGHT		
	M	FT
24 STOREYS + 1 AMENITY		
AVERAGE GRADE: 51.84 + 52.76 = 104.60/2 = 52.30		171' - 7 1/16"
BUILDING HEIGHT: 125.91 - 52.30 = 73.61		241' - 6 1/16"
BUILDING HEIGHT (FROM HIGHEST ROOF LEVEL POINT): 132.41 - 52.30 = 80.11		262' - 10"

RESIDENTIAL					
UNIT MIX					TOTAL
RESIDENTIAL - RENTAL					
FLOOR	STUDIO	1 BR	2 BR	3 BR	
LEVEL 1	2.00	8.00	2.00	-	12.00
LEVEL 2	4.00	11.00	4.00	3.00	22.00
LEVEL 3	4.00	11.00	4.00	3.00	22.00
LEVEL 4	4.00	11.00	4.00	3.00	22.00
LEVEL 5	4.00	10.00	4.00	3.00	21.00
LEVEL 6	4.00	10.00	5.00	1.00	20.00
LEVEL 7	2.00	4.00	2.00	-	8.00
LEVEL 8	3.00	3.00	3.00	1.00	10.00
LEVEL 9	3.00	3.00	3.00	1.00	10.00
LEVEL 10	3.00	3.00	3.00	1.00	10.00
LEVEL 11	3.00	3.00	3.00	1.00	10.00
LEVEL 12	3.00	3.00	3.00	1.00	10.00
LEVEL 13	3.00	3.00	3.00	1.00	10.00
LEVEL 14	3.00	3.00	3.00	1.00	10.00
LEVEL 15	3.00	3.00	3.00	1.00	10.00
LEVEL 16	3.00	3.00	3.00	1.00	10.00
LEVEL 17	3.00	3.00	3.00	1.00	10.00
LEVEL 18	3.00	3.00	3.00	1.00	10.00
LEVEL 19	3.00	3.00	3.00	1.00	10.00
LEVEL 20	3.00	3.00	3.00	1.00	10.00
LEVEL 21	3.00	3.00	3.00	1.00	10.00
LEVEL 22	3.00	3.00	3.00	1.00	10.00
LEVEL 23	3.00	2.00	2.00	2.00	9.00
LEVEL 24	3.00	2.00	3.00	1.00	9.00
TOTAL	75.00	114.00	75.00	31.00	295.00
PERCENTAGE	25.4%	38.6%	25.4%	10.5%	100%

BELOW MARKET UNITS

	STUDIO	1 BED	2 BED	3 BED	TOTAL
LEVEL 1		3	2	-	5
LEVEL 2	3	5	4	2	14
LEVEL 3	3	5	4	2	14
LEVEL 4	3	5	4	2	14
LEVEL 5	2	2	2	1	7
TOTAL	11	20	16	7	54
PERCENTAGE	20%	37%	30%	13%	100%

ACCESSIBLE UNITS

ACCESSIBLE UNITS			
Level	Name	Accessible Unit	Area
LEVEL 05	1 BED	Yes	653 ft ²

Total Accessible Units: 5

FLOOR	TOTAL GROSS AREA SF	EXCLUSIONS			TOTAL (SF)	
		GROSS AMENITY	IN-SUITE STORAGE	EXTERNAL INSULATION	EXCLUSION AREA	FSR (FAR)
P1						
P2						
P3						
LEVEL 1	15,200.0	1590.0	315.0	331.0	2,236	12,964.0
LEVEL 2	16,991.0		696.0	342.0	1,038	15,953.0
LEVEL 3	16,991.0		696.0	342.0	1,038	15,953.0
LEVEL 4	16,991.0		696.0	342.0	1,038	15,953.0
LEVEL 5	16,154.0		661.0	328.0	989	15,165.0
LEVEL 6	14,867.0		610.0	304.0	914	13,953.0
LEVEL 7	7,250.0	1287.0	248.0	186.0	1,721	5,529.0
LEVEL 8	7,250.0		305.0	186.0	491	6,759.0
LEVEL 9	7,250.0		305.0	186.0	491	6,759.0
LEVEL 10	7,250.0		305.0	186.0	491	6,759.0
LEVEL 11	7,250.0		305.0	186.0	491	6,759.0
LEVEL 12	7,250.0		305.0	186.0	491	6,759.0
LEVEL 13	7,250.0		305.0	186.0	491	6,759.0
LEVEL 14	7,250.0		305.0	186.0	491	6,759.0
LEVEL 15	7,250.0		305.0	186.0	491	6,759.0
LEVEL 16	7,250.0		305.0	186.0	491	6,759.0
LEVEL 17	7,250.0		305.0	186.0	491	6,759.0
LEVEL 18	7,250.0		305.0	186.0	491	6,759.0
LEVEL 19	7,250.0		305.0	186.0	491	6,759.0
LEVEL 20	7,250.0		305.0	186.0	491	6,759.0
LEVEL 21	7,250.0		305.0	186.0	491	6,759.0
LEVEL 22	7,250.0		305.0	186.0	491	6,759.0
LEVEL 23	7,121.0		292.0	186.0	478	6,643.0
LEVEL 24	6,861.0		282.0	186.0	468	6,393.0
					0	0.0
LEVEL 25 AMENITY/ MECHANICAL	3,035.0	1,063.00			1,063	1,972.0
TOTAL	230,211	3940.0	9,071.0	5,337.0	13,011	211,863.0
TOTAL (m2)	21,387.29	366.0	842.7	495.8	1,208.8	19,682.7

Residential Balcony Area

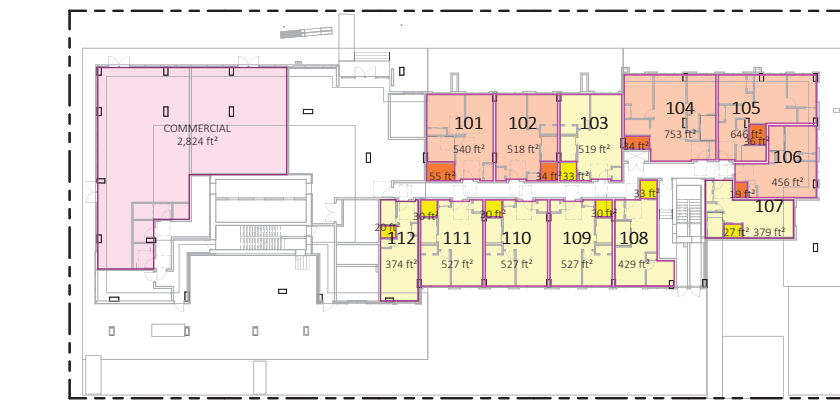
BALCONY AREAS	
LEVEL	BALCONY AREA SF
LEVEL 2	1,355.00
LEVEL 3	1,355.00
LEVEL 4	1,355.00
LEVEL 5	1,462.00
LEVEL 6	1,088.00
LEVEL 7	417.00
LEVEL 8	464.00
LEVEL 9	464.00
LEVEL 10	464.00
LEVEL 11	464.00
LEVEL 12	464.00
LEVEL 13	464.00
LEVEL 14	464.00
LEVEL 15	464.00
LEVEL 16	464.00
LEVEL 17	464.00
LEVEL 18	464.00
LEVEL 19	464.00
LEVEL 20	464.00
LEVEL 21	464.00
LEVEL 22	464.00
LEVEL 23	414.00
LEVEL 24	580.00
TOTAL	14,986.00

Maximum 12% balcony allowed of

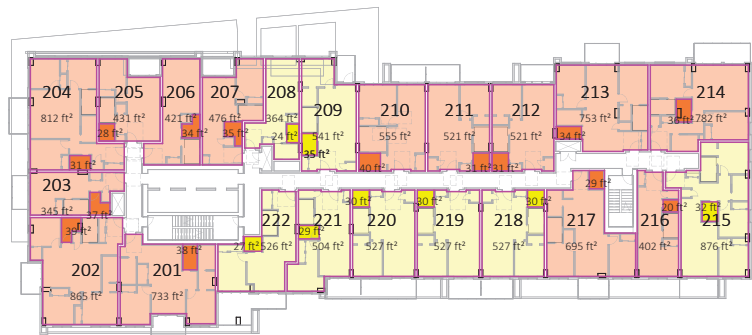
PARKING COUNT			RECOMMENDED		PROVIDED	
RESIDENTIAL	Bylaw section 0.35/unit		103		106	
COMMERCIAL	4.2.5.1 1space/100sq.m		2.83		3	
PHYSICAL TOTAL STALL REQUIRED AS PER TDM						
VISITOR					12	
ACCESSIBLE	4.8.4A 1 Space/ 7 Units + 0.034/Additional Units		10.79		11	
REGULAR STALL					57	
SMALL STALLS			25.81		26	
TOTAL RESIDENTIAL					106	
TOTAL PARKING					109	
OFF-STREET LOADING ON LEVEL 1			REQUIRED		PROVIDED	
CLASS B			2		2	
CLASS A			3		3	
CAR SHARE LEVEL 1			REQUIRED		PROVIDED	
CAR SHARE VEHICLES SPACES					5	
* Based on 6.2.1.2. City of Vancouver Parking By-law Zoning Bylaw						
TOTAL					119	
			REQUIRED		PROVIDED	
			CLASS A	CLASS B	CLASS A	CLASS B
BICYCLE COUNT	RESIDENTIAL	CLASS A (1.5/UNIT<65 sqm) (2.5/UNIT≥65 sqm)	549			
		CLASS B (2+1/20 UNITS)		16.75		17.00
	COMMERCIAL		1.00	6.00	1	6.00
	Units <65		189.00			
	65<Units<105		106.00			
	percentage					
	Horizontal	25%	137.13		137	
	Vertical (max)	10%	54.85		57	
	Stacked (max)	50%	274.25		272	
	Locker (min)	10%	54.85		55	
	Oversized (min)	5%	27.43		28	
	Total		550	22.75	550	23

BIKE SCHEDULE				
Level	Type	Type	Percentage	Bike Space Provided
LEVEL 01				
LEVEL 01	Class A - Horizontal 1800 x 600 mm	H	0%	1
				1
LEVEL P1				
LEVEL P1	Class A - Horizontal 1800 x 600 mm	H	25%	137
LEVEL P1	Class A - Horizontal Stacked 1800 x 600 mm	ST	49%	272
LEVEL P1	Class A - Locker (Standard) 1800 x 600 mm	L	4%	21
LEVEL P1	Class A - Locker (Tapered) 1800 x 600 mm	L	6%	34
LEVEL P1	Class A - Oversize 2400 x 900 mm	O	5%	28
LEVEL P1	Class A - Vertical 1000 x 600 mm	V	10%	57
				549
TOTAL BICYCLE				550

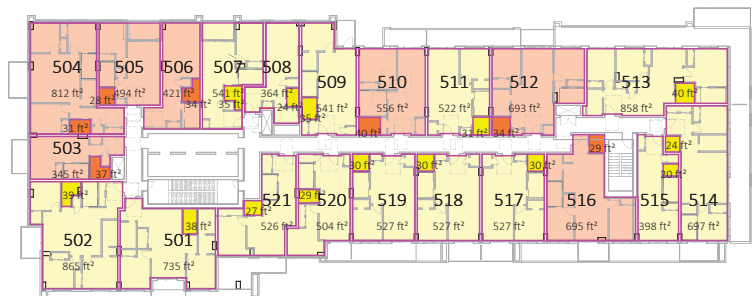
Parking Schedule		
Level	Type	Count
LEVEL 01		
LEVEL 01	Accessible Stall - Side by Side - 2500 x 5500 mm	1
LEVEL 01	Car Share Stall - Side by Side - 2900 x 5500 mm	6
LEVEL 01	Class B Loading - 3400 x 10200 mm	2
LEVEL 01	Standard Stall - 2500 x 5500 mm	5
		14
LEVEL P1		
LEVEL P1	Accessible Stall - Side by Side - 2500 x 5500 mm	4
LEVEL P1	Standard Stall - 2500 x 5500 mm	15
LEVEL P1	VAN Accessible Stall - Side by Side - 3500 x 5500 mm	1
		20
LEVEL P2		
LEVEL P2	Accessible Stall - Side by Side - 2500 x 5500 mm	4
LEVEL P2	Small Stall - 2300 x 4600 mm	26
LEVEL P2	Standard Stall - 2500 x 5500 mm	55
LEVEL P2	VAN Accessible Stall - Side by Side - 3500 x 5500 mm	1
		86
		120



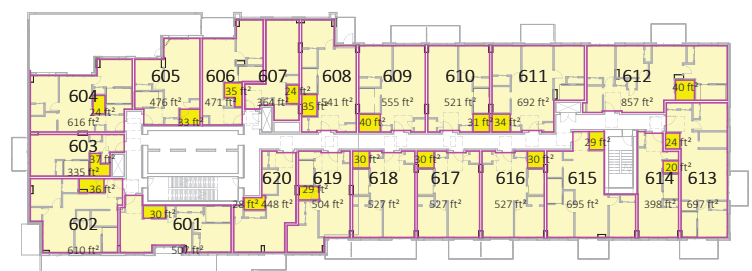
1 LEVEL 01
1:300



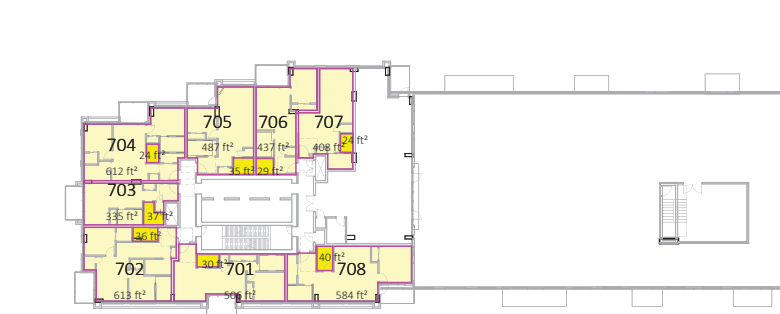
2 LEVEL 02 TO 04
1:300



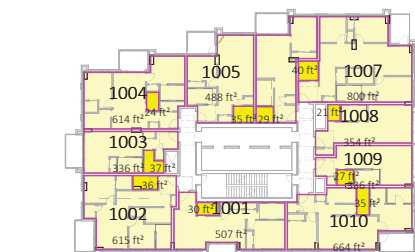
9 LEVEL 05
1:300



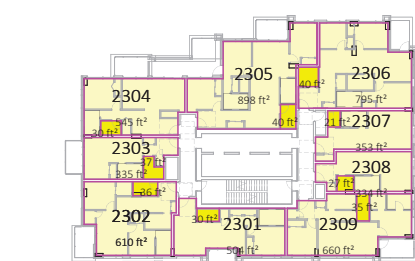
10 LEVEL 06
1:300



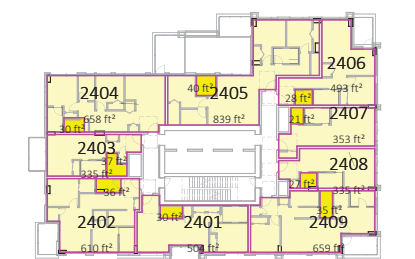
3 LEVEL 07
1:300



6 LEVEL 08 TO 22
1:300



4 LEVEL 23
1:300



11 LEVEL 24
1:300

NET AREA

- BELOW MARKET RENTAL
- BELOW MARKET RENTAL STORAGE
- COMMERCIAL
- MARKET RENTAL
- MARKET RENTAL STORAGE

	GROSS BUILDABLE AREA (SF)		NET LEASABLE AREA (SF)					GROSS TO NET EFFICIENCY (%)	
	RESIDENTIAL	COMMERCIAL	MARKET RENTAL	BELOW MARKET RENTAL	MARKET RENTAL STORAGE	BELOW MARKET RENTAL STORAGE	COMMERCIAL	RESIDENTIAL	COMMERCIAL
LEVEL 1	11,654.00	3,546.00	3,282.29	292.85	201.7	178.12	2,823.54	56.42%	79.63%
LEVEL 2	16,991.00		4,392.51	831.09	235.67	462.34		78.87%	
LEVEL 3	16,991.00		4,392.51	831.09	235.67	462.34		78.87%	
LEVEL 4	16,991.00		4,392.51	831.09	235.67	462.34		78.87%	
LEVEL 5	16,154.00		8,133.95	4015.64	430.61	233.1		79.32%	
LEVEL 6	14,867.00		10,869.08	0	617.34	0		77.26%	
LEVEL 7	7,250.00		3,983.20	0	256.45	0		58.48%	
LEVEL 8	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 9	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 10	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 11	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 12	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 13	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 14	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 15	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 16	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 17	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 18	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 19	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 20	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 21	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 22	7,250.00		5,151.91	0	315.93	0		75.42%	
LEVEL 23	7,121.00		5,033.93	0	297.5	0		74.87%	
LEVEL 24	6,861.00		4,785.01	0	285.97	0		73.91%	
LEVEL 25	3,035.00		0	0	0	0		0.00%	
TOTAL	226,669.00	3,546.00	126,543.64	31,861.76	7,535.53	1,798.44	2,823.54	55.83%	79.63%

