# **1026-1108 West 41st Avenue**

**Rezoning Submission** 





1026-1108 West 41st Avenue Rezoning Submission

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### **Cover Letter**

On behalf of Marcon and Amica, we are pleased to submit this rezoning application submission. In brief, the proposal is to rezone the sites located at 1026-1108 West 41st Avenue, for the purpose of developing a 6-storey Community Care Facility for seniors.

As part of Marcon's "Building for Life" mission, we have been exploring the full spectrum of the housing continuum, including student housing, rental housing and seniors living. Recognizing the operational excellence required to provide a full complement of care to seniors, we felt a partnership with Amica, the leading provider of seniors housing in Canada, would help fulfill that commitment. We are confident that our shared experiences and values will result in a well designed and operated asset that will integrate seamlessly into the fabric of the community.

Fueled by demographic shifts, BC's population of seniors aged 75+ is projected to more than double within the next 15-20 years. Therefore, it is critically important to facilitate the creation of additional care facilities to avoid acute shortages for our aging population. Oakridge has the second highest percentage of seniors aged 65+ than any other Vancouver neighbourhood. The significant supply gap in seniors housing that exists today will reach crisis levels over the next decade given the senior demographic growth rate unless more supply is built. Elements key to this proposal, and in alignment with city and provincial policy statements, include the following design attributes:

- Creation of a Community Care Facility Class B for seniors which provides a home for those who can no longer care for themselves and who require 24-hour access to professional nursing care.
- Large floor area designed to support resident safety, physical and cognitive health, and all aspects of their emotional well-being, including comprehensive recreational activities, amenities and programs.
- Pick-up and drop-off entry at the rear of the residence for privacy & accessibility and a dignified, accessible entrance on West 41st Avenue.

We are excited to collaborate with Amica Senior Lifestyles on this project. Their innovative approach to seniors housing and the concept they have developed for the site is particularly sensitive to local policy context, the streetscape, and the surrounding neighbourhood impacts. Design information prepared by Shift Architecture can be found in the enclosed document.

### Nic Paolella

Executive Vice President Marcon Developments Ltd.



### **Project Team**



Buildings shape neighbourhoods and change lives in infinite ways. Starting out as a construction company has made us a better developer. For more than 37 years, we've built a wide variety of properties across Metro Vancouver and know what it takes to develop beautiful homes for everyday life.

We pay attention to every detail, no matter how small. We walk through every floor plan of every building to ensure our homes don't just look good on paper, they're spaces that enhance lives. After construction is complete, each building must stand the test of time, and that's the commitment we make to the neighbourhoods we serve.

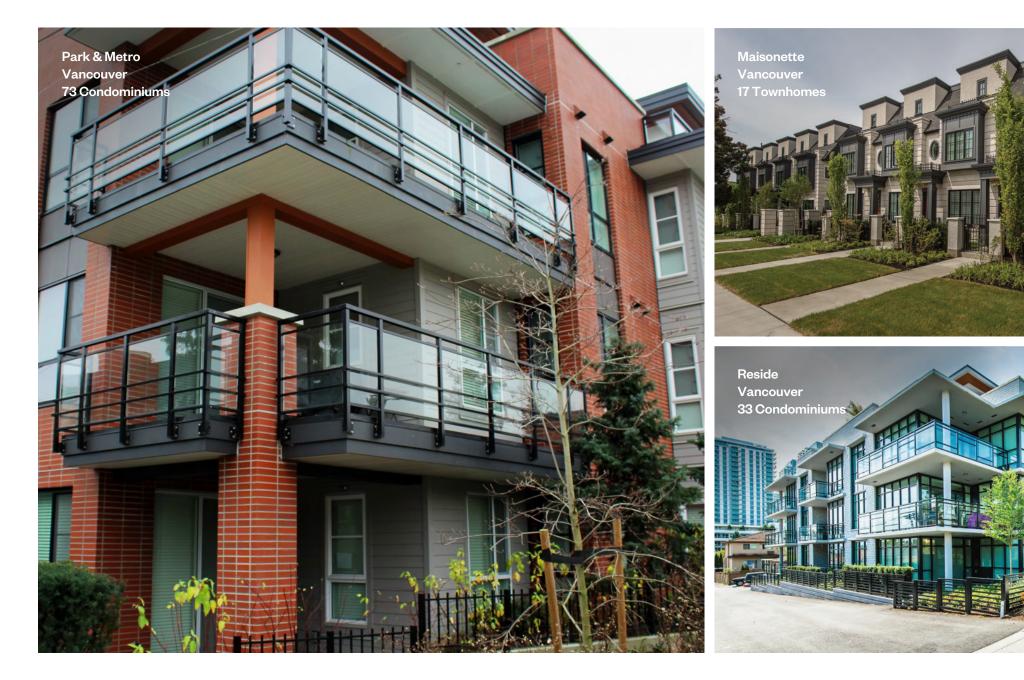
AMICA SENIOR LIFESTYLES

Amica is Canada's leading provider in retirement and care residences for seniors who want more out of life. Since 1996, we've been empowering seniors to live with optimism and peace of mind by combining excellent service and amenities with the best senior care. You'll find more than 30 Amica senior living locations in British Columbia, Alberta and Ontario, and we continue to expand to serve the growing needs of an aging population. We aspire to be the best in providing safe and secure fullservice care to seniors across Canada.



At Shift, we are passionate about enriching the urban environment. Collectively, we strive for architectural and urban design solutions that inspire pride and ownership in individual building occupants and the wider community. Through a collaborative process and a carefully considered approach, our solutions are practical, precedent-setting, and aesthetically exceptional.













# **Rezoning Intent**

The intent of this application is to consolidate and rezone the subject land assembly from RS-1 to CD-1 to allow for the development of a 6-storey Community Care Facility for seniors. Careful consideration has been taken into the design and building form to adhere to local policy context as well as seniors housing guidelines.

This project offers local residents and family members the ability to continue to live in the community as they age. The proposal includes a range of amenities and functional support spaces to ensure residents and care staff have the appropriate spaces for social engagement, healthy living, enriching leisure activities and appropriate delivery of care.

This full-service facility provides on-site management, housekeeping services, main and private dining, concierge services, and 24-hour emergency support care.



North Elevation



### **Site Context**

The proposed development is located in the Oakridge neighbourhood, just south of Shaughnessy, and nearby the intersection of West 41st Avenue and Oak Street. It is immediately adjacent to Oakridge Town Centre which is projected to have the highest concentration of urban uses and density along the Cambie Corridor Plan.

The development is proximate to major projects including the Oakridge Centre (2nd largest shopping centre in the Region) and the Oakridge Transit Centre, unique sites including the Jewish Community Centre and the Louis Brier Home and Hospital as well as the planned mixed use project at 5763 Oak Street. These projects will transform the surrounding neighborhood from a low-density, semi-urban neighbourhood to a high density urban neighborhood, complete with retail, restaurants, groceries cultural spaces and services.



Louis Brier Home & Hospital (Cambie Corridor Plan, City of Vancouver)



Oakridge Town Centre (Cambie Corridor Plan, City of Vancouver)



Oakridge Transit Centre (Cambie Corridor Plan, City of Vancouver)



1008 41st Avenue & 5763 Oak Street (IBI Group/Wesgroup) Rezoning Proposed



Artistic rendering of the Oakridge Park (Oakridge Centre) redevelopment. (Henriquez Partners Architects/Westbank/Quadreal Property Group) Rezoning Approved



Artistic rendering of the Jewish Community Centre of Greater Vancouver. (Jewish Community Centre of Greater Vancouver/Acton Ostry Architects) Rezoning Approved







### **Rezoning Rationale**

The proposed rezoning is based on several city policies including the ARKS Community Vision, Community Care Facility - Class B and Group Residence Guidelines, and Seniors Supportive and Assisted Housing Guidelines.

Arbutus Ridge/Kerrisdale/Shaughnessy Community Vision Directions "ARKS Community Vision"

ARKS Community Vision was approved by Council in 2005. The Vision supports the rezoning and development of low-rise seniors housing and care facilities with various levels of care in close proximity to parks, shopping, transit, and community services to allow seniors to stay in the community as their housing needs change. 15.11 Developments designed for seniors should be considered near parks, transit and services to allow all seniors to stay in the community as their housing needs change.

