

NOTICE of REZONING APPLICATION

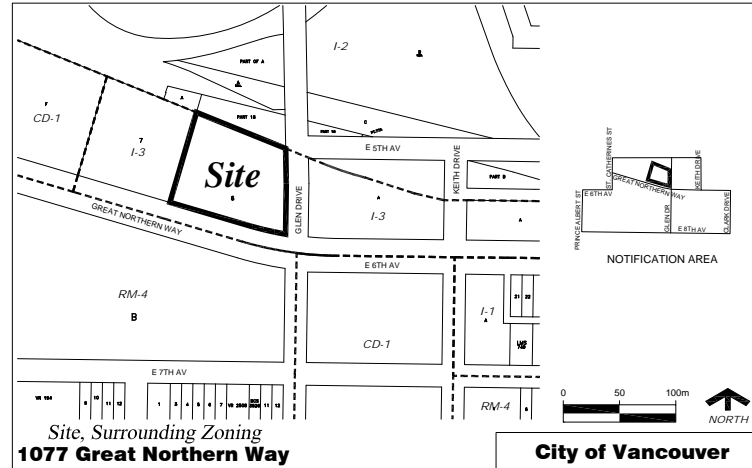
1077 Great Northern Way

September 20, 2011

Application: Proscenium Architecture has applied to rezone this site from I-3 Industrial District to CD-1 Comprehensive Development District, to remove restrictions on the amount of office space allowed. The density and uses would otherwise be consistent with the existing industrial zoning.

The existing zoning allows a 3.0 floor space ratio (FSR). The proposal would see a three phased development with 1.1 FSR proposed in Phase 1, 0.3 FSR in Phase 2, and an additional 0.4 FSR in Phase 3, for a total of 1.8 FSR. All of the floor space is proposed to be used as office space.

The maximum building height under the existing zoning is 18.3 m (outright) and 30.5 m (conditional). The height of the proposed building is 31.9 m or 1.4 m higher than is currently allowed under the existing conditional zoning regulations.



For more information regarding this proposal, please visit our website at: vancouver.ca/rezapps. If you do not have web access, please contact **Farhad Mawani, Rezoning Planner at 604.873.7143**. Written comments may also be sent to: City Hall, 453 West 12th Avenue, Vancouver, BC, V5Y 1V4, by fax to 604.873.7060, or by email to farhad.mawani@vancouver.ca.