MARKET RENTAL UNIT - STORAGE NET AREA

N.	MARKET RENTAL	MARKET RENTAL STO.
LEVEL 01		
103	519 ft²	33 ft²
107	379 ft²	27 ft²
108	429 ft²	33 ft²
109	527 ft²	30 ft²
110	527 ft²	30 ft²
111	527 ft²	30 ft²
112	374 ft²	20 ft²
	3282 ft²	202 ft²
LEVEL 02		
208	364 ft²	24 ft²
209	541 ft²	35 ft²
215	876 ft²	32 ft²
218	527 ft²	30 ft²
219	527 ft²	30 ft²
220	527 ft²	30 ft²
221	504 ft²	29 ft²
222	526 ft²	27 ft²
	4393 ft²	236 ft²
LEVEL 05		
501	735 ft²	38 ft²
502	865 ft²	39 ft²
507	541 ft²	35 ft²
508	364 ft²	24 ft²
509	541 ft²	35 ft²
511	522 ft²	31 ft²
513	858 ft²	40 ft²
514	697 ft²	24 ft²
515	398 ft²	20 ft²
517	527 ft²	30 ft²
518	527 ft²	30 ft²
519	527 ft²	30 ft²
520	504 ft²	29 ft²
521	526 ft²	27 ft²
	8134 ft²	431 ft²
LEVEL 06		
601	507 ft²	30 ft²
602	610 ft²	36 ft²
603	335 ft²	37 ft²
604	616 ft²	24 ft²
605	476 ft²	33 ft²
606	471 ft²	35 ft²
607	364 ft²	24 ft²
608	541 ft²	35 ft²
609	555 ft²	40 ft²
610	521 ft²	31 ft²
611	692 ft²	34 ft²
612	857 ft²	40 ft²
613	697 ft²	24 ft²
614	398 ft²	20 ft²
615	695 ft²	29 ft²

MARKET RENTAL UNIT - STORAGE NET AREA

N.	MARKET RENTAL	MARKET RENTAL STO.
LEVEL 01		
616	527 ft²	30 ft²
617	527 ft²	30 ft²
618	527 ft²	30 ft²
619	504 ft²	29 ft²
620	448 ft²	28 ft²
	10869 ft²	617 ft²
LEVEL 07		
701	506 ft²	30 ft²
702	613 ft²	36 ft²
703	335 ft²	37 ft²
704	612 ft²	24 ft²
705	487 ft²	35 ft²
706	437 ft²	29 ft²
707	408 ft²	24 ft²
708	584 ft²	40 ft²
	3983 ft²	256 ft²
LEVEL 08 TO 22		
1001	507 ft²	30 ft²
1002	615 ft²	36 ft²
1003	336 ft²	37 ft²
1004	614 ft²	24 ft²
1005	488 ft²	35 ft²
1006	439 ft²	29 ft²
1007	800 ft²	40 ft²
1008	354 ft²	21 ft²
1009	336 ft²	27 ft²
1010	664 ft²	35 ft²
	5152 ft²	316 ft²
LEVEL 23		
2301	504 ft²	30 ft²
2302	610 ft²	36 ft²
2303	335 ft²	37 ft²
2304	545 ft²	30 ft²
2305	898 ft²	40 ft²
2306	795 ft²	40 ft²
2307	353 ft²	21 ft²
2308	334 ft²	27 ft²
2309	660 ft²	35 ft²
	5034 ft²	298 ft²
LEVEL 24		
2401	504 ft²	30 ft²
2402	610 ft²	36 ft²
2403	335 ft²	37 ft²
2404	658 ft²	30 ft²
2405	839 ft²	40 ft²
2406	493 ft²	28 ft²
2407	353 ft²	21 ft²
2408	335 ft²	27 ft²
2409	659 ft²	35 ft²
	4785 ft²	286 ft²

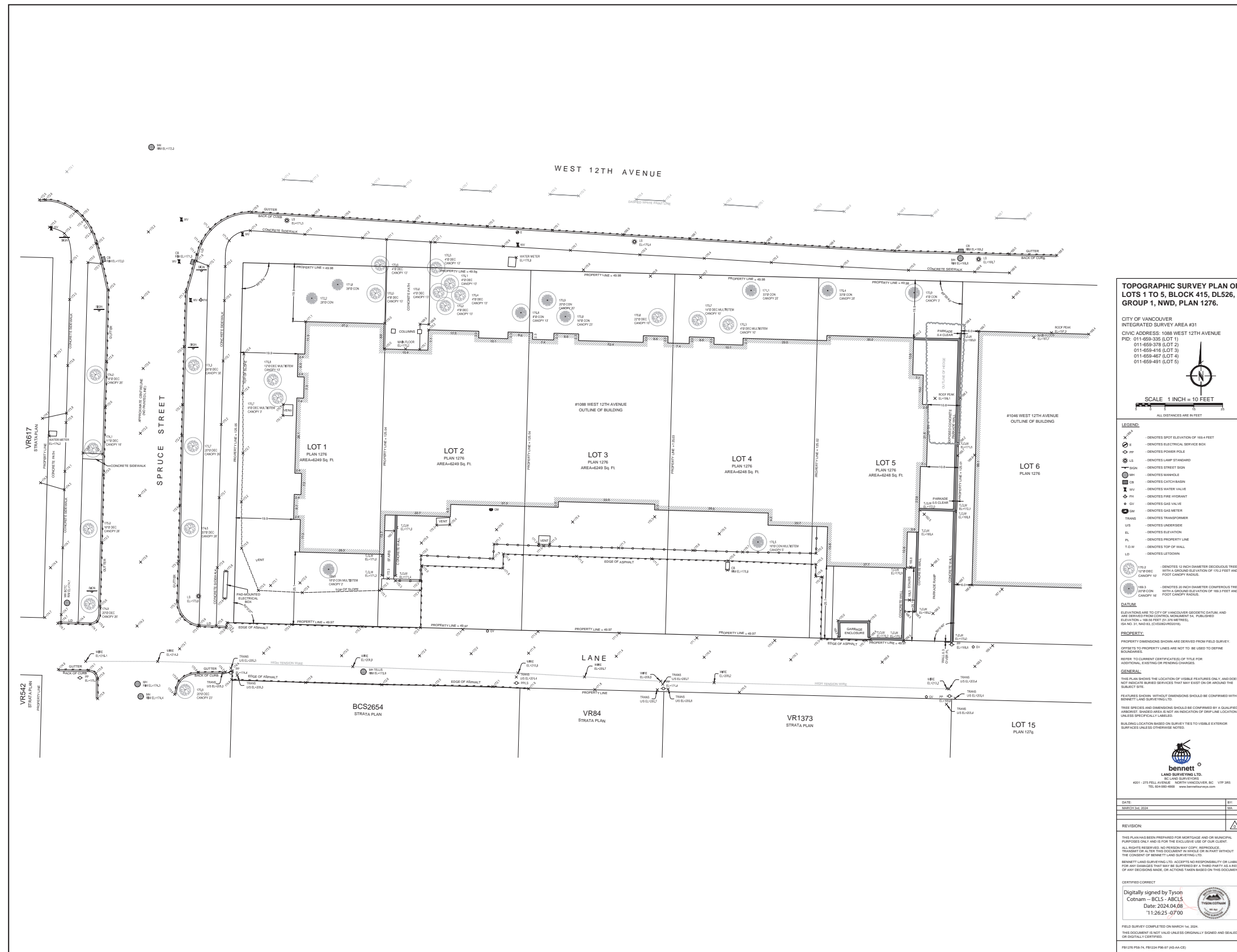
BELOW MARKET UNIT - STORAGE NET AREA

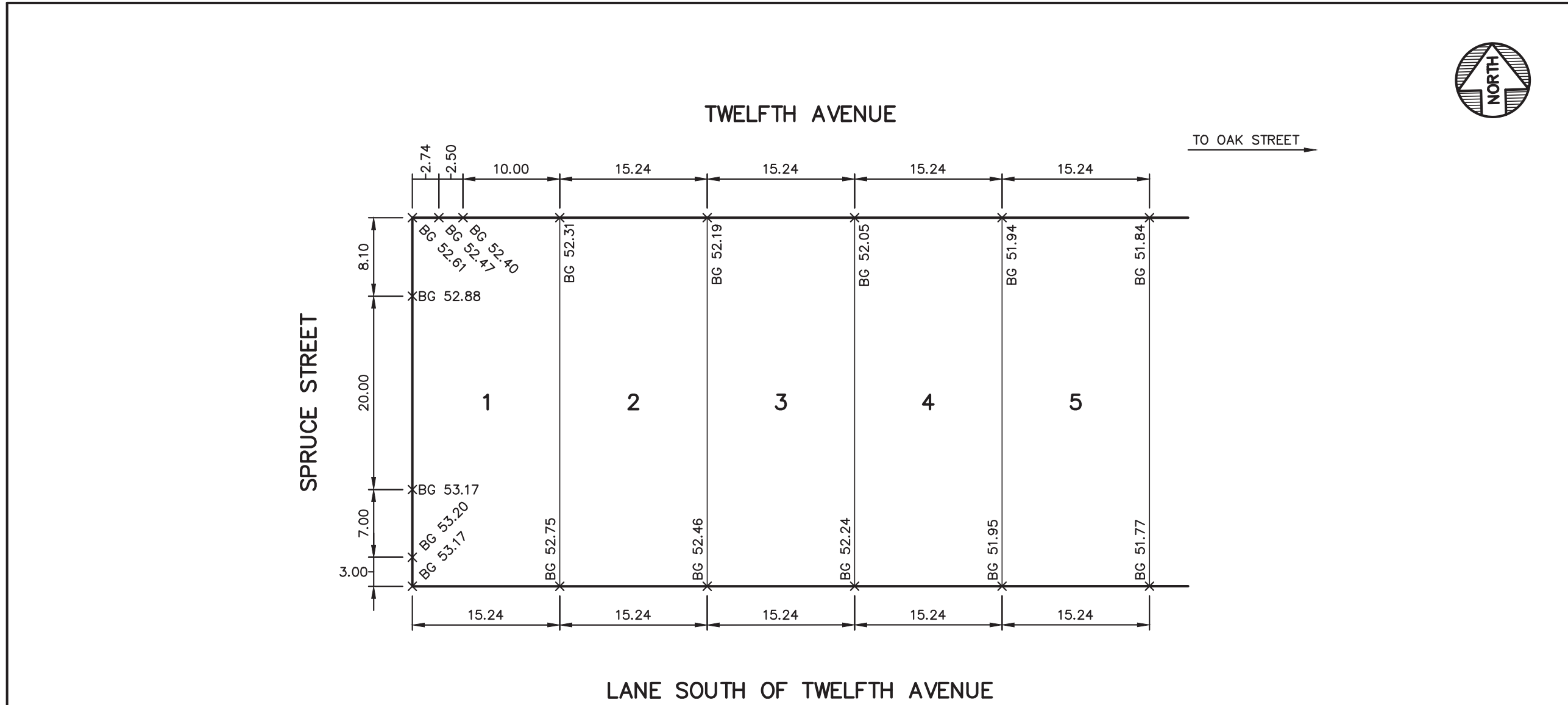
N.	BELOW MARKET	BELOW MARKET STO.
LEVEL 01		
101	540 ft²	55 ft²
102	518 ft²	34 ft²
104	753 ft²	34 ft²
105	646 ft²	36 ft²
106	456 ft²	19 ft²
	2913 ft²	178 ft²
LEVEL 02 TO 04		
201	733 ft²	38 ft²
202	865 ft²	39 ft²
203	345 ft²	37 ft²
204	812 ft²	31 ft²
205	431 ft²	28 ft²
206	421 ft²	34 ft²
207	476 ft²	35 ft²
210	555 ft²	40 ft²
211	521 ft²	31 ft²
212	521 ft²	31 ft²
213	753 ft²	34 ft²
214	782 ft²	36 ft²
216	402 ft²	20 ft²
217	695 ft²	29 ft²
	8311 ft²	462 ft²
LEVEL 05		
503	345 ft²	37 ft²
504	812 ft²	31 ft²
505	494 ft²	28 ft²
506	421 ft²	34 ft²
510	556 ft²	40 ft²
512	693 ft²	34 ft²
516	695 ft²	29 ft²
	4016 ft²	233 ft²

As per Vancouver's standards:
Measured to the internal face of the suite demising wall with no deductions for columns or internal non-demising walls.