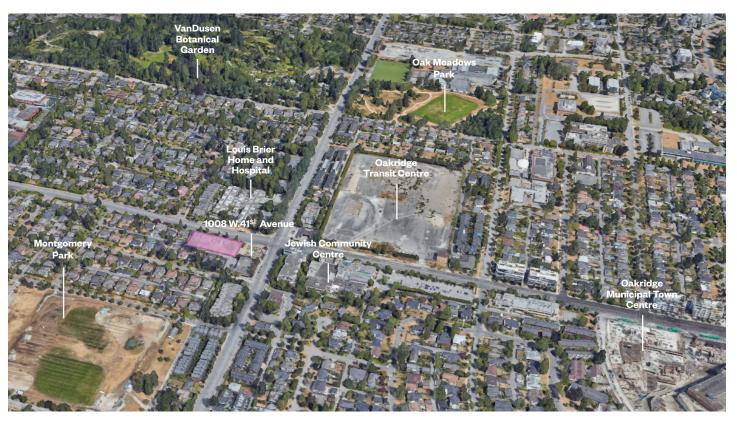
This site uniquely addresses the ARKS Community Vision (15.11) in the following ways:

The property is located within walking distance to a wide range of parks (Montgomery Park, VanDusen Botanical Gardens, Tisdall Park, Columbia Park and Queen Elizabeth Park), transit, retail, cultural spaces and services.

The proposed site is located on a major arterial road within walking distance of the Canada Line and major bus routes, including the future B-line.

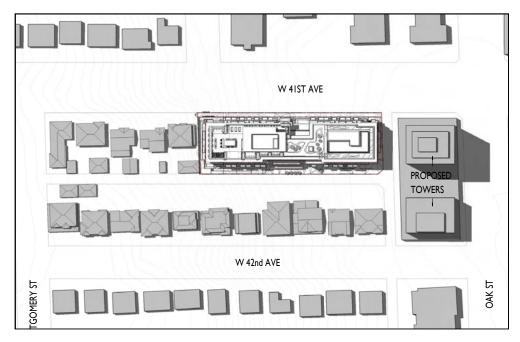
The existing neighbourhood includes an array of retail, restaurants, groceries cultural spaces and services. Planned developments will amplify the amount of choice available to future residents.

This proposal offers local residents and family members the ability to continue to live in the community as they age. The project includes a total of 164 licensed long-term care units with enhanced care for those with memory care requirements, chronic illnesses and mobility challenges.



Site View





**Transit Routes & Stops** 

Context Plan

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Subject Site

### **Rezoning Rationale**

Community Care Facility - Class B and Group Residence Guidelines

The proposed development will be designated as an institutional, Class B, Community Care Facility, licensed by Vancouver Coastal Health and operated by Amica under the Community Care and Assisted Living Act. The building will follow the Community Care Facility – Class B and Group Residence Guidelines. These guidelines specify locational criteria and general design considerations for community care facilities to ensure the housing is compatible in density, scale, architectural character and operation with the surrounding neighbourhood.

Careful consideration has been taken into the design and building form to adhere to local policy, guidelines and neighbourhood context. The proposed development responds to the surrounding neighbourhood context and identity through a sensitive transition of building height, massing, setbacks, material selection and integration with the public realm. It creates a respectful relationship with the proposed 8-16 storey mixed-use development at 5763 Oak Street and the planned densification of the Louis Brier Home and Hospital.

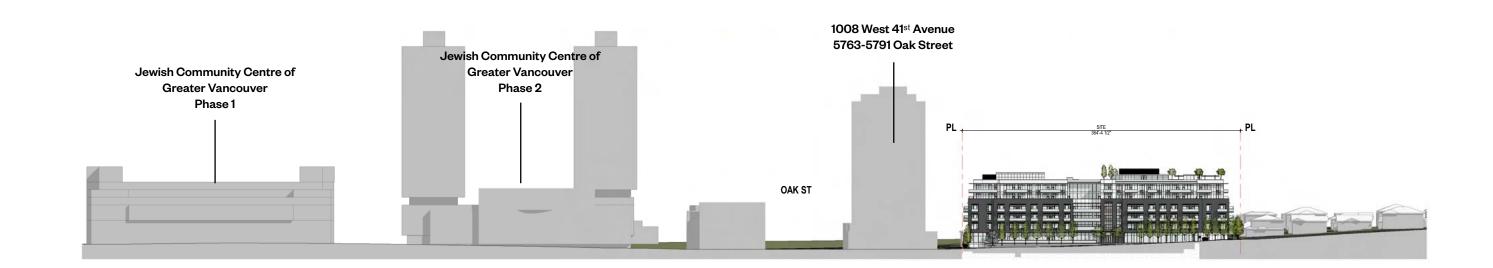
### Seniors Supportive and Assisted Housing Guidelines

The development is informed by the Seniors Supportive and Assisted Housing Guidelines and is designed to function for seniors of various ages and abilities. Its full-service facilities, range of suites sizes, amenities and services allow residents to age in place gracefully. Aging in place design features, including naturally lit common areas, fitness and hobby rooms, cooking and private dining areas are programmed throughout the building. Weather protected outdoor common spaces and prominent landscape features are provided immediately adjacent to indoor common spaces, allowing residents to enjoy the outdoors regardless of weather conditions.

This care facility will provide a home for those who can no longer care for themselves and who require 24-hour access to professional nursing care. This unique development will play a major role in strengthening the surrounding community with its high standard of design and sustainability, while adding to the diversity of the neighbourhood.



**Proposed Development** 



# **Design Rationale: Loading, Access, and Parking**

The assembly slopes 3.57 meters (11.71 feet) west to east on the north side and 4.81 meters (15.78 feet) on the south side. At the centre of the site, the slope falls by approximately 0.49 meters from the laneway to West 41st Avenue. The resulting slope challenges limit the primary access points to the development. To address this, the building grade point has been made to match the pick-up and drop-off entry at the laneway for ease of access.

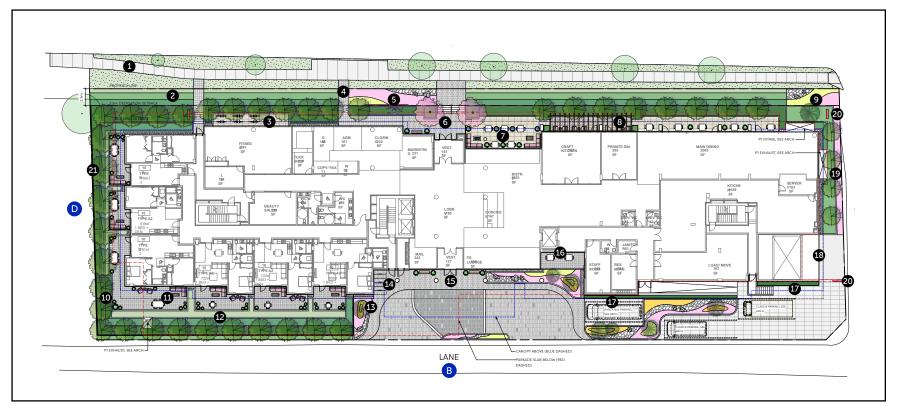
On the north side of the building, access to the main entrance is provided by way of a sloped ramp and set of feature stairs. On the south side of the building, vehicle and resident drop off is made via the portecochère, while loading and parking ramp access is located towards the southeast corner of the site. A secondary access point is located next to the fitness room to provide pedestrian access to West 41st Avenue.

The porte-cochère, loading area and drive court includes various West Coast themed gardens, climbing planting walls, perimeter bench seating and feature paving to create a welcoming point of entry. Both weather protected entrances access the generous lobby, leading to resident amenities and management offices.

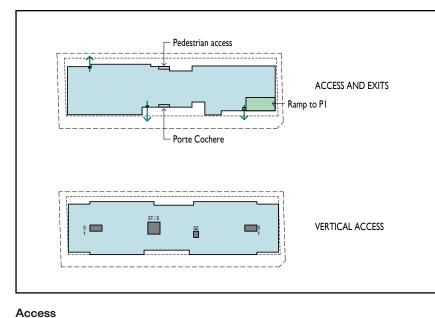
Traffic impacts, parking demands, and servicing requirements are not expected to adversely affect the surrounding neighbourhood.