6.0

ARCH. DRAWINGS

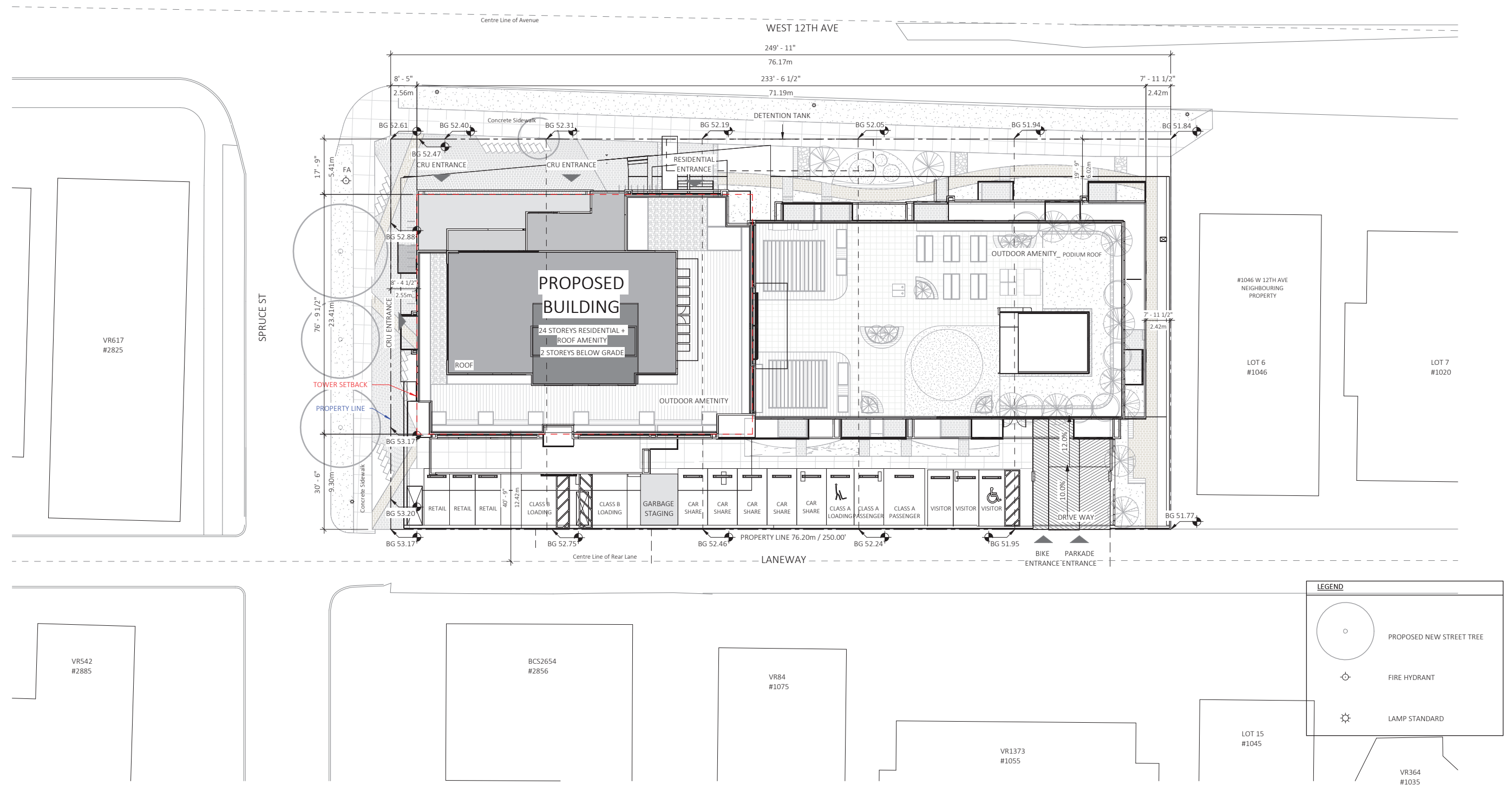


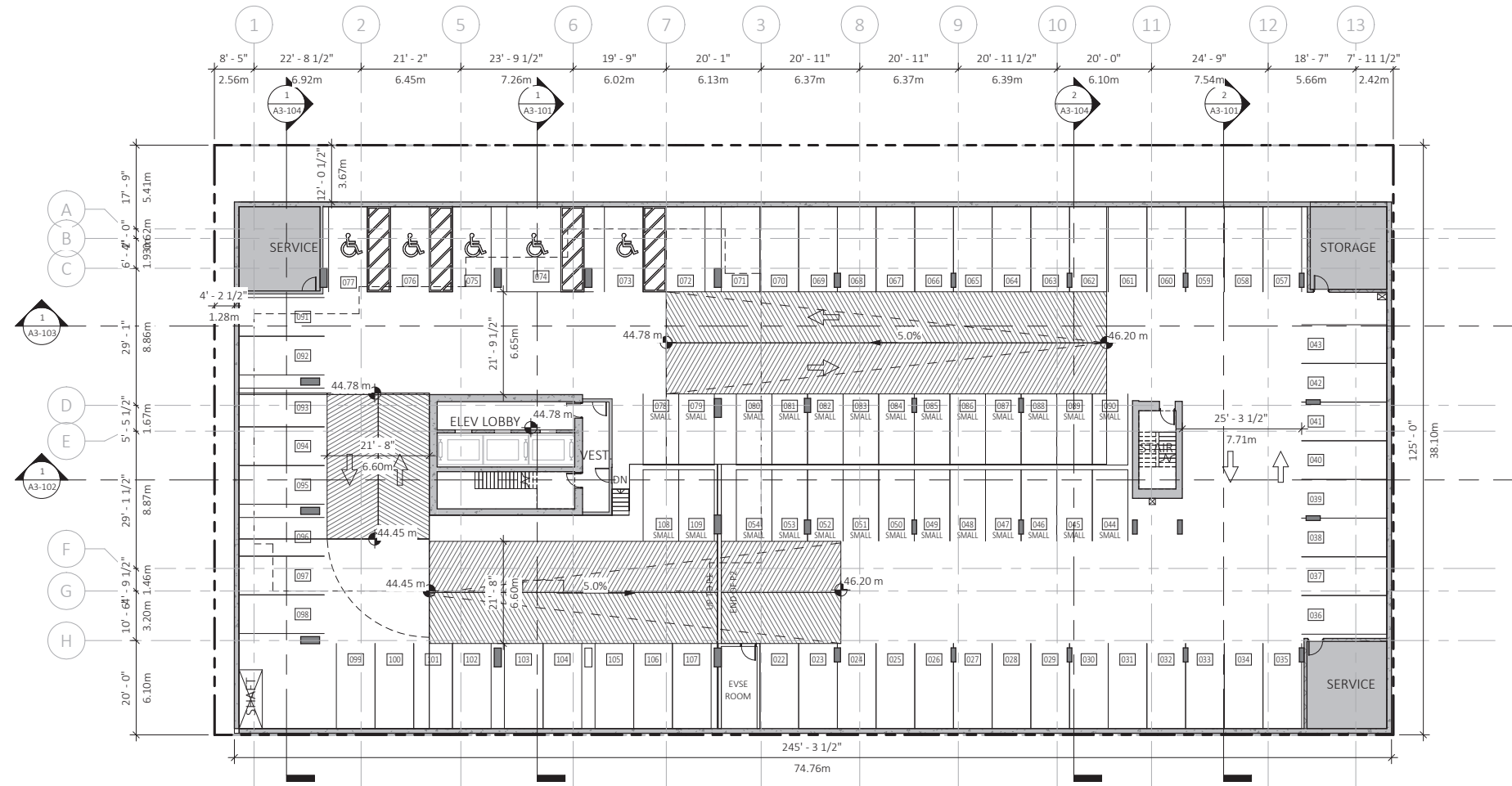


BENCH MARK: ELEVATION: 54.310 DESCRIPTION: SURVEY MONUMENT MARKED V-2348 AT THE SOUTH EAST CORNER OF THIRTEENTH AVENUE AND ALDER STREET.
 THE CITY OF VANCOUVER ASSUMES NO RESPONSIBILITY FOR PROPERTY DIMENSIONS ON THIS PLAN.
 BENCH MARK ELEVATIONS TO BE FIELD VERIFIED.

ATTENTION
 ELEVATIONS SHOWN ON THIS PLAN ARE IN METRES BASED ON GVRD DATUM (ISSUED NOVEMBER 30, 2018). DIMENSIONS ARE ALSO IN METRES.

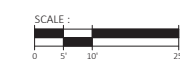
NO.	DATE	REVISION	BY	CHK	CITY OF VANCOUVER ENGINEERING SERVICES						
					BUILDING GRADE ELEVATIONS FOR LOTS 1 TO 5, BLK. 415, D.L. 526, PLAN VAP1276.						
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 50%;">DATE: 2024-04-24</td> <td style="width: 50%;">DESIGN: J.D.H.</td> </tr> <tr> <td>DWG: B.F.G.</td> <td>CHK: B.P.</td> </tr> <tr> <td colspan="2">REF: FILE 2024-00032.</td> </tr> </table>					DATE: 2024-04-24	DESIGN: J.D.H.	DWG: B.F.G.	CHK: B.P.	REF: FILE 2024-00032.		SCALE: 1:400 DWG. NO. BG-2024-00032 SHEET 1 / OF 1 REVISION:
DATE: 2024-04-24	DESIGN: J.D.H.										
DWG: B.F.G.	CHK: B.P.										
REF: FILE 2024-00032.											

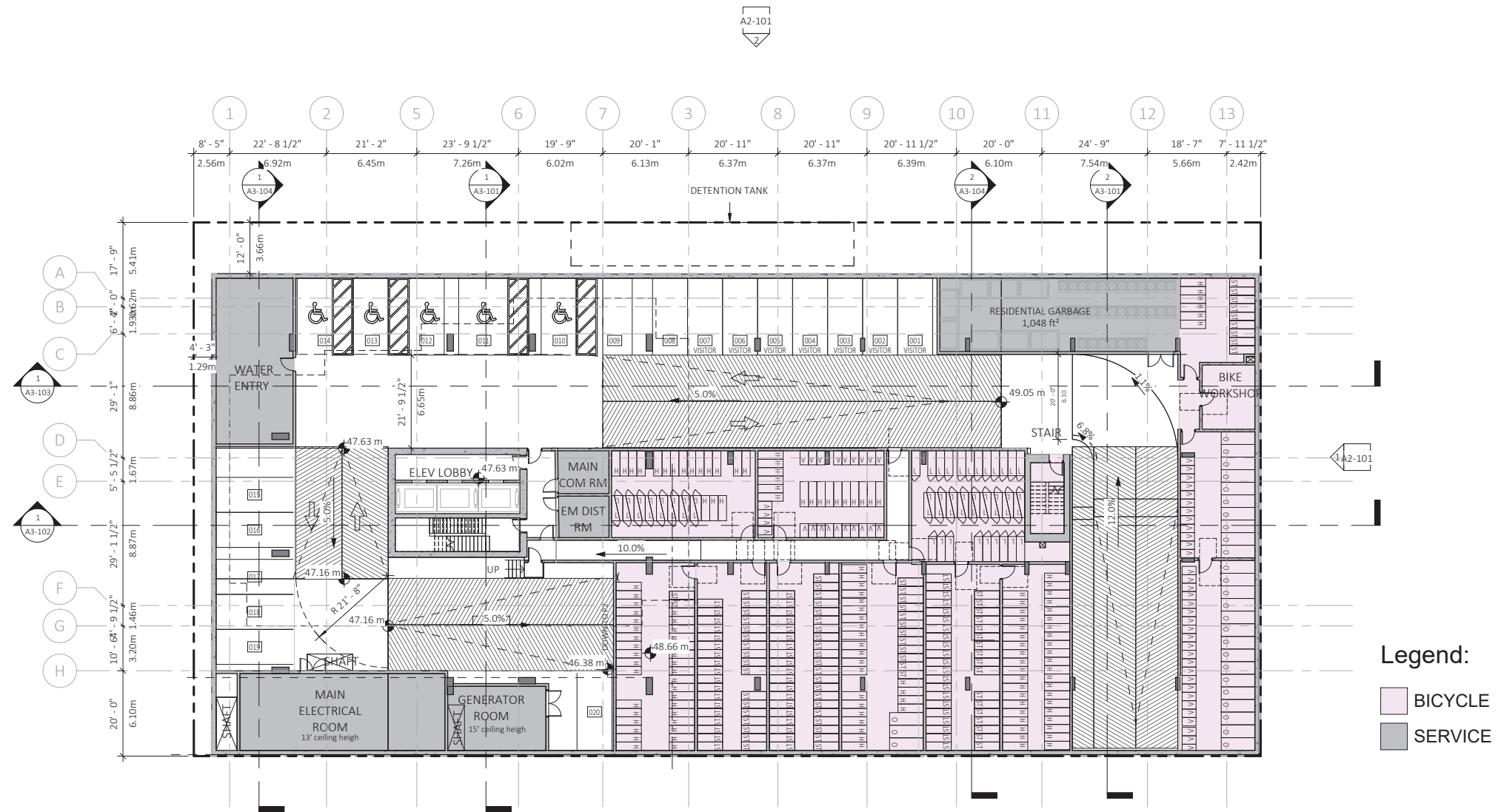




Parking Schedule		
Level	Type	Count
LEVEL 01		
LEVEL 01	Accessible Stall - Side by Side - 2500 x 5500 mm	1
LEVEL 01	Car Share Stall - Side by Side - 2900 x 5500 mm	6
LEVEL 01	Class B Loading - 3400 x 10200 mm	2
LEVEL 01	Standard Stall - 2500 x 5500 mm	5
		14
LEVEL P1		
LEVEL P1	Accessible Stall - Side by Side - 2500 x 5500 mm	4
LEVEL P1	Standard Stall - 2500 x 5500 mm	15
LEVEL P1	VAN Accessible Stall - Side by Side - 3500 x 5500 mm	1
		20

Parking Schedule		
Level	Type	Count
LEVEL P2		
LEVEL P2	Accessible Stall - Side by Side - 2500 x 5500 mm	4
LEVEL P2	Small Stall - 2300 x 4600 mm	26
LEVEL P2	Standard Stall - 2500 x 5500 mm	55
LEVEL P2	VAN Accessible Stall - Side by Side - 3500 x 5500 mm	1
		86
		120

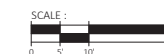


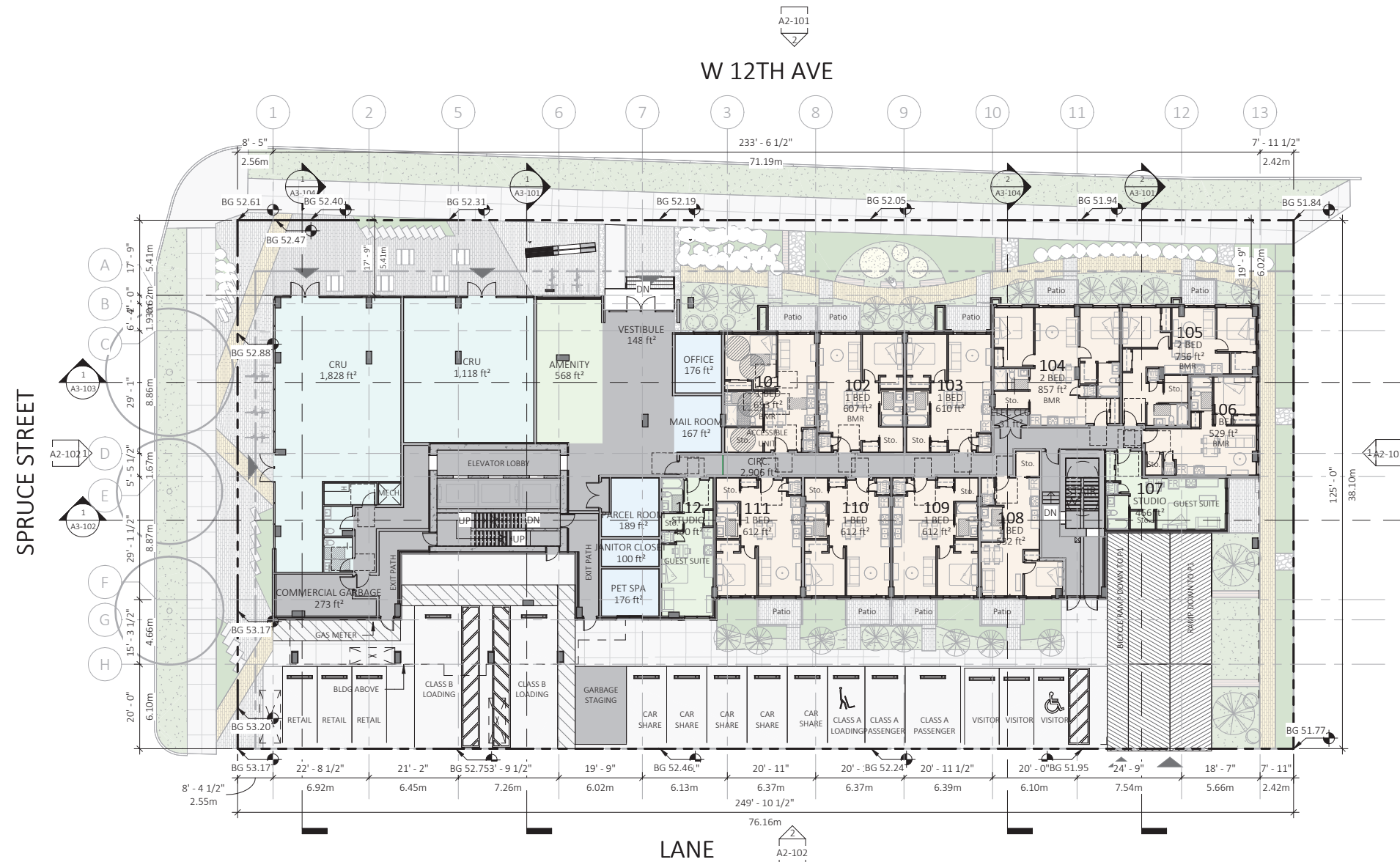


BIKE SCHEDULE				
Level	Type	Type	Percentage	Bike Space Provided
LEVEL 01				
LEVEL 01	Class A - Horizontal 1800 x 600 mm	H	0%	1
				1
LEVEL P1				
LEVEL P1	Class A - Horizontal 1800 x 600 mm	H	25%	137
LEVEL P1	Class A - Horizontal Stacked 1800 x 600 mm	ST	49%	272
LEVEL P1	Class A - Locker (Standard) 1800 x 600 mm	L	4%	21
LEVEL P1	Class A - Locker (Tapered) 1800 x 600 mm	L	6%	34
LEVEL P1	Class A - Oversize 2400 x 900 mm	O	5%	28
LEVEL P1	Class A - Vertical 1000 x 600 mm	V	10%	57
				549
TOTAL BICYCLE				550