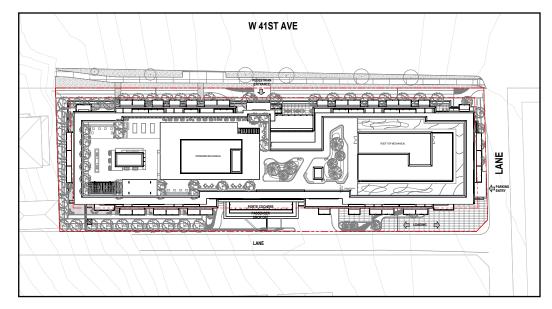
Goods loading and underground parking is positioned at the rear of the building with access via the laneway. Passenger loading is provided at the porte-cochère (Class B) and on P1 (Class A), adjacent to the elevator lobby. A total of 33 parking stalls (7 accessible) have been provided for both resident and staff use within the underground.

In order to address resident mobility challenges, a large, designated scooter parking area has been provided to house scooters while not in use. The building will be served by two passenger elevators and one service type elevator for staff utilization.



**Ground Level Plan** 







### **Design Rationale: Built Form**

The form of development has been shaped to ensure compatibility with the immediate context, reduce the perception of the building length, enhance the expression of the building facade, and improve livability.

### Compatibility to the Immediate Context

The 6-storey building has been designed to fit contextually with other developments along the arterial corridor and respect neighbouring adjacencies. In addition, a 2.5 m dedication has been provided along West 41st Avenue for improved public realm and future transportation improvements. Shadow impacts on existing homes and future redevelopment is limited between 10 a.m. and 2 p.m. at the equinoxes and other key periods of use.

### Vertical Expression and Perception of **Building Length**

Vertically, the building is divided into three main sections (base, body and capital). The ground floor (base) and upper two floors (capital) have been setback from the main body of the building to delineate the programmatic shifts within the building and reduce the apparent height of the development.

This vertical stratification is reinforced by the cladding used for each of the architectural layers. The middle projecting body is clad in a darker masonry while the lower and the upper two levels are rendered in lighter materials. This accentuates the middle projecting body, which perceptually reduces the overall height of the development. To accentuate the built form, the balconies have been purposely distributed in a manner which yields a varied expression for each facade and situated to ensure that the upper level balconies do not project beyond the main body.

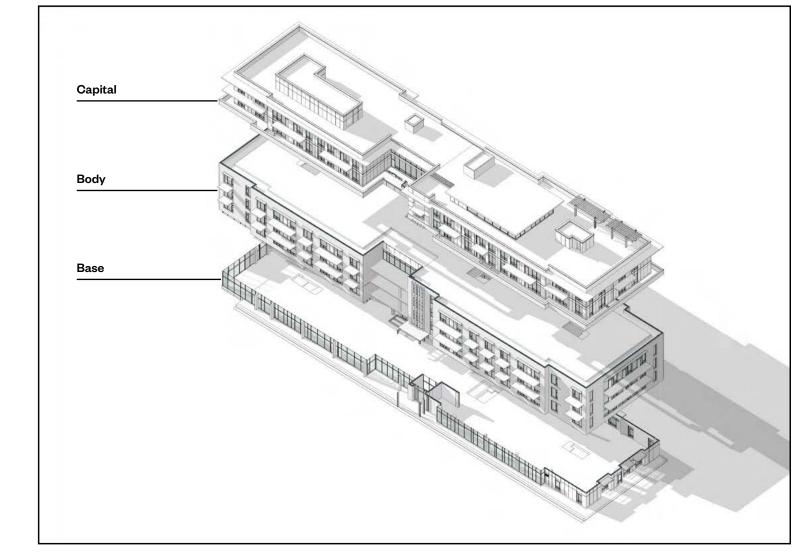
The perception of the building length is minimized by breaking the form of development into smaller volumes. Various components of the building project inward and outward to animate and vary the form.

The centre portion of the building is recessed from the more prominent, projecting flanking masses to the east and west. On levels five and six, the centre volume is further setback to create a deeply recessed glazed element. This bridge-like connection serves to break up the building length and horizontal expression. The result is a more modulated expression of the building's massing.

### Improved Livability

Floor specific amenities are centralized to bridge distinct residential nodes and create a shared communal space. These communal spaces directly benefit from the increased glazing and access to natural light.

The built form acknowledges the large floor plates required to support resident safety protocols, centralized health care functions and amenity programming for the physical, cognitive, and emotional well-being of residents with chronic illnesses, memory challenges or mobility constraints. The typical floor plate with its projecting ends and pinched centre is designed to accommodate an optimal ratio of licensed care units to staff members so that residents can obtain the care they need.



Axonometric Diagram



Northwest Elevation



**Centralized Amenities for Improved Livability** 

### **Design Rationale: Materials**

The architectural massing of the development is accentuated by the change in cladding. The "base" is rendered in large format composite stone with wood panel accents and glass. The "body" features dark brick cladding while the "capital" is rendered in light coloured vision glass and metal spandrel. A recessed glazed centre volume creates a bridge-like connection between two flanking masses. The change in the material expression further articulates the two volumes to minimize the perception of the building length. The material palette works in concert with the building massing to convey a sense of quality and timelessness.

Contrasting materials are also used to highlight focal points of the design. The centre mass includes a series of timber elements which extend from the base of the building to the top of the brick podium to create a focal point and accentuate the pedestrian entry. Wood composite paneling is used to accent and further define the mass. In addition, a wood and steel canopy is used to anchor the front entry and create a welcoming sense of arrival.

The result is a textured, contemporary and modulated expression of the building's massing. The modern classic design connects the site with the emerging urban context and aims to appeal to future generations of seniors who are young or middle aged today.



North Elevation

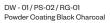


Composite Stone Cladding



CL - 03 BENJAMIN MOORE Sebring White OC-137







Composite Wood Veneer Cladding - Copper

BENJAMIN MOORE Iron Mountain 2134-30

MA - 01 Manganese Ironspot Norman Brick with Dark Drout

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CL-04/DW-03/MM-02/PS-01/RG-02

Powder Coating Standard White



# **Design Rationale: Wayfinding and CPTED Strategies**

### Wayfinding

### **CPTED Strategies**

The north elevation is punctuated with an architectural feature to accentuate and emphasize the main pedestrian entry. This focal point includes:

- A steel and timber pedestrian entrance canopy
- A series of decorative timber elements extending from the base of the building to the top of the brick podium.
- Wood composite paneling and detailing to complement the vertical timber elements.
- Feature stone-face wall and flowering specimen trees to accentuate and reinforce the entry.

Similarly, the porte-cochère identifies the resident and visitor drop-off area. The porte -cochère and drive court includes various West Coast themed gardens, perimeter bench seating, and feature paving to create a welcoming point of entry. CPTED principles are utilized to delineate private space from semi-public and public spaces by way of various pavement treatments, signage, screening, and fences. All private and common outdoor spaces are screened from offsite and neighbouring properties with layered planting, terraced planter walls, and ornamental trees, providing colour and texture year-round.

The ground floor is programmed to provide sufficient opportunity for people engaged in their normal activities to observe the space around them. The lobby, amenities, and management offices will have direct views to the outside. Natural surveillance will be supplemented by access control measures including concierge, security cameras, digital access controls, and lighting standards to promote a safe environment.





Pedestrian Entry

North Elevation



South Elevation





Porte-Cochère

### **Design Rationale: Programming Overview**

The proposed development is a 6-storey (164 unit) Community Care Facility that provides a variety of housing options for residents. Levels 2 to 4 are dedicated to enhanced care for those with memory care requirements, chronic illnesses and mobility challenges. The remaining levels are dedicated to those who still need access to 24-hour care but have higher capacity to meet their average daily needs. Balconies or patios are provided for the majority of homes.

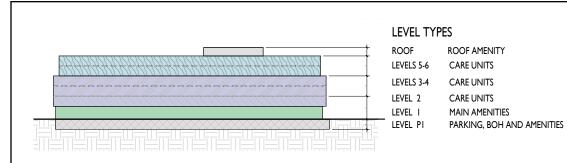
Floor specific amenities serve to bridge together distinct residential nodes and create a shared communal space for residents on levels 2 to 4. The amenities are open in plan, infused with natural light and provide views to both the east and west. A central lounge overlooking W 41st Avenue is provided on each level, adjacent to the elevator core to promote and develop community.

The ground floor houses the main resident amenities, management offices, and back of house operations including a commercial kitchen which services the dining facilities. Ancillary support rooms, including private rooms for medical treatment and wellness, are provided on various levels.

The building's physical plant and building services including commercial laundry, maintenance workshop, staff rooms, end of trip facilities, and resident storage lockers are located on P1.



North West Elevation





### **Design Rationale: Programming Overview**

Resident amenities are provided below grade, on the lobby level, on residential floors and the rooftop.

Within the underground, residents will be able to watch sports and movies in the theatre room or enjoy hobbies in the workshop.

Ground level amenities include a formal dining room, an informal bistro, fireside lounge, private dining room, craft kitchen, fitness centre, beauty salon, tuck shop, as well as outdoor dining areas. These integrated indoor and outdoor amenities serve to activate the urban edge of the development and provide a stronger connection to the surrounding neighbourhood.

From levels two to four, generous patios extend the amenity spaces both to the north and south providing access to the outdoors for the residents. Amenities on these floors include activity spaces, dining rooms, and lounges.

At the roof level, a large resident amenity room is provided along with a generous outdoor landscape amenity. Outdoor programming includes a walking loop, urban agricultural beds, dining and seating areas as well as contemplative gardens. These rooftop amenities, sited for privacy, capture views in all directions.



**Rooftop Amenity** 



**Rooftop Plan** 



### **Sustainability Measures**

Sustainability through site design, architecture, building energy use, energy systems, water use, and rainwater management will be implemented to reduce greenhouse gas emissions. The development will meet the CoV's Green Buildings Policy for Rezoning – May 2022, through the following measures:

1. Integrated Rainwater Management and Green Infrastructure:

A Rainwater Management Plan, developed in accordance with the Citywide Integrated Rainwater Management Plan, has been completed. The redevelopment of the site prioritizes the inclusion of Tier 1 and Tier 2 volume reduction practices, such as green roofs and closed bottom planter boxes, to capture and re-use rainfall from the site rather than directly release rainwater to the sewer system. The proposed stormwater detention facilities for the redevelopment are designed to limit the post-development release rate from the site to less than the pre-development stormwater runoff rate, which helps protect City infrastructure from increased stormwater flows from rainfall events influenced by climate change. Lastly, a proprietary treatment device is specified to provide water quality treatment to the captured rainfall prior to discharge to the City's storm infrastructure, which ultimately leads to better water quality for the surrounding ecosystems.

2. Reporting of Green and Resilient Building Measures:

Energy and Emissions Performance Limits: The building is designed to meet the Vancouver Building Bylaw (VBBL) energy and emissions performance limits. A whole building energy performance simulation was completed, and the proposed design produces 53% less greenhouse gas intensity than that of the baseline.

Embodied Carbon Limits: The building is on track to meet the VBBL life-cycle equivalent carbon dioxide emissions expected to be in force at the time of the building's first building permit application.

Resilient Buildings Planning Worksheet: A resiliency workshop was conducted with the project team on March 7, 2023 and identified strategies to meet required targets.

### 3. Enhanced Commissioning:

All building energy systems will be commissioned in accordance with ASHRAE Guideline 0-2005 and 1.1-2007. A commissioning authority will be onboarded during design development and will work with the Project Team to develop the Owner's Project Requirements and Basis of Design.

### 4. Energy System Sub-Metering:

The building will sub-meter each energy source utilized in the development.

### Performance

Annual Energy Consumption (kWh)
Annual Greenhouse Gas Emissions (kgCO2e/year)
Greenhouse Gas Intensity (kgCO2e/m <sup>2</sup> .year)
Comparison (%)
Result

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The Project is planning to include the following sustainable features:

- High performance glazing and building
   envelope
- High -efficiency in-suite ERVs
- Low carbon air-source heat pump hydronic system
- Electrical preheat and High-efficiency
   DHW boiler
- High-efficiency lighting fixtures
- Full mechanical cooling for future climate change impacts

Proposed	Baseline			
2,106,138	2,572,253			
97,238	208,155			
6.56	7.10			
-53.29%				
Comp	oliant			

### **Operating Plan**

### **Anticipated Resident Profile**

With a range of suite sizes, amenities, care, and services, the resident profile of this project is diverse. The anticipated age of a resident is 80+, primarily living alone or some with their spouse. Most residents do not drive nor own a car.

The project provides a continuum of care which allows residents to agein-place. Many residents will move into the property after downsizing from a single-family home; some may have previously downsized into a nearby condominium. Most residents will have previously lived within a few kilometers of the property and desire to stay within their existing community.

### Unit Mix and Tenure

Approximately 164 units are proposed in a variety of unit types and levels of care. Given the age of residents and the continuum of care provided, there is no average turn-over rate. Some residents have shorter stays while others receive care for over ten years.

### **Meal Service**

Meals are provided in a variety of ways in several dining areas. Open dining is available from 7am-7pm on the main floor and dedicated dining areas. Bistro service is available 24/7 providing snacks and hydration stations. In-suite dining is also available for breakfast, lunch and dinner.

### **Other Services Provided On Site**

Areas are provided for socializing, fitness, activities, cooking, private dining, meetings, and theatre. The beauty salon and multi-use spaces are tailored based on the residents' needs. Daily on-site and off-site activities are provided.

Residents will be provided with professional care and supervision tailored to their individual needs which includes 24-hour professional nursing, personal care, medication management, laundry and recreational activity programs.

### How the Common Spaces will be Used and Programmed

Spaces are designed to meet the needs of residents to host events, special meetings, fitness, and intergenerational programming. An activity calendar is published monthly with 5-7 daily programs to meet the mental, physical, spiritual, and vocational needs of our residents.

### Hours of Operation

The facility is open 24/7, 365 days a year. The concierge team is available for personalized services between 7am-11pm or 8am-8pm, depending on the residence volume and needs.

### Number of Staff and Level of Supervision

Staffing is based on the needs of residents in care; typically, an average ratio of 4-6 residents per team member is provided. With the proposed 174 residents at 100% occupancy, approximately 73 staff members will be on site at peak times.

Additionally, 8-10 leaders provide daily coverage with a Manager on Duty program for additional support. All other departments are staffed based on occupancy.

	Licensed Long Term Care	Licensed Long Term Care - Memory Care	
Description	Residents require a variety of services to maintain their health or personal care, thereby allowing them to age in place	Residents have Alzheimer's and/or other for dementia and require a dedicated environm and support to meet their own daily needs.	
Units	128 Units	36 Units	
Allocation	78%	22%	
Studio	70 Units	30 Units	
1Bedroom	28 Units	6 Units	
1Bedroom + Den	20 Units	0 Units	
2 Bedroom	10 Units	0 Units	
Supervision		·	
Resident Care Partners (RCP)	Daytime: 10-12 during the day Night: 2 24 Hour Nursing	Daytime: 8-10 Night: 1 24 Hour Nursing	
Total Headcount	126	•	
Peak Daily	73		

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### How 24-hour On Site Emergency will be Achieved

Team members are available for emergency response with a Licensed Practical Nurse (LPN) and Resident Care Partner per care department, at a minimum. For emergencies requiring 9-1-1 ambulatory care, such as a head injury, heart attack, or respiratory challenge, team members would be able to provide CPR, oxygen, airflow assessment, breathing and colour assessment while waiting for emergency responders to arrive.

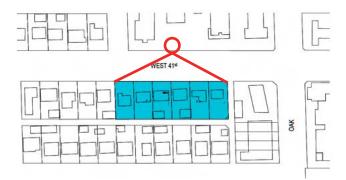
All residents are provided with a GPS call pendant which triangulates their location in an emergency. Emergency call buttons are also provided in bathrooms.