Parking Schedule		
Level	Type	Count
LEVEL 01		
LEVEL 01	Accessible Stall - Side by Side - 2500 x 5500 mm	1
LEVEL 01	Car Share Stall - Side by Side - 2900 x 5500 mm	6
LEVEL 01	Class B Loading - 3400 x 10200 mm	2
LEVEL 01	Standard Stall - 2500 x 5500 mm	5
		14
LEVEL P1		
LEVEL P1	Accessible Stall - Side by Side - 2500 x 5500 mm	4
LEVEL P1	Standard Stall - 2500 x 5500 mm	15
LEVEL P1	VAN Accessible Stall - Side by Side - 3500 x 5500 mm	1
		20

Parking Schedule		
Level	Type	Count
LEVEL P2		
LEVEL P2	Accessible Stall - Side by Side - 2500 x 5500 mm	4
LEVEL P2	Small Stall - 2300 x 4600 mm	26
LEVEL P2	Standard Stall - 2500 x 5500 mm	55
LEVEL P2	VAN Accessible Stall - Side by Side - 3500 x 5500 mm	1
		86
		120





Parking Schedule - L1		
Level	Type	Count
LEVEL 01		
LEVEL 01	Accessible Stall - Side by Side - 2500 x 5500 mm	1
LEVEL 01	Car Share Stall - Side by Side - 2900 x 5500 mm	6
LEVEL 01	Class B Loading - 3400 x 10200 mm	2
LEVEL 01	Standard Stall - 2500 x 5500 mm	5
TOTAL		14

UNIT COUNT - L1	
Name	Count
1 BED	8
2 BED	2
STUDIO	2
12	

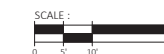
UNIT SIZE - L1		
Unit Number	Name	Area
101	1 BED	653 ft²
102	1 BED	607 ft²
103	1 BED	610 ft²
104	2 BED	857 ft²
105	2 BED	756 ft²
106	1 BED	529 ft²
107	STUDIO	466 ft²

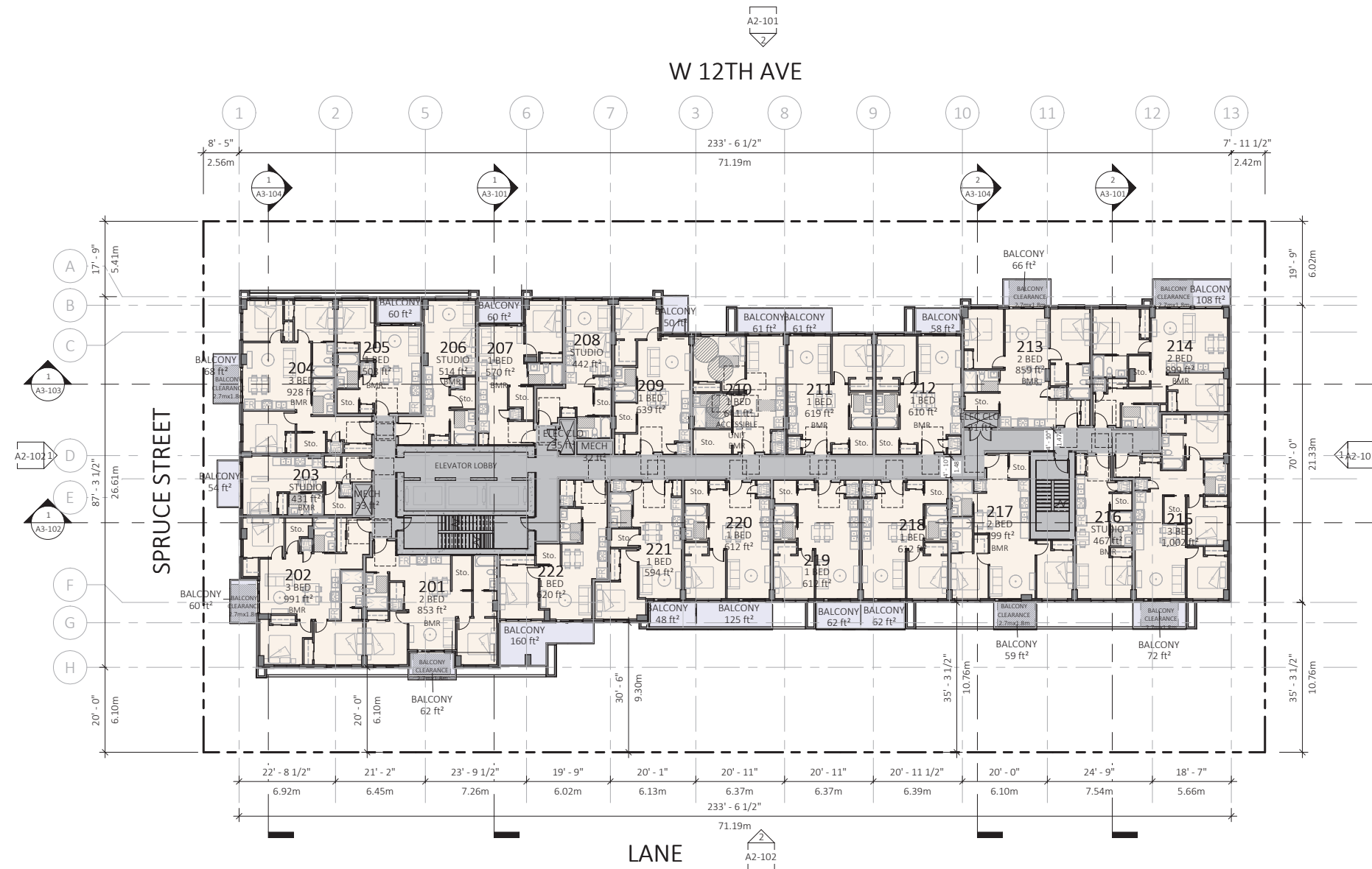
UNIT SIZE - L1		
Unit Number	Name	Area
108	1 BED	532 ft²
109	1 BED	612 ft²
110	1 BED	612 ft²
111	1 BED	612 ft²
112	STUDIO	440 ft²
		7287 ft²

BELOW MARKET COUNT LEVEL 01			
Unit Number	Name	Area	Count
LEVEL 01			
101	1 BED	653 ft²	1
102	1 BED	607 ft²	1
104	2 BED	857 ft²	1
105	2 BED	756 ft²	1
106	1 BED	529 ft²	1
5			

Building Area Legend

- AMENITY
- CIRCULATION
- COMMERCIAL
- RENTAL
- SERVICE
- BMR BELOW MARKET RENTAL UNITS





BELOW MARKET COUNT LEVEL 2 TO 04			
Unit Number	Name	Area	Count
LEVEL 02			
201	2 BED	853 ft ²	1
202	3 BED	991 ft ²	1
203	STUDIO	431 ft ²	1
204	3 BED	928 ft ²	1
205	1 BED	508 ft ²	1
206	STUDIO	514 ft ²	1
207	1 BED	570 ft ²	1
210	1 BED	641 ft ²	1
211	1 BED	619 ft ²	1
212	1 BED	610 ft ²	1
213	2 BED	859 ft ²	1
214	2 BED	899 ft ²	1
216	STUDIO	467 ft ²	1
217	2 BED	799 ft ²	1
			14

AREA SCHEDULE BALCONY - LEVEL 02 TO 04	
Occupancy	Area
BALCONY	1355 ft ²
	1355 ft ²

UNIT COUNT - L2 TO L4	
Name	Count
1 BED	11
2 BED	4
3 BED	3
STUDIO	4
22	

UNIT SIZE - L2 TO L4		
Unit Number	Name	Area
201	2 BED	853 ft ²
202	3 BED	991 ft ²
203	STUDIO	431 ft ²
204	3 BED	928 ft ²
205	1 BED	508 ft ²
206	STUDIO	514 ft ²
207	1 BED	570 ft ²
208	STUDIO	442 ft ²
209	1 BED	639 ft ²
210	1 BED	641 ft ²

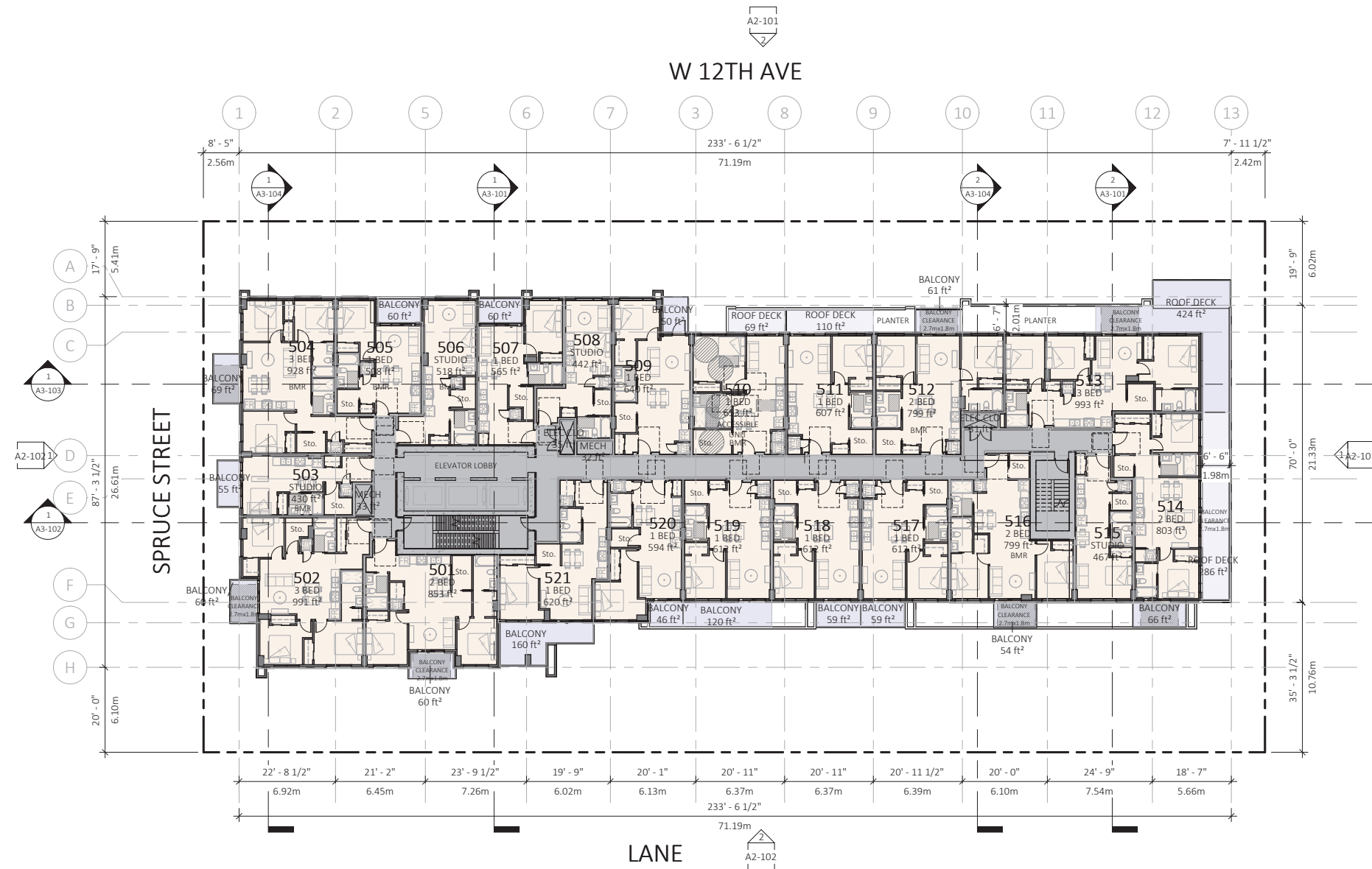
UNIT SIZE - L2 TO L4		
Unit Number	Name	Area
211	1 BED	619 ft ²
212	1 BED	610 ft ²
213	2 BED	859 ft ²
214	2 BED	899 ft ²
215	3 BED	1002 ft ²
216	STUDIO	467 ft ²
217	2 BED	799 ft ²
218	1 BED	612 ft ²
219	1 BED	612 ft ²
220	1 BED	612 ft ²
221	1 BED	594 ft ²
222	1 BED	620 ft ²
14823 ft ²		

Building Area Legend

- BALCONY
- CIRCULATION
- RENTAL

BMR BELOW MARKET RENTAL UNITS





BELOW MARKET COUNT LEVEL 5			
Unit Number	Name	Area	Count
LEVEL 05			
503	STUDIO	430 ft ²	1
504	3 BED	928 ft ²	1
505	1 BED	508 ft ²	1
506	STUDIO	518 ft ²	1
510	1 BED	653 ft ²	1
512	2 BED	799 ft ²	1
516	2 BED	799 ft ²	1
7			

AREA SCHEDULE BALCONY - LEVEL 05	
Occupancy	Area
BALCONY	1462 ft ²

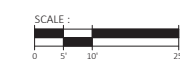
UNIT COUNT - TYPE LS	
Name	Count
1 BED	10
2 BED	4
3 BED	3
STUDIO	4
21	

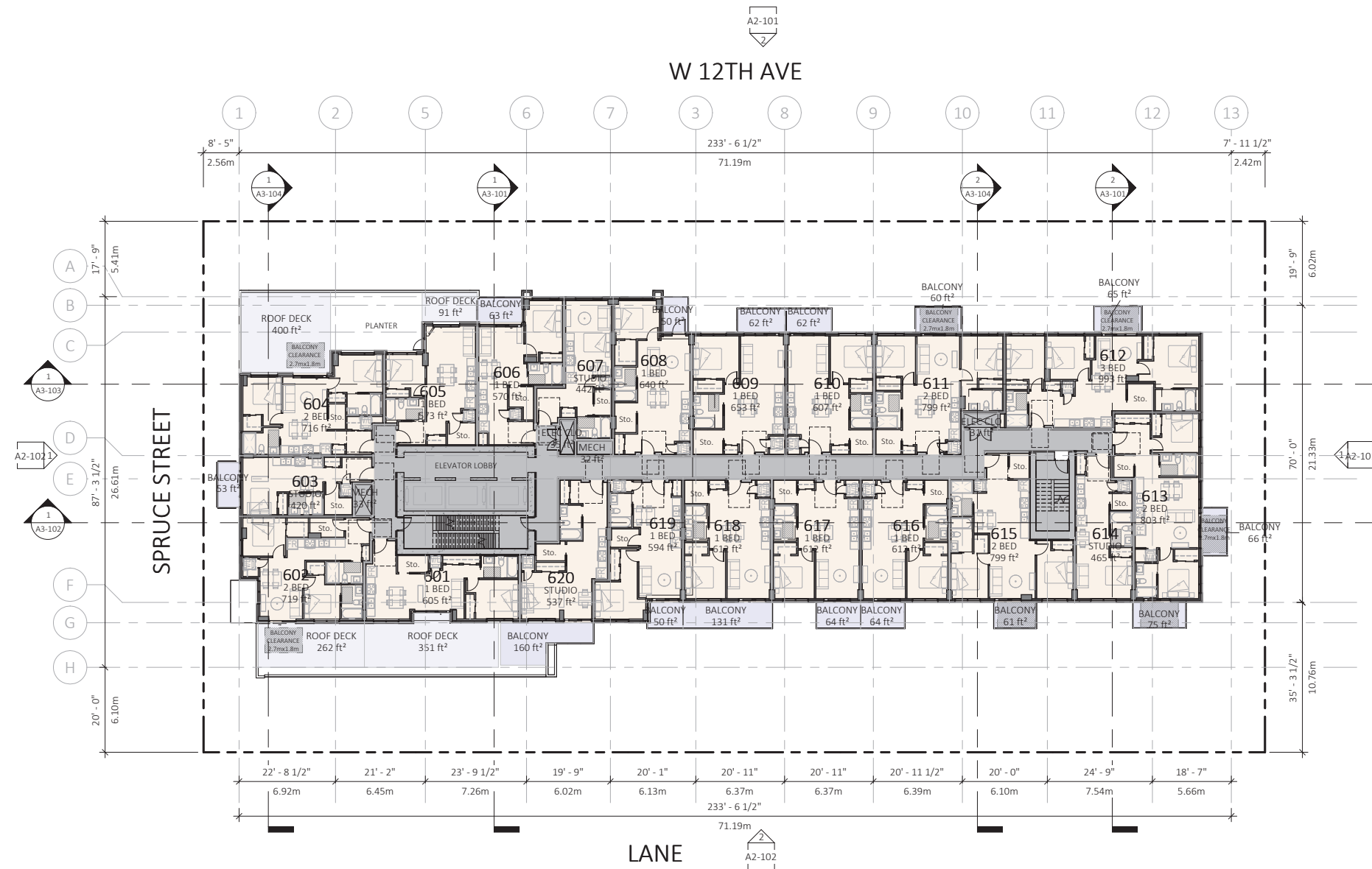
UNIT SIZE - LS		
Unit Number	Name	Area
501	2 BED	853 ft ²
502	3 BED	991 ft ²
503	STUDIO	430 ft ²
504	3 BED	928 ft ²
505	1 BED	508 ft ²
506	STUDIO	518 ft ²
507	1 BED	565 ft ²
508	STUDIO	442 ft ²
509	1 BED	640 ft ²
510	1 BED	653 ft ²

UNIT SIZE - LS		
Unit Number	Name	Area
511	1 BED	607 ft ²
512	2 BED	799 ft ²
513	3 BED	993 ft ²
514	2 BED	803 ft ²
515	STUDIO	467 ft ²
516	2 BED	799 ft ²
517	1 BED	612 ft ²
518	1 BED	612 ft ²
519	1 BED	612 ft ²
520	1 BED	594 ft ²
521	1 BED	620 ft ²
14047 ft ²		

Building Area Legend

- BALCONY
- CIRCULATION
- RENTAL
- ROOF DECK
- BMR BELOW MARKET RENTAL UNITS





AREA SCHEDULE BALCONY - LEVEL 06	
Occupancy	Area
BALCONY	1088 ft ²
	1088 ft ²

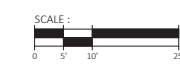
UNIT COUNT - TYPE L6	
Name	Count
1 BED	10
2 BED	5
3 BED	1
STUDIO	4
	20

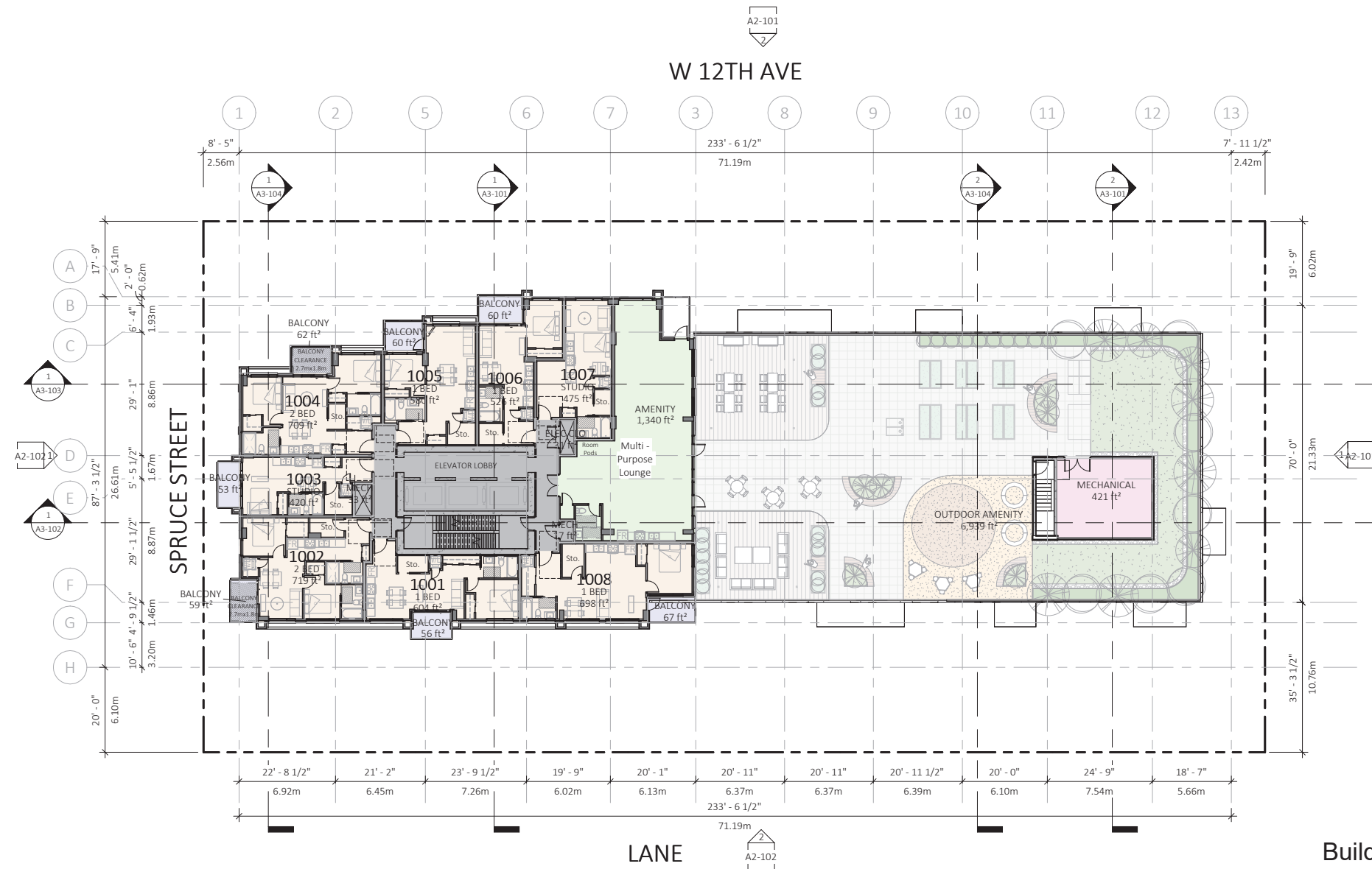
UNIT SIZE - L6		
Unit Number	Name	Area
601	1 BED	605 ft ²
602	2 BED	719 ft ²
603	STUDIO	420 ft ²
604	2 BED	716 ft ²
605	1 BED	573 ft ²
606	1 BED	570 ft ²
607	STUDIO	442 ft ²
608	1 BED	640 ft ²
609	1 BED	653 ft ²
610	1 BED	607 ft ²
611	2 BED	799 ft ²

UNIT SIZE - L6		
Unit Number	Name	Area
612	3 BED	993 ft ²
613	2 BED	803 ft ²
614	STUDIO	465 ft ²
615	2 BED	799 ft ²
616	1 BED	612 ft ²
617	1 BED	612 ft ²
618	1 BED	612 ft ²
619	1 BED	594 ft ²
620	STUDIO	537 ft ²
		12769 ft ²

Building Area Legend

- BALCONY
- CIRCULATION
- RENTAL
- ROOF DECK





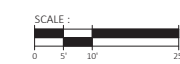
AREA SCHEDULE BALCONY - LEVEL 07	
Occupancy	Area
BALCONY	417 ft ²
	417 ft ²

UNIT COUNT - TYPE L7		
Name	Count	
1 BED	4	
2 BED	2	
STUDIO	2	
	8	

UNIT SIZE - L7		
Unit Number	Name	Area
1001	1 BED	604 ft ²
1002	2 BED	719 ft ²
1003	STUDIO	420 ft ²
1004	2 BED	709 ft ²
1005	1 BED	580 ft ²
1006	1 BED	526 ft ²
1007	STUDIO	475 ft ²
1008	1 BED	698 ft ²
		4731 ft ²

Building Area Legend

- AMENITY
- BALCONY
- CIRCULATION
- MECHANICAL
- OUTDOOR
- RENTAL





EFFICIENCY - TYPICAL TOWER PLATE		
Occupancy	Area	percentage
CIRCULATION	1167 ft ²	16%
RENTAL	6080 ft ²	84%
	7246 ft ²	100%

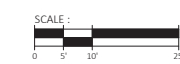
AREA SCHEDULE BALCONY - LEVEL 08 TO 22		
Occupancy	Area	
BALCONY	464 ft ²	
	464 ft ²	

UNIT COUNT - TYPE L08 TO L22		
Name	Count	
1 BED	3	
2 BED	3	
3 BED	1	
STUDIO	3	
	10	

UNIT SIZE - L08 TO 22		
Unit Number	Area	Name
1001	606 ft ²	1 BED
1002	719 ft ²	2 BED
1003	416 ft ²	STUDIO
1004	704 ft ²	2 BED
1005	580 ft ²	1 BED
1006	526 ft ²	1 BED
1007	920 ft ²	3 BED
1008	425 ft ²	STUDIO
1009	407 ft ²	STUDIO
1010	777 ft ²	2 BED
	6080 ft ²	

Building Area Legend

- BALCONY
- CIRCULATION
- RENTAL

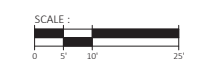




AREA SCHEDULE BALCONY - LEVEL 23		UNIT COUNT - TYPE L23		UNIT SIZE - L23		
Occupancy	Area	Name	Count	Unit Number	Area	Name
BALCONY	414 ft ²	1 BED	2			
	414 ft ²	2 BED	2			
		3 BED	2			
		STUDIO	3			
			9			

Building Area Legend

- BALCONY
- CIRCULATION
- RENTAL
- ROOF DECK





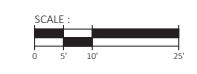
AREA SCHEDULE BALCONY - LEVEL 24	
Occupancy	Area
BALCONY	580 ft²
	580 ft²

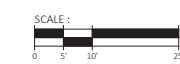
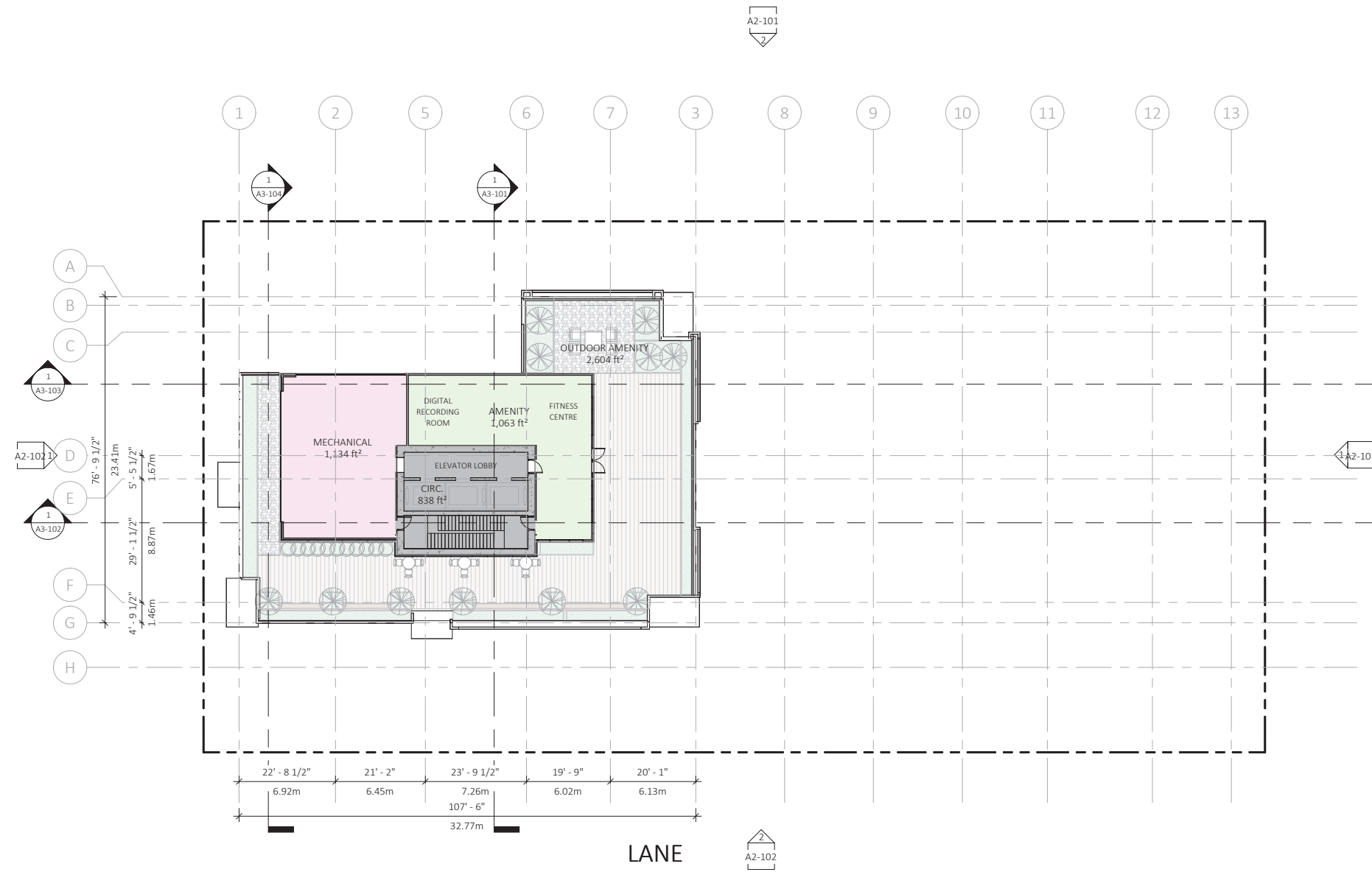
UNIT COUNT - TYPE L24	
Name	Count
1 BED	2
2 BED	3
3 BED	1
STUDIO	3
	9