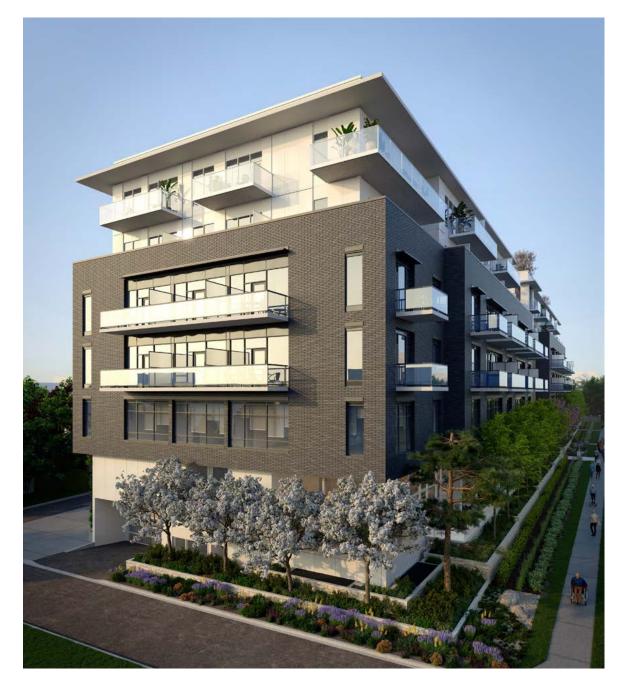




North Elevation

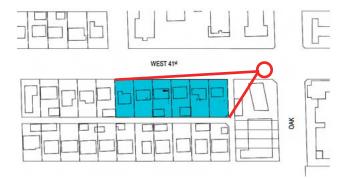






East Elevation



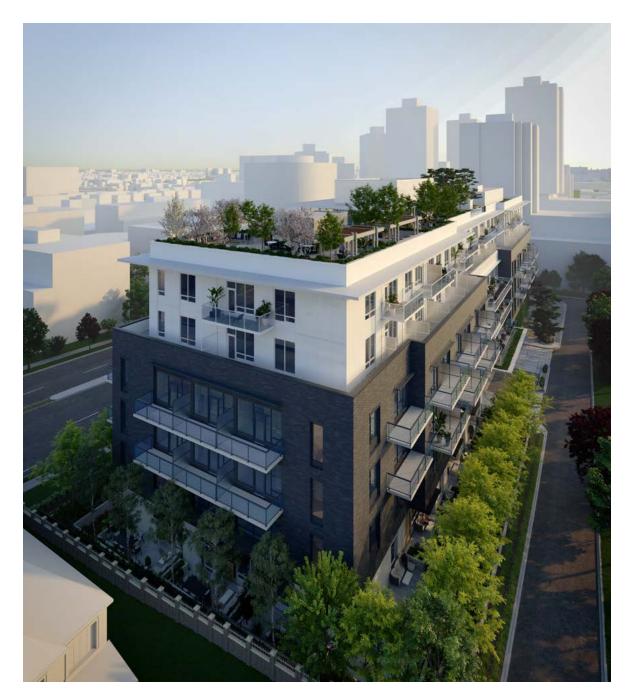




South Elevation







West Elevation



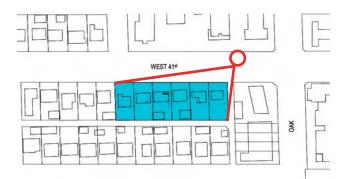


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Northeast Elevation

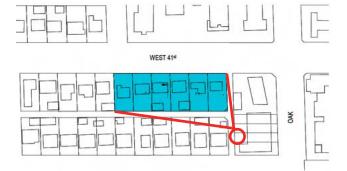






Southeast Elevation

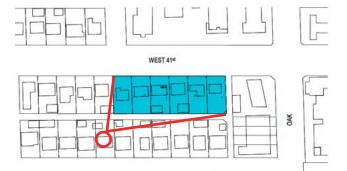






Southwest Elevation

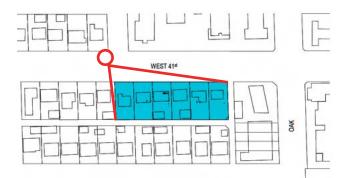






Northwest Elevation





# **Architectural Drawings**

A0.00 - A9.00 FSR 1.01 - FSR 1.04



# **AMICA WEST 41ST LIMITED PARTNERSHIP**

### COMMUNITY CARE FACILITY - 1026-1092 W 41<sup>st</sup> Avenue



### PROJECT TEAM

#### OWNER AMICA W41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 (604) 530.5646

DEVELOPER MARCON DEVELOPMENTS LTD. 1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 (604) 530.5646

ARCHITECT SHIFT ARCITECTURE INC

200-1000 West 3rd Street, North Vancouver, BC, V7P 3J6 (604) 988.7501 CODE CONSULTANT

MCAULEY CONSULTING

AES ENGINEERING LTD.

116-119 West Pender Street, Vancouver, BC, V6B 1S5 (778) 834.6569

MECHANICAL ENGINEER

AME CONSULTING GROUP LTD. 638 Smithe St Suite 200, Vancouver, BC V6B 1E3 (604) 684-5995 ELECTRICAL ENGINEER

TRAFFIC ENGINEER

Suite 1550 - 1050 West Pender Street, Vancouver, BC V6E 3S7 (604) 685.6427

#### **RENDERING - NORTH ELEVATION**

#### LOCATION



### **PROJECT STATISTICS**

### Zoning Calculations - Community Care Facility - Class B



#### Area Summary (square feet)

			Gross Area							Exclusions		Net Area
	Units	Licensed Long Term Care	Common	Amenity	вон	Mechanical	Parkade	Total Gross	Mechanical	Parkade	Total Excl.	
Level P1		-	2,390.0	1,964.0	3,743.0	-	-	8,097.0	-	-	-	8,097.0
Level 1	6	4,454.0	6,026.0	9,004.0	3,669.0	-	394.0	23,547.0	-	394.0	394.0	23,153.0
Level 2	36	16,617.0	4,488.0	4,129.0	2,147.0	-	-	27,381.0	-			27,381.0
Level 3	36	16,617.0	4,490.0	4,129.0	2,145.0	-	-	27,381.0	-	-		27,381.0
Level 4	36	16,617.0	4,489.0	4,129.0	2,146.0	-	-	27,381.0	-	-		27,381.0
Level 5	25	16,295.0	3,726.0	170.0	251.0	-	-	20,442.0	-	-	-	20,442.0
Level 6	25	16,290.0	3,791.0	170.0	185.0	-	-	20,436.0	-	-	-	20,436.0
Roof		-	1,437.0	1,719.0	-	1,196.0	-	4,352.0	1,196.0	-	1,196.0	3,156.0
Totals	164	86,890.0	30,837.0	25,414.0	14,286.0	1,196.0	394.0	159,017.0	1,196.0	394.0	1,590.0	157,427.0
									Amenity Exclu	sion (10% of Ne	t Floor Area)	15,742.7

Total FSR 141,684.3

13.162.9

Amenity Exclusion (10% of Net Floor Area)

#### Area Summary (sauare meters)

### **PROPERTY INFORMATION**

### Legal Description:

Lots 6 to 11, Block 995 District Lot 526 , N.W.D. Plan 7421

#### Civic Addresses:

Lot 6: 1026 West 41st. Avenue Lot 7: 1042 West 41st. Avenue Lot 8: 1068 West 41st. Avenue Lot 9: 1088 West 41st, Avenue Lot 10: 1092 West 41st. Avenue Lot 11: 1108 West 41st. Avenue

#### Zoning

Current Zoning: Proposed Zoning: CD-1 RS-1

#### Intent of Application

The intent of this application is to consolidate and rezone the subject land assembly from RS-1 to CD-1 to allow for the development of a 5-story consumity care facility. This proposed rezoning is based on several city policies including the Community Care Cales 8 and Group Residence Guidelines and the Arbutus Ridge/Karrisdale/Shaughnessy Community Vision Directions.

### DESCRIPTION

# The development is located within the Oakridge Neighborhood south of Shaughnessy and is bordered by West 41<sup>st</sup> Avenue to the north, residential houses to the west West 41<sup>+4</sup> Avenue to the north, residential houses to the west and two laneways to the east and south. The neighboring property at the corner of W.41st and Oak Street, is currently in the process of developing an 8-15 storyer mixed use development. The site is conveniently located steps away from the Oakrigo Transit Center, restaurants, grocery and retail stores. The site is proximate to major anterial roadways and well served by public transit, providing for ease of access for staff and visitors.