UNIT SIZE - L24		
Unit Number	Area	Name

Building Area Legend

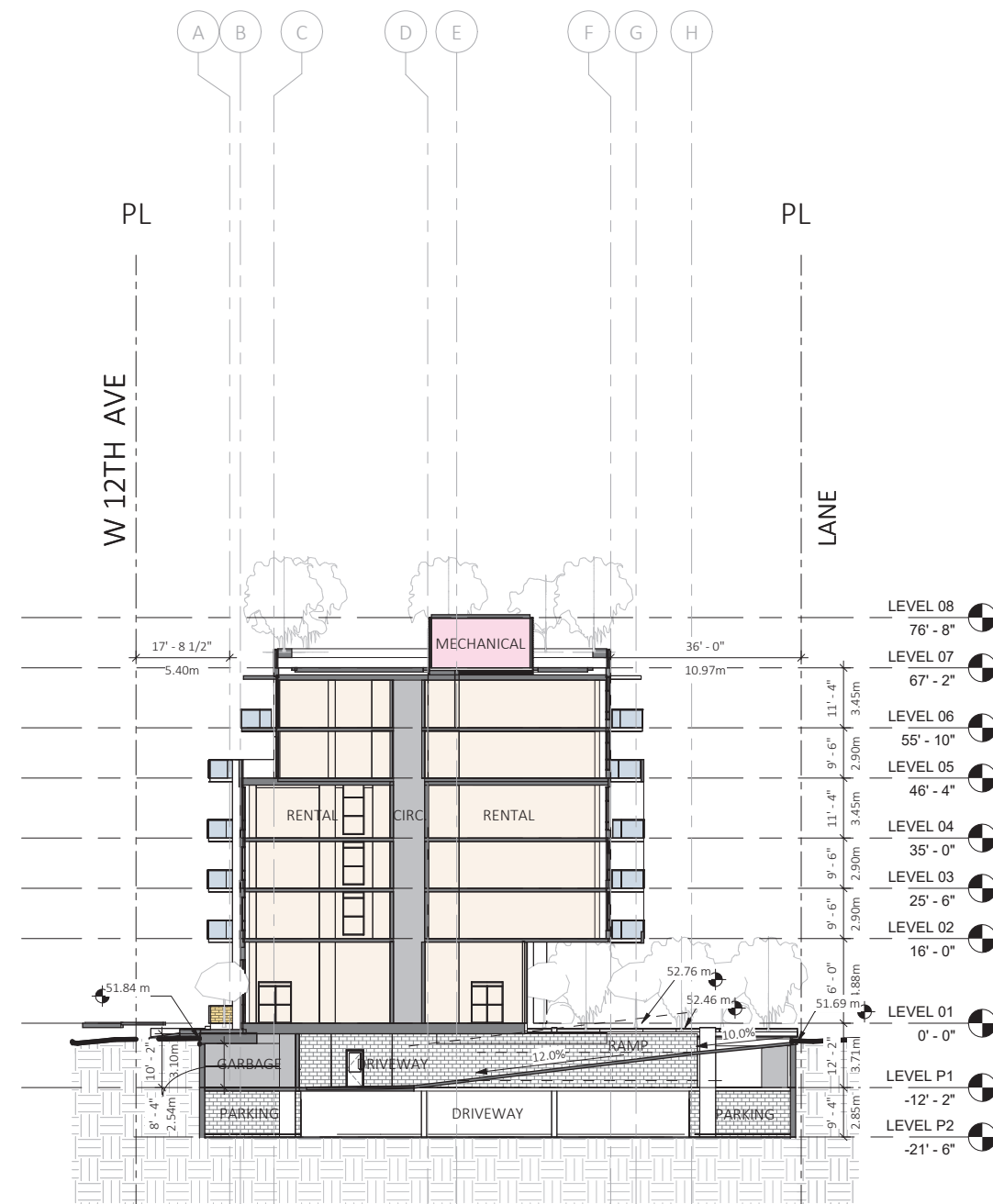
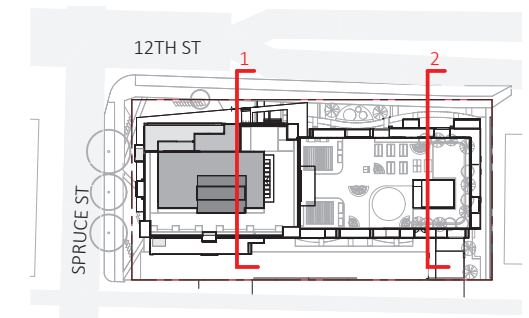
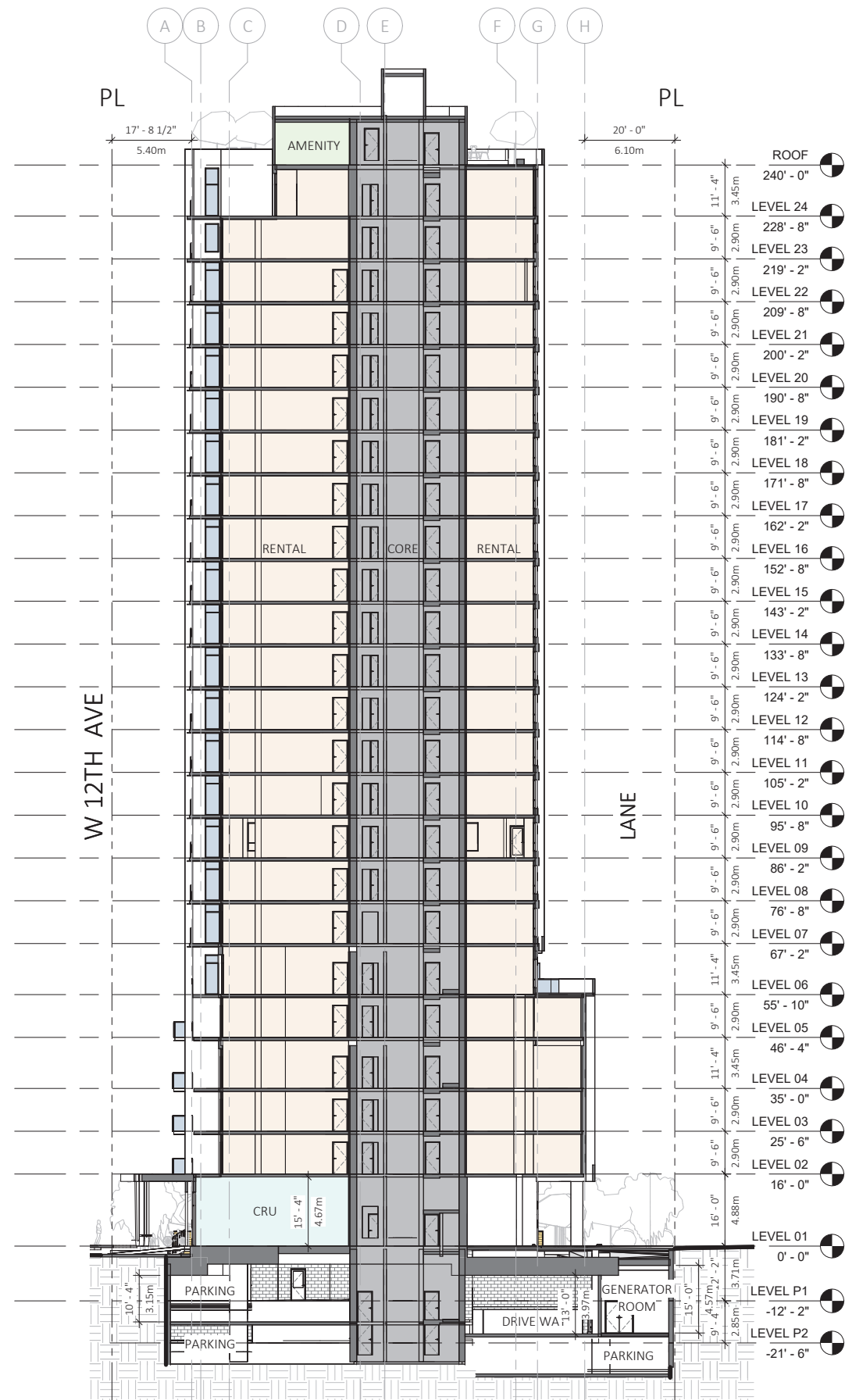
- BALCONY
- CIRCULATION
- RENTAL





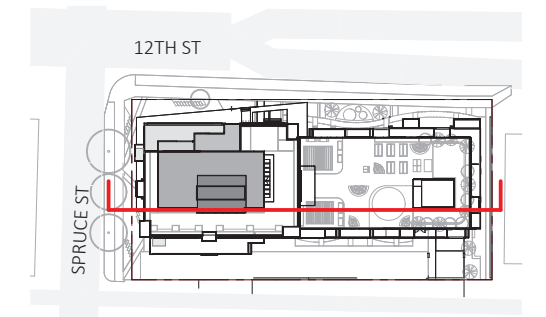
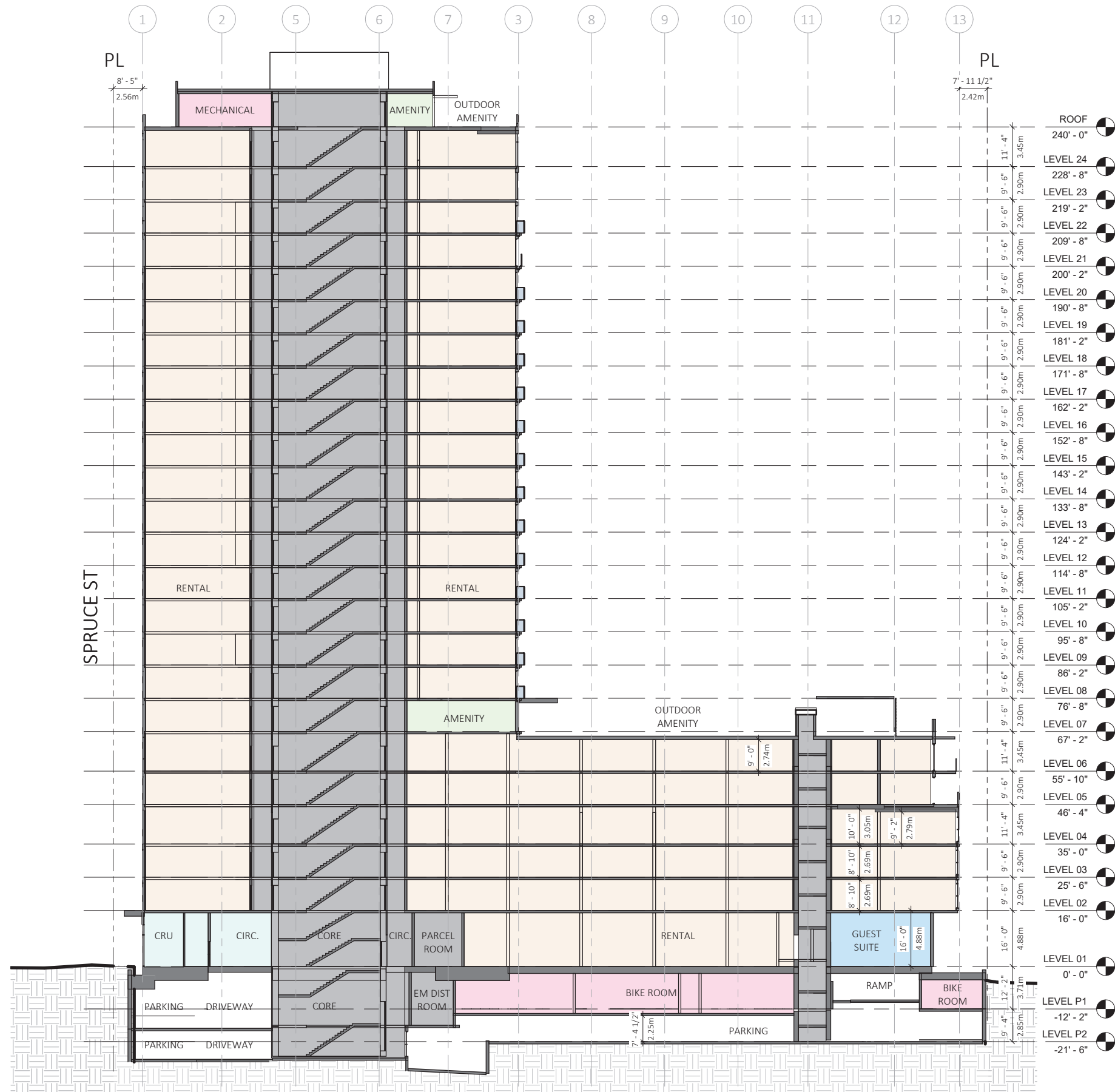
Building Sections - North/South