The proposed development is a 6-storey purpose-built, Community Care Facility for seniors that provides a variety of housing options for residents. A total of 164 care units are provided with the majority of the units located above the ground level.

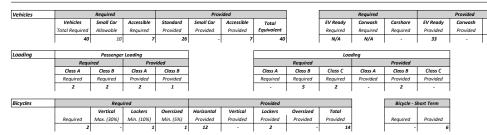
A total of 33 (26 standard and 7 accessible) parking stalls are provided within a single level of underground parking. In addition, two Class A loading stalls have been provided adjacent to the elevator lobby. Access to the underground parking is provided off the lane at southeast corner of the site. Loading is also provided off the lane adjacent to the parking access ramp. The proposed development, with its full-service facilities and

The proposed development, with its full-service tacliftes and range of unit types will allow residents to age in place gracefully. This unique development will play a major role in strengthening the surrounding community with its high standard of design and sustainability, while adding to the diversity of the neighborhood.

For a more complete design rationale, refer to the booklet submitted under separate cover.

#### Net Area ensed Long Term Care Common Amenity вон Mechanical Parkade Total Exc Units otal Gross Parkade Level P. Level 1 222.0 559.8 182.5 836.5 752 752.2 2,151.0 413.8 340.9 2,187 Level 2 Level 3 Level 4 416.9 417.1 417.0 383.6 383.6 383.6 199.5 199.3 199.4 2,543.8 2,543.8 2,543.8 1.543.8 2.543 1,543.8 1,543.8 1,543.8 2,543 2,543 Level 5 Level 6 Roof 1,513.9 346.2 15.8 1,899. 1,899.1 23.3 25 1,513.4 352.2 15.8 17.2 1,898.6 404.3 1,898.6 293.2 14,625.4 164 8,072.3 2,864.9 2,361.0 1,327.2 14,773.2 36.6 111.1 111.1 147.7 1,462.

#### Parking and Loading Summary



#### Community Care Distribution - Overall Project

Unit Type	Average Area	Count	Beds	Total Beds	Unit Ratio
	Unit	Total			
	422.9	100	1	100	61.0%
	642.4	36	1	36	22.0%
	872.7	10	2	20	6.1%
2	699.9	18	1	18	11.0%
	Total	164		174	100%

	Unit	Total
Studio	('S' Types)	100
One Bed	('A' Types)	54
Two Bed	('B' Types)	10
	Total	164

BUNT & ASSOCIATES ENGINEERING LTD. 505 Burrard Street, Suite 950 - Box 91 Vancouver, BC V7X 1M4 (604) 569.6500

**CIVIL ENGINEER** 

LANDSCAPE ARCHITECT

BC BUILDING SCIENCE LTD.

SUSTAINABILITY CONSULTANT

304-1228 Hamilton Street, V6B 6L2 (888) 939-3343

GEOTECHNICAL ENGINEER

GEOPACIFIC CONSULTANTS LTD.

1738 Kingsway, Vancouver BC V5N 2S3 (604) 694.0053

LOCI LANDSCAPE ARCHITECTURE + URBAN DESIGN

#### BUILDING ENVELOPE CONSULTANT

611 Bent Ct, New Westminster, BC, V3M 1V3 (604) 520-6456

EDGE SUSTAINABILITY CONSULTANTS INC

R.F. BINNIE & ASSOCIATES LTD. 300 - 4940 Canada Way, Burnaby, BC, V5G 4K6 (604) 420-1721

1779 West 75th Avenue, Vancouver, BC, V6P 6P2 (604) 439.0922

#### ENVIRONMENTAL CONSULTANT

KEYSTONE ENVIRONMENTAL 320-4400 Dominion Street, Burnaby BC, V5G 4G3 (604) 460.0671

#### ARBORIST

FROGGERS CREEK TREE CONSULTANTS LTD. 7763 McGregor Avenue, Burnaby, BC V5J 4H4 (604) 721-6002

#### LAND SURVEYOR

BUTLER SUNDVICK & ASSOCIATES Suite 4-19089 94th Avenue, Surrey, BC, V4N 3S4 (604) 513.9611

	WING LIST	
A0.00	COVER SHEET	
A0.01	CONTEXT IMAGES	
A0.06	PERSPECTIVES	
A0.07	SHADOW STUDIES	
A0.09	MATERIALS	
A1.01	CONTEXT PLAN	
A1.02	SITE PLAN	
A1.03	INTERPOLATED ROOF CALCULATIONS	
A2.01	LEVEL P1 PLAN	
A2.02	LEVEL 1 PLAN	
A2.03	LEVEL 2 PLAN	
A2.03	LEVEL 3 PLAN	
A2.05	LEVEL 4 PLAN	
A2.05	LEVEL 5 PLAN	
A2.00 A2.07	LEVEL 5 PLAN	
A2.07	ROOF PLAN	
A2.08	ELEVATOR ROOF PLAN	
A3.01 E A3.01 W	LEVEL P1- PLAN EAST LEVEL P1- PLAN WEST	
A3.02 E	LEVEL 1- PLAN EAST	
A3.02 W	LEVEL 1-PLAN WEST	
A3.03 E	LEVEL 2 - PLAN EAST	
A3.03 W	LEVEL 2-PLAN WEST	
A3.04 E	LEVEL 3-PLAN EAST	
A3.04 W	LEVEL 3-PLAN WEST	
A3.05 E	LEVEL 4-PLAN EAST	
A3.05 W	LEVEL 4-PLAN WEST	
A3.06 E	LEVEL 5-PLAN EAST	
A3.06 W	LEVEL 5-PLAN WEST	
A3.07 E	LEVEL 6-PLAN EAST	
A3.07 W	LEVEL 6-PLAN WEST	
A3.08 E	LEVEL ROOF-PLAN EAST	
A3.08 W	LEVEL ROOF-PLAN WEST	
A4.00	STREETSCAPE ELEVATIONS	
A4.01	ELEVATIONS	
A4.02	ELEVATIONS	
A4.03	NORTH ELEVATION - EAST	
A4.04	NORTH ELEVATION - WEST	
A4.05	EAST ELEVATION	
A4.06	SOUTH ELEVATION - EAST	
A4.07	SOUTH ELEVATION - WEST	
A4.08	WEST ELEVATION	
A5.01	BUILDING SECTIONS	
A5.02	BUILDING SECTIONS	
A9.00	SURVEY	
FSR 1.01	FSR OVERLAY L1-2	
FSR 1.02	FSR OVERLAY L3-4	
FSR 1.03	FSR OVERLAY L5-6	
FSR 1.03	FSR OVERLAY P1 AND ROOF	
TOTAL	· 49	

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No.	Date	Revision Notes

#### Proiect Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



#### AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title COVER SHEET

Drawn By Reviewed by	
Project Number 201	
Plot Date 023-04-14	Issue Date 23-04-14
Scale	Issue/Revision
As indicated	1
heet Number	





A: LANEWAY LOOKING SOUTH



**B:** LANEWAY LOOKING NORTH



C: W 41ST AVE LOOKING SOUTH



D: W 41ST AVE LOOKING NORTH





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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

### Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title CONTEXT IMAGES

Drawn By Reviewed by Author Approver Project Number 2201 Plot Date 2023-04-14 Issue Date 23-04-14 Scale Issue/Revision 1" = 160'-0" Sheet Number A0.01

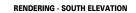
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RENDERING - FROM NORTHWEST (NORTH FACADE)

H G ... -38 1811 11 \* a nig i 1011 12



**RENDERING - NORTH ELEVATION** 



RENDERING - FROM NORTHEAST (NORTH FACADE)





**RENDERING - AERIAL FROM SOUTHWEST** 

**RENDERING - FROM SOUTHWEST** 

**RENDERING - FROM SOUTHEAST** 



RENDERING - FROM NORTHEAST (EAST FACADE)

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1026-1092 W 41st Avenue Vancouver, BC



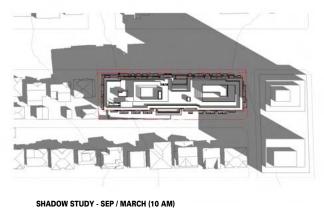
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1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title
PERSPECTIVES