Sections



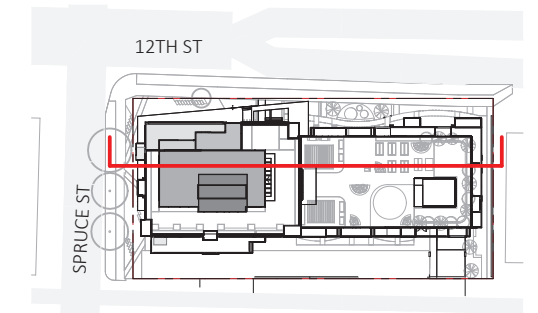
Building Section - East/West

Sections



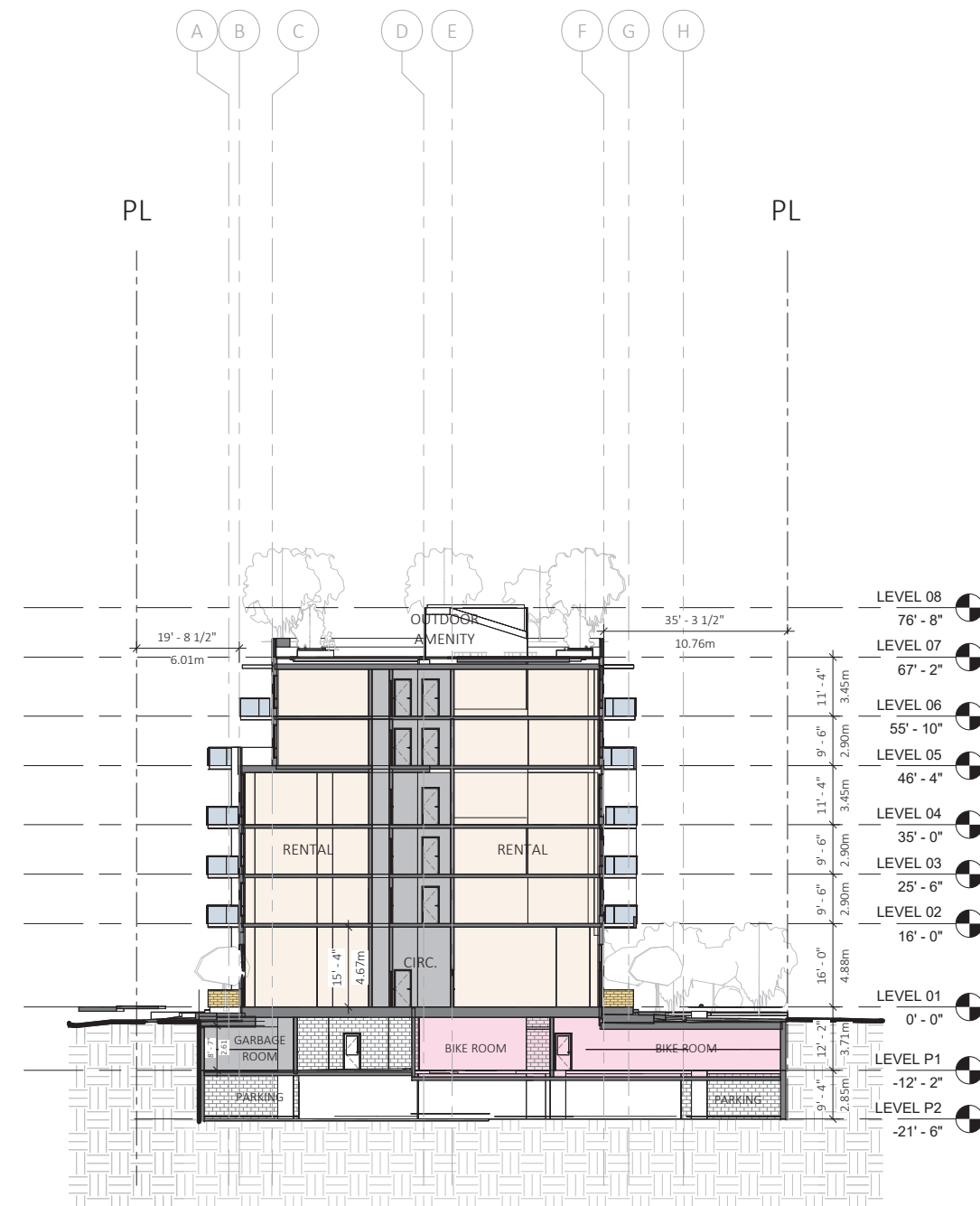
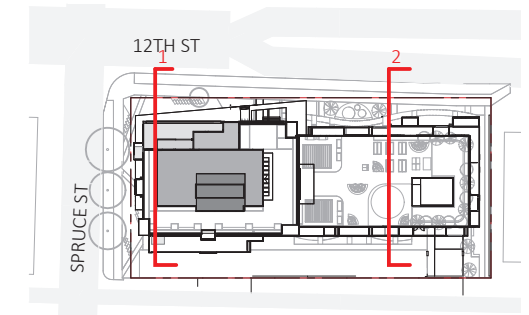
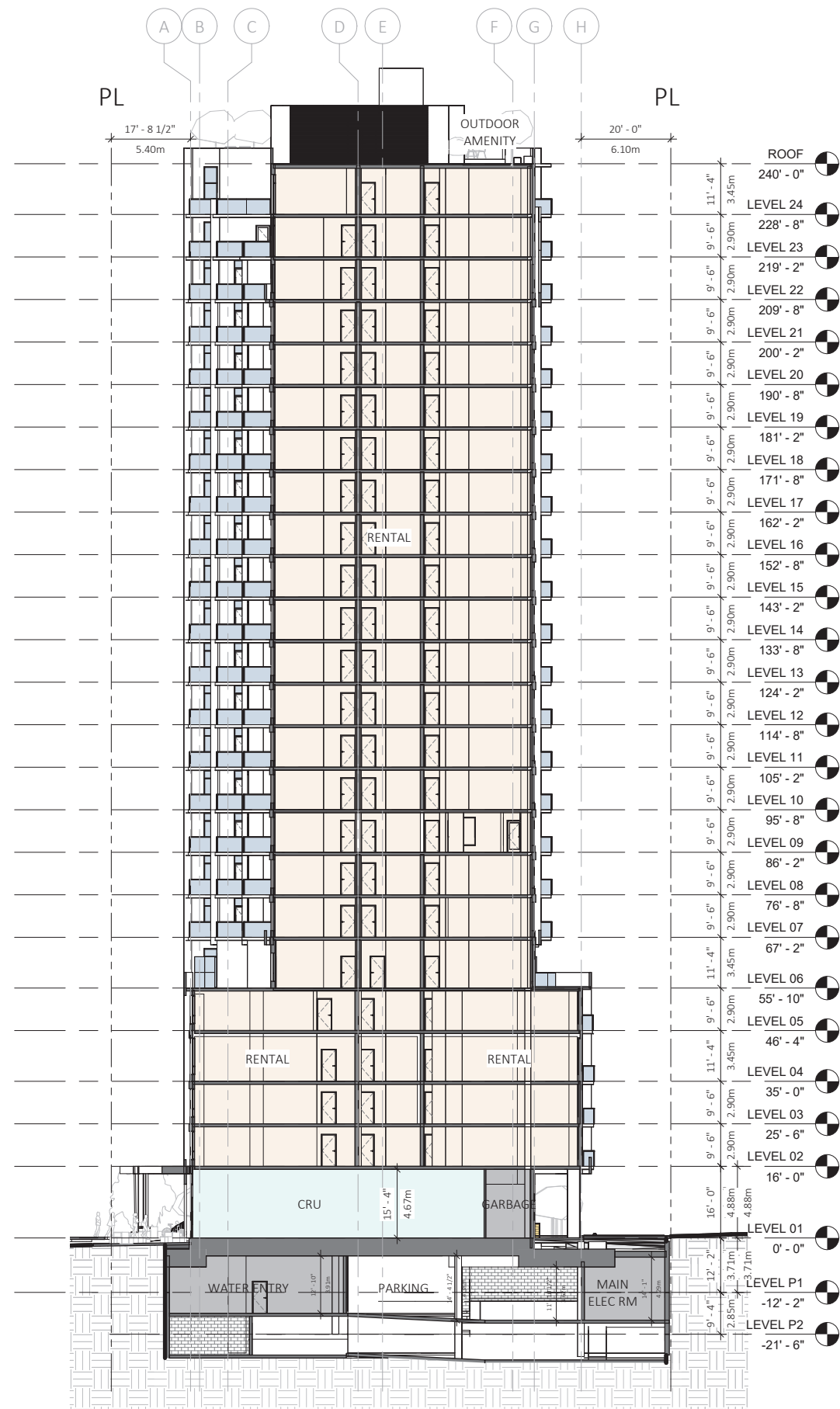
Building Section - East/West

Sections



Building Section - North/South

Sections

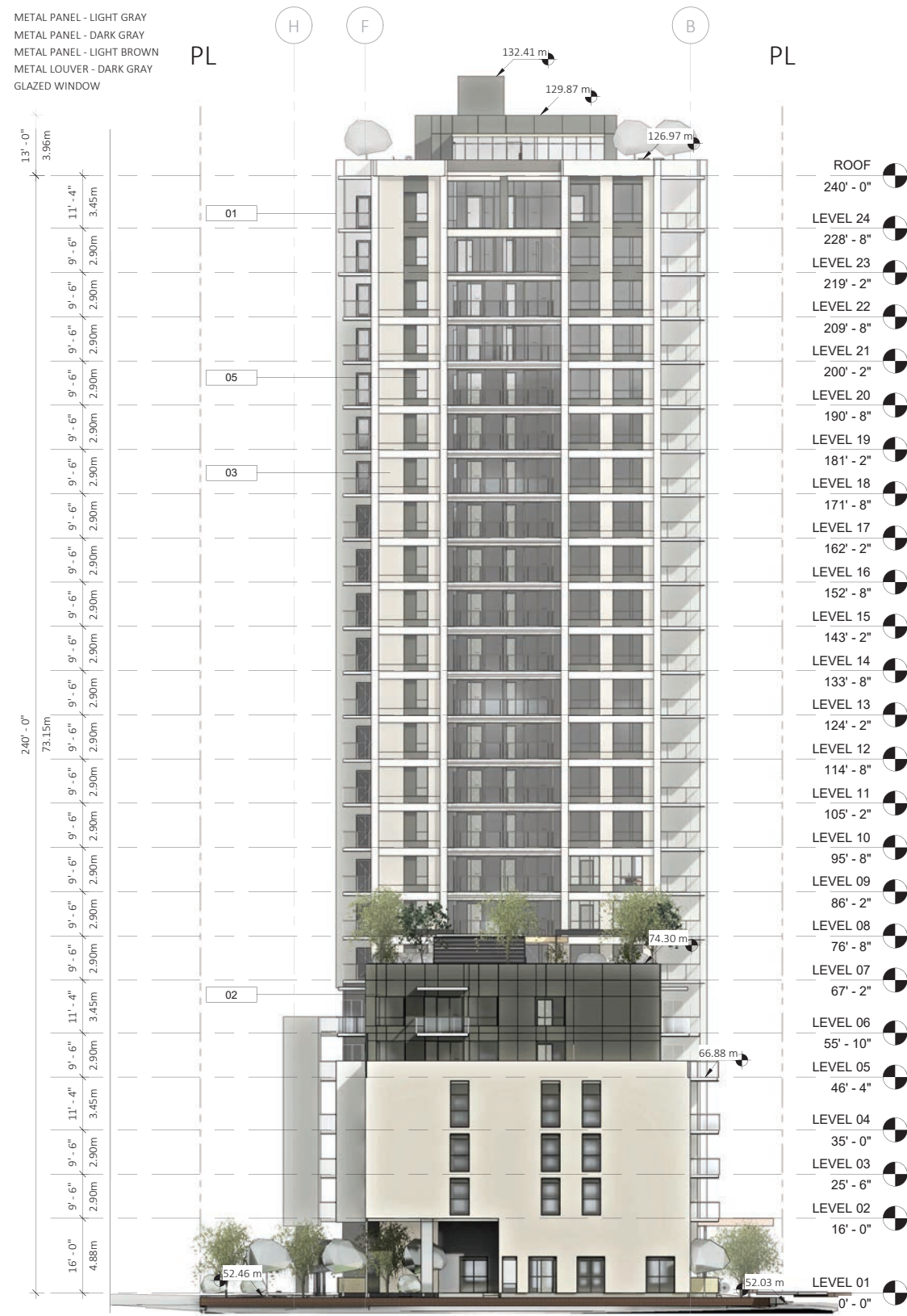


East & North Building Elevations

Elevations

MATERIAL LEGEND

- 01 METAL PANEL - LIGHT GRAY
- 02 METAL PANEL - DARK GRAY
- 03 METAL PANEL - LIGHT BROWN
- 04 METAL LOUVER - DARK GRAY
- 05 GLAZED WINDOW



EAST ELEVATION



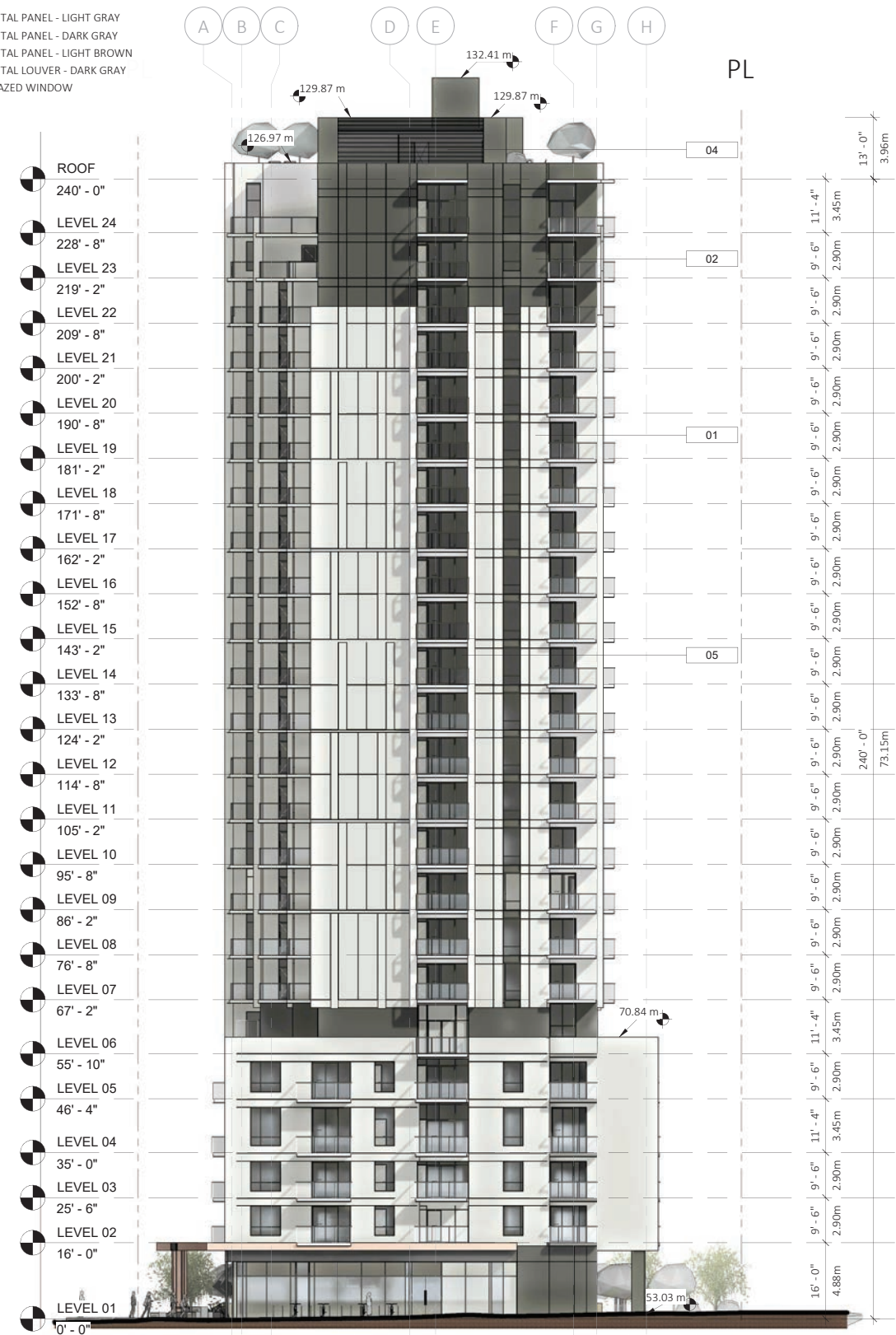
NORTH ELEVATION

West & South Building Elevation

Elevations

MATERIAL LEGEND

- 01 METAL PANEL - LIGHT GRAY
- 02 METAL PANEL - DARK GRAY
- 03 METAL PANEL - LIGHT BROWN
- 04 METAL LOUVER - DARK GRAY
- 05 GLAZED WINDOW