	A0.06
Sheet Number	
1:3	1
Scale	Issue/Revision
2023-04-14	23-04-14
Plot Date	Issue Date
2201	
Project Number	
Reviewed by	Approver
Drawn By	Author

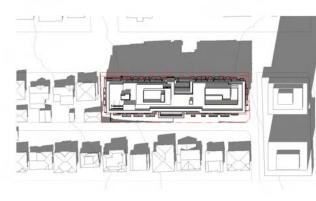
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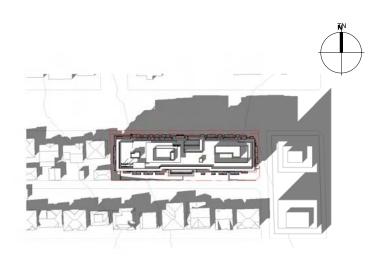




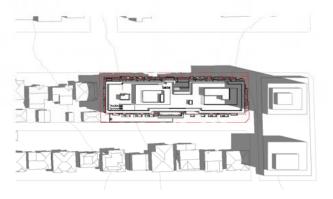


SHADOW STUDY - SEP / MARCH (12 PM)

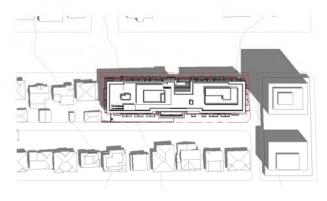




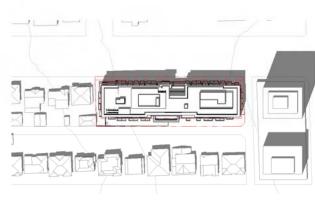
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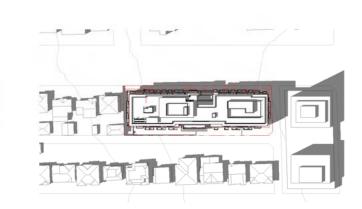
SHADOW STUDY - JUNE 21st (10am)



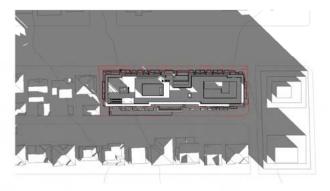
SHADOW STUDY - JUNE 21st (12 PM)



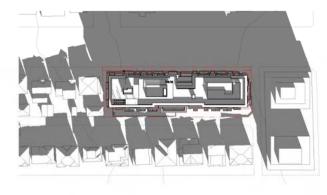
SHADOW STUDY - JUNE 21st (2 PM)



SHADOW STUDY - JUNE 21st (4 PM)

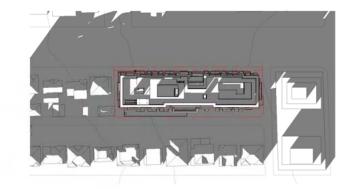


SHADOW STUDY - DEC 21st (10 AM)



SHADOW STUDY - DEC 21st (12 PM)





SHADOW STUDY - DEC 21st (4 PM)

SHADOW STUDY - SEP / MARCH (4 PM)

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No.	Date	Revision Notes
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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

### Project Title AMICA WEST 41st

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Sheet Title SHADOW STUDIES

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1026-1092 W 41st Avenue Vancouver, BC



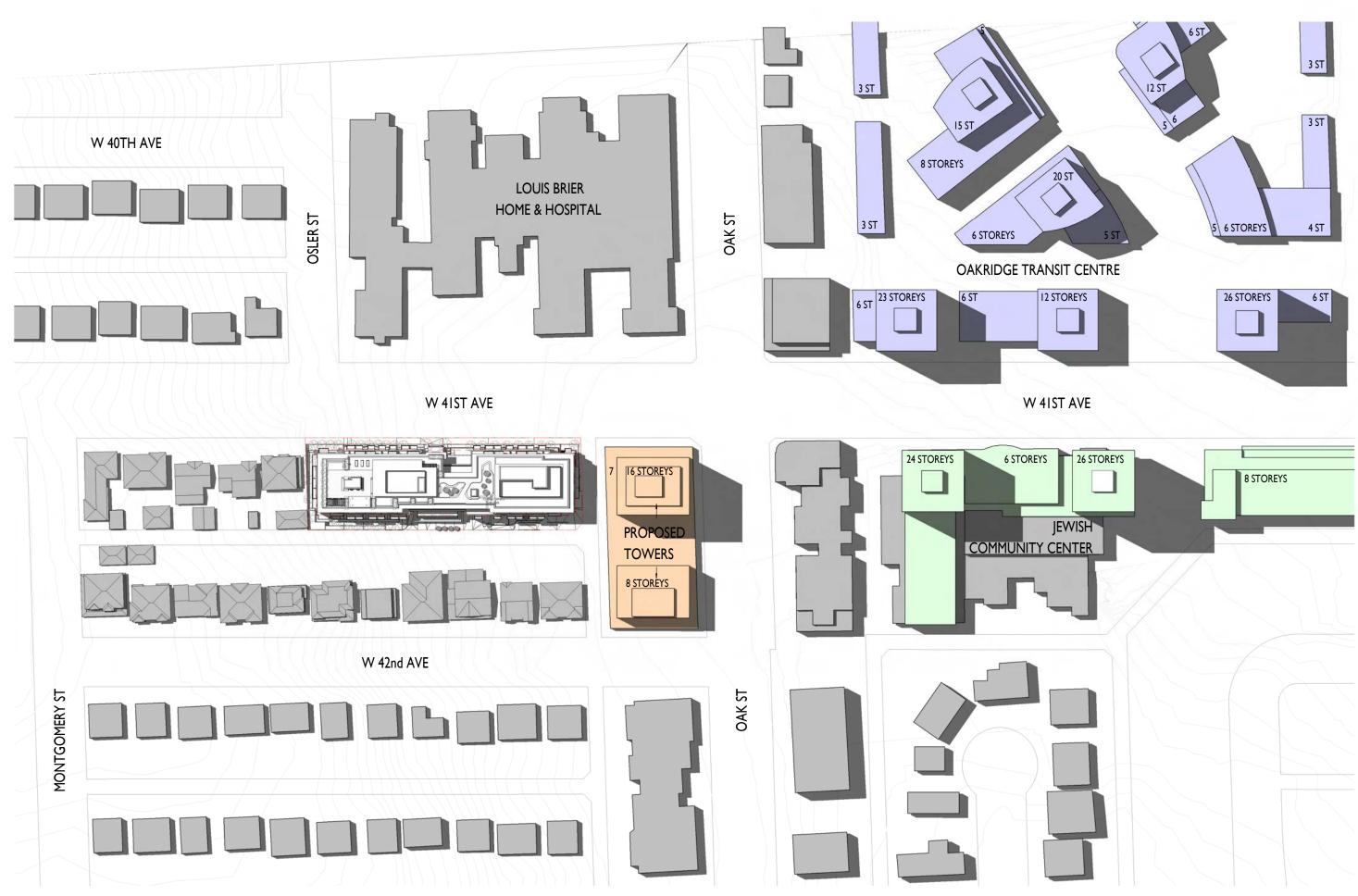
Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