WEST ELEVATION

SOUTH ELEVATION



Rendering 1 - View from North-West corner

Rendering 2 - View from South-West corner



Rendering 3 - View from North

Rendering 4 - View from South-East corner



Rendering 5 - W 12th Avenue



7.0

LANDSCAPE



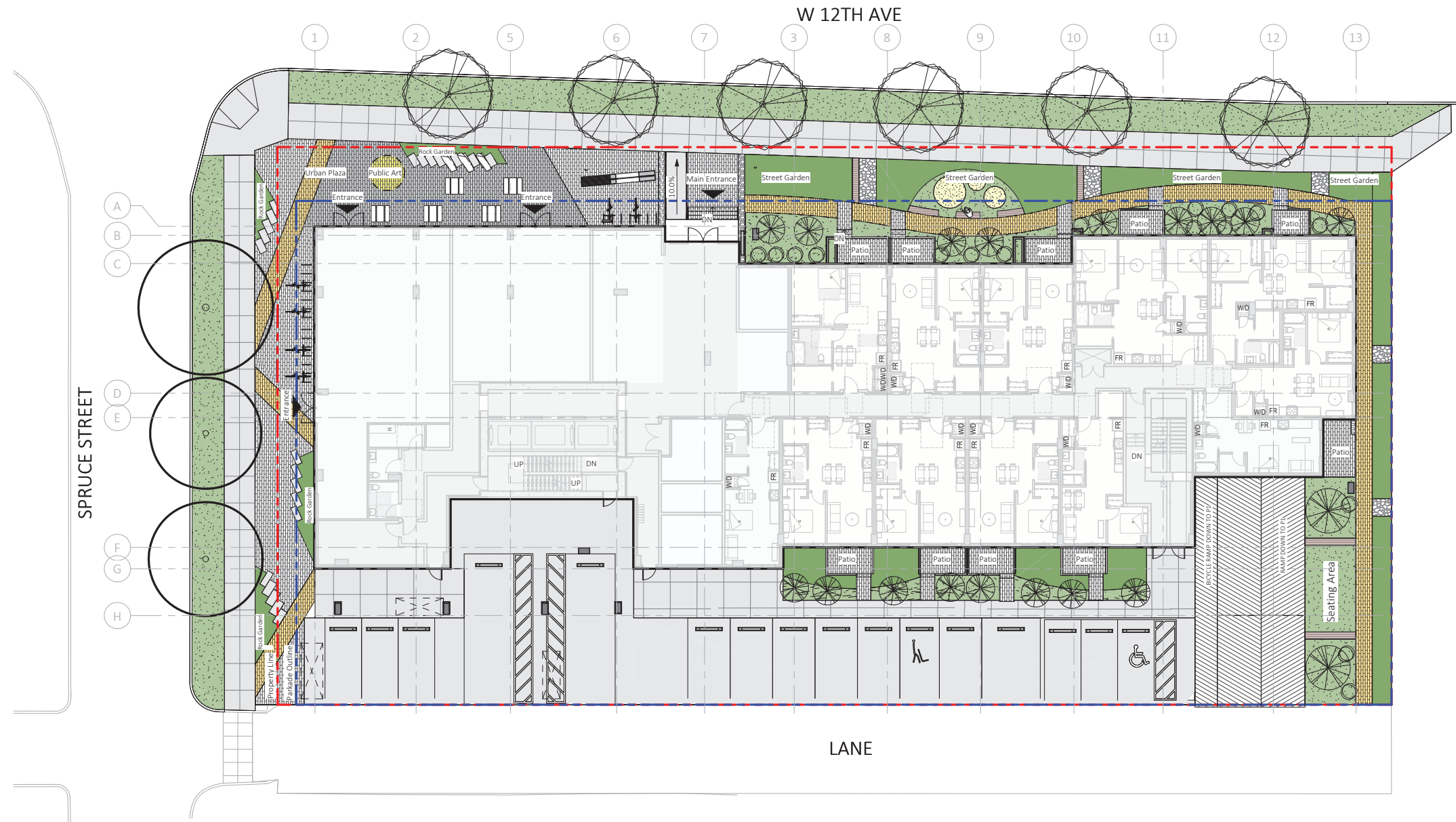
1 LANDSCAPE PLAN - TREE MANAGEMENT
1 : 150

MANAGEMENT LEGEND

EXISTING TREE

EXISTING TREE TO BE
RETAINED

EXISTING TREE TO BE
REMOVED



1 LANDSCAPE PLAN - LEVEL 1
1:150

HARDSCAPE

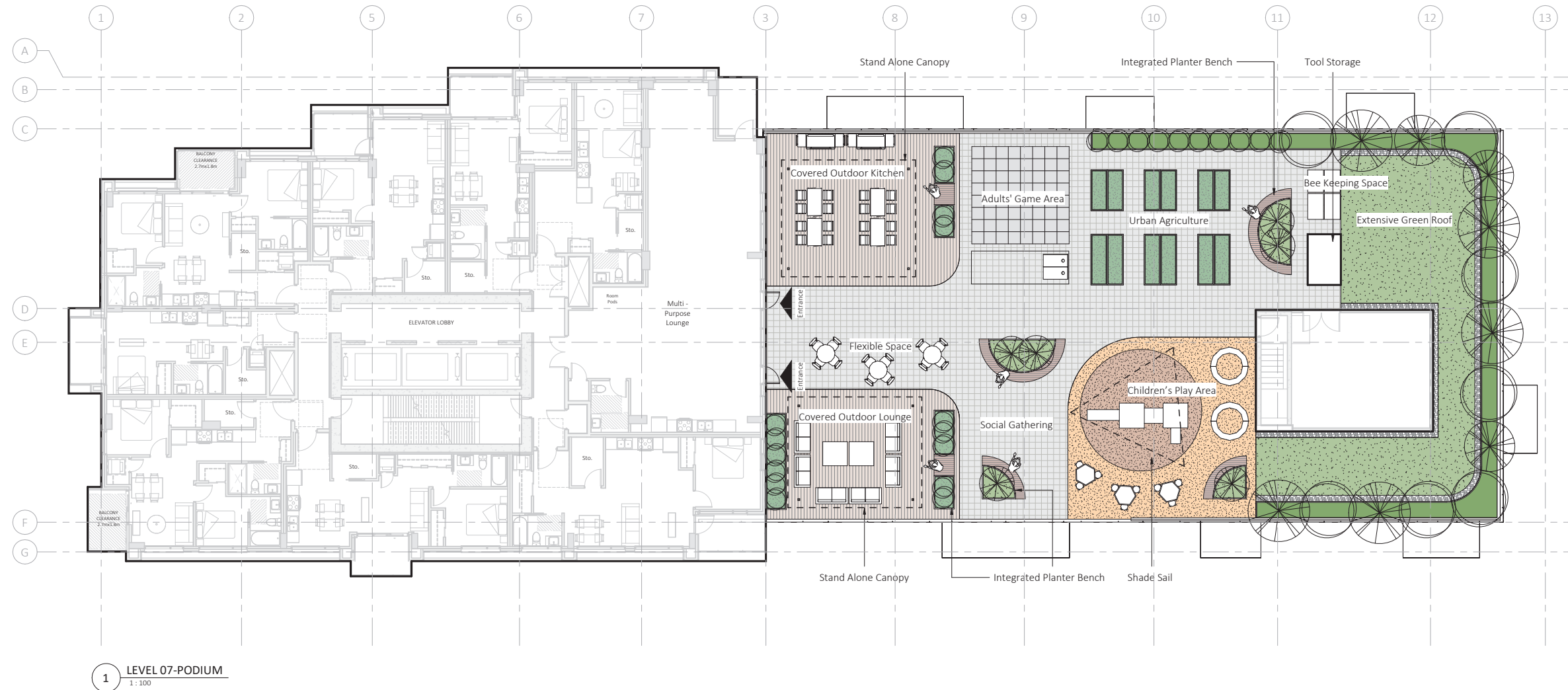
H1	CAST-IN-PLACE CONCRETE PAVEMENT - VEHICULAR Colour: Natural Finish: Medium Broom - Sawcut Joint	
H2	CAST-IN-PLACE CONCRETE PAVEMENT - PEDESTRIAN Colour: Natural Finish: Medium Broom - Sawcut Joint	
H3	DECORATIVE PAVEMENT - TYPE I Colour: Light Grey Finish: Brick	
H4	DECORATIVE PAVEMENT - TYPE II Colour: Red Finish: Reclaimed Brick	

SOFTSCAPE

S1	TURFGRASS - SEED OR SOD 150 mm MIN. Growing Medium Depth Refer to Planting Plan for species and quantities	
S2	PLANTING BED 450 mm MIN. Growing Medium Depth Refer to Planting Plan for species and quantities	

PLANTING

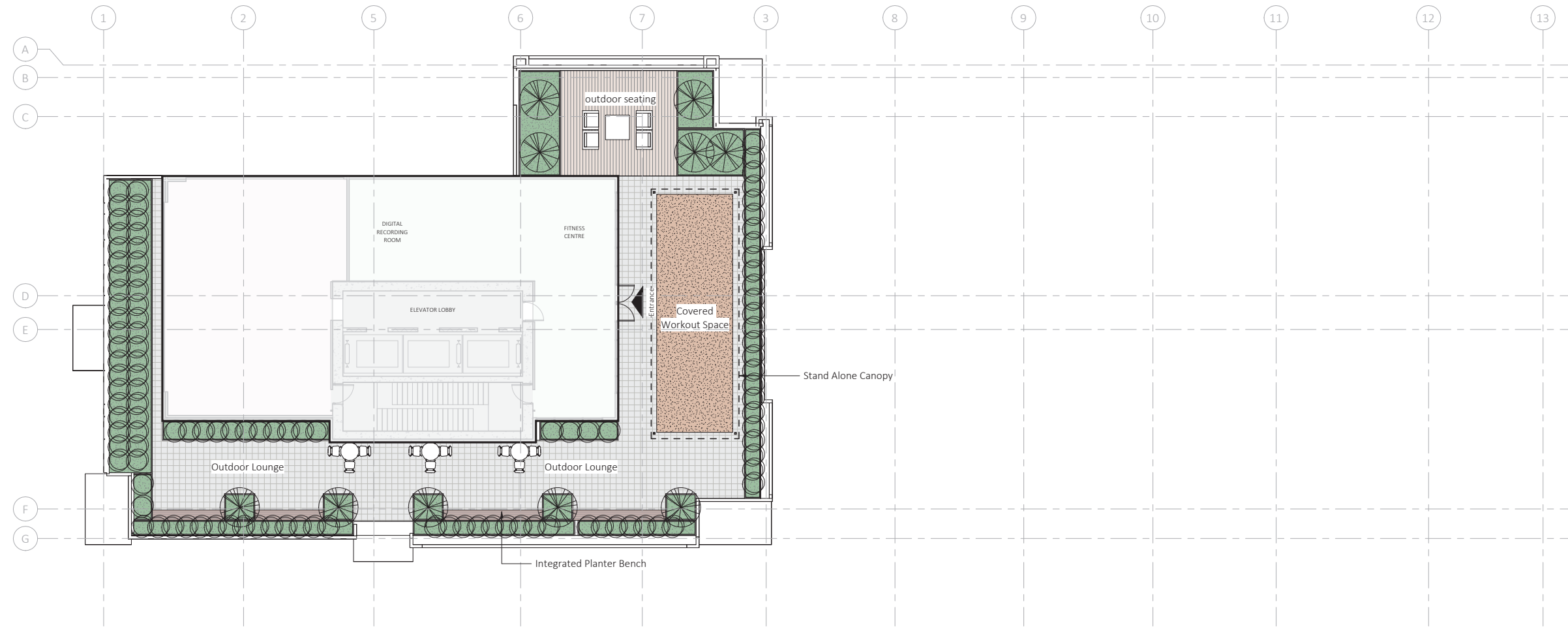
P1	PROPOSED NEW TREES	
P2	EXISTING TREE TO BE RETAINED	
P3	SHRUBS, GRASSES AND GROUND COVER	



HARDSCAPE	
H1	CAST-IN-PLACE CONCRETE PAVEMENT - VEHICULAR Colour: Natural Finish: Medium Broom - Sawcut Joint
H2	CAST-IN-PLACE CONCRETE PAVEMENT - PEDESTRIAN Colour: Natural Finish: Medium Broom - Sawcut Joint
H3	DECORATIVE PAVEMENT - TYPE I Colour: Light Gray Finish: Brick
H4	DECORATIVE PAVEMENT - TYPE II Colour: Red Finish: Reclaimed Brick

SOFTSCAPE	
S1	TURFGRASS - SEED OR SOD 150 mm MIN. Growing Medium Depth Refer to Planting Plan for species and quantities
S2	PLANTING BED 450 mm MIN. Growing Medium Depth Refer to Planting Plan for species and quantities

PLANTING	
P1	PROPOSED NEW TREES
P2	EXISTING TREE TO BE RETAINED
P3	SHRUBS, GRASSES AND GROUNDCOVER



1 LEVEL 25 - ROOF TOP
1:100

HARDSCAPE	
H1	CAST-IN-PLACE CONCRETE PAVEMENT - VEHICULAR Colour: Natural Finish: Medium Broom - Sawcut Joint
H2	CAST-IN-PLACE CONCRETE PAVEMENT - PEDESTRIAN Colour: Natural Finish: Medium Broom - Sawcut Joint
H3	DECORATIVE PAVEMENT - TYPE I Colour: Light Grey Finish: Brick
H4	DECORATIVE PAVEMENT - TYPE II Colour: Red Finish: Reclaimed Brick

SOFTSCAPE	
S1	TURFGRASS - SEED OR SOD 150 mm MIN. Growing Medium Depth Refer to Planting Plan for species and quantities
S2	PLANTING BED 450 mm MIN. Growing Medium Depth Refer to Planting Plan for species and quantities

PLANTING	
P1	PROPOSED NEW TREES
P2	EXISTING TREE TO BE RETAINED
P3	SHRUBS, GRASSES AND GROUND COVER

TREES



Ginkgo Biloba
Maidenhair Tree



Quercus Palustris
Pin Oak



Cupressus sempervirens L.
Italian cypress, Mediterranean



Acer Campestre
Hedge maple

HEDGE



Skimmia japonica 'Rubella'
Rubella Japanese Skimmia



SHRUBS

Buxus microphylla var. japonica 'Green Beauty'
Japanese Boxwood



Euonymus Japonicus Paloma Blanca
Paloma Blanca Euonymus



Spirea Japonica 'Goldflame'
Spirea Japonica



Lonicera pileata
Box-leaved Honeysuckle

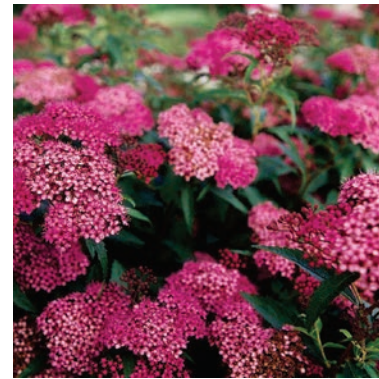


Salix purpurea 'Nana'
Dwarf Arctic Willow

SHRUBS



Cornus sericea 'Kelseyii'
Kelseyii Dogwood



Spiraea bumalda 'Anthony Waterer'
Anthony Waterer Spiraea



Kalmia latifolia
Mountain Laurel



Rhododendron 'Blue Diamond'
Blue Diamond Rhododendron

PERENNIALS, GROUND COVER AND GRASSES



Polystichum munitum
Western Sword Fern



Imperata cylindrical 'Red Baron'
Red Baron Japanese Blood Grass



Lavendula angustifolia
True Lavender