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Sheet Title MATERIALS

	A0.09	)
Sheet Number		
6" = 1'-0"	1	
Scale	Issue/Revision	
2023-04-14	23-04-14	
Plot Date	Issue Date	
Project Number 2201		
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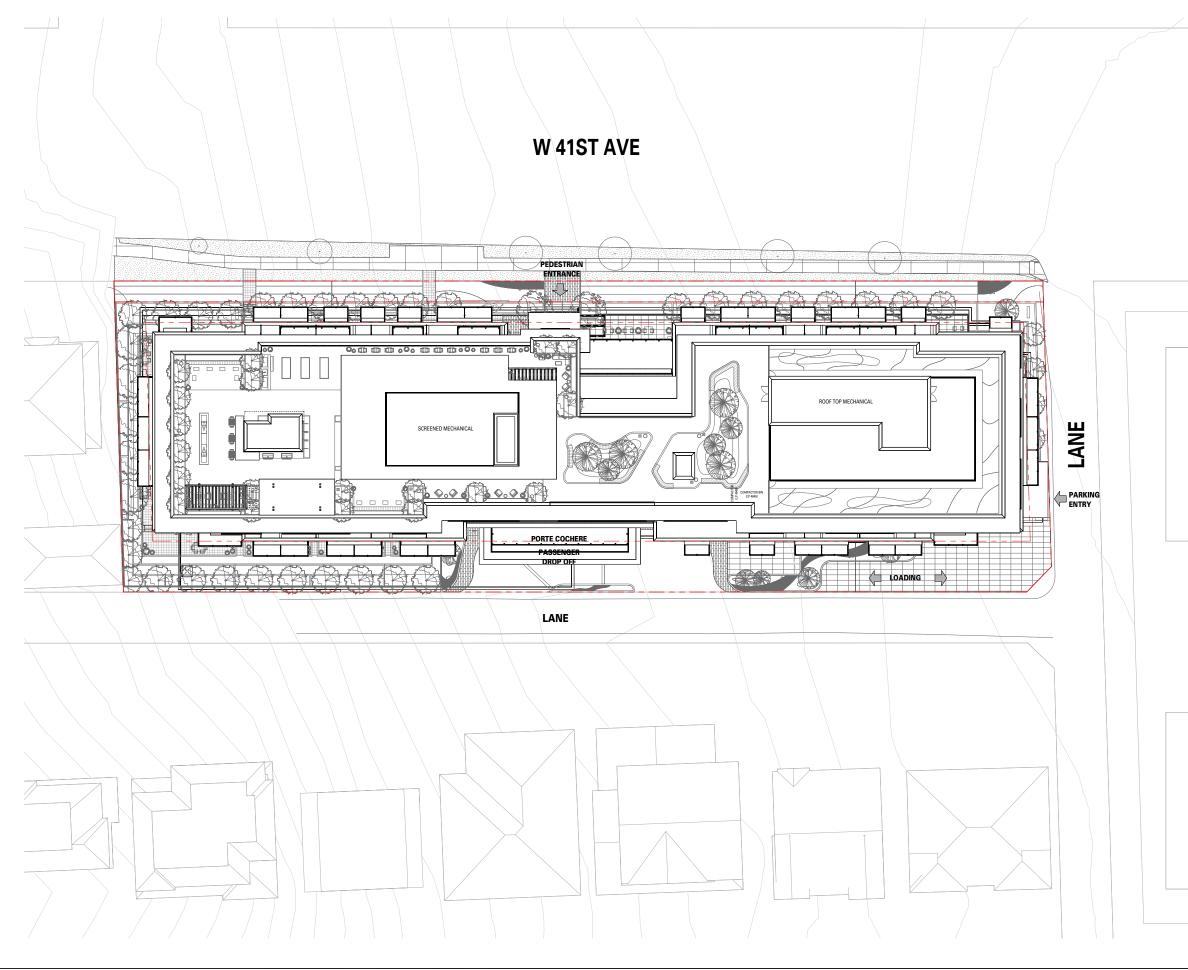


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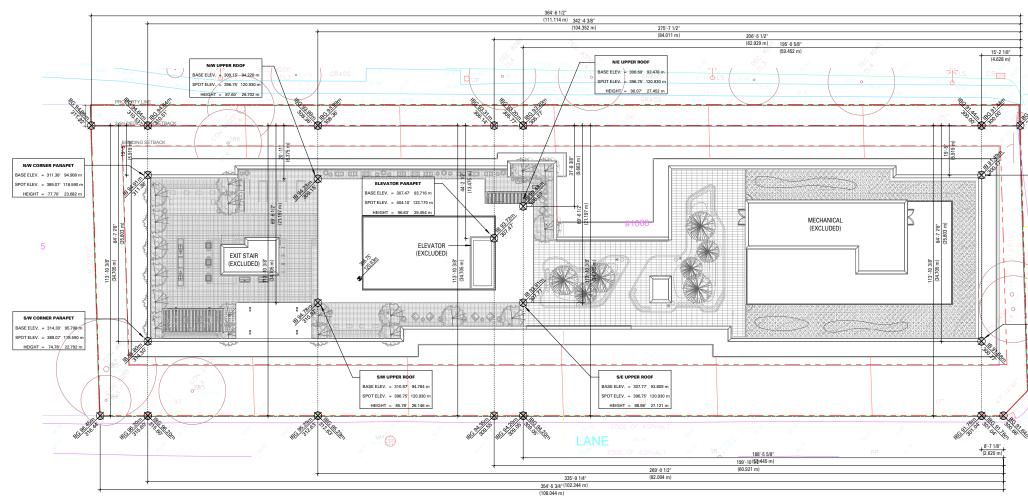
1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title
CONTEXT PLAN

	A1.01
Sheet Number	
1" = 50'-0"	1
Scale	Issue/Revision
2023-04-14	23-04-14
Plot Date	Issue Date
Project Number 2201	
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Drawn By	Author



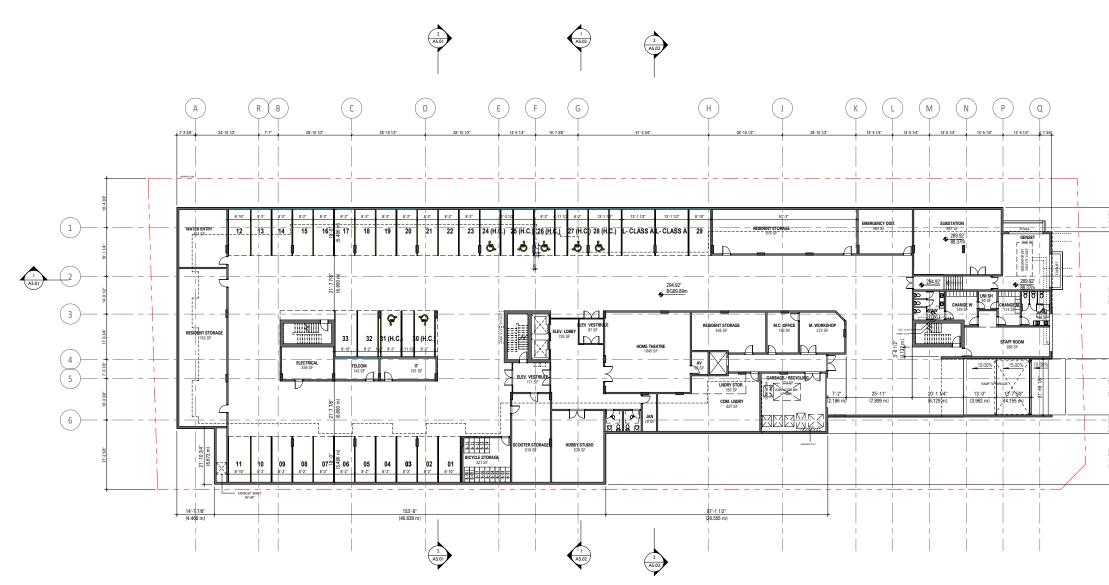
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	1026-1092 W 41st Avenue	
	Vancouver, BC	
	MARCON	J
	PARTNERSHIP 1560 -666 Burrard Street,	
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	Sheet Title	
	Vancouver, BC, V6C 2X8	
	Vancouver, BC, V6C 2X8 Sheet Title SITE PLAN	
PROPOSED 8 STOREY	Vancouver, BC, V6C 2X8 Sheet Title SITE PLAN Drawn By Author Reviewed by Approver	
DPOSED 8 STOREY TOWER	Vancouver, BC, V6C 2X8 Sheet Title SITE PLAN Drawn By Author Reviewed by Approver Project Number 2201	
	Vancouver, BC, V6C 2X8 Sheet Title SITE PLAN Drawn By Author Reviewed by Approver Project Number 2201 Plot Date Issue Date 2023-04-14 23-04-14	
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				ARCHITECTURE ARCHITECTURE Mont Nancouver, BC V79 Jai Toti Nancouver, BC V79 Jai Toti Sancouver, BC V70
			which it was p limited to such	
	PROPOSED BUILDING HEIGHT = 90.07' 27.452m	NOTE: ROF LEVEL STRUCTURES, INCLUDING ELEVATOR, STAR OR MECHANICAL, PARAPETS, NOT INCLUDED IN OVERALL BUILDING HEIGHT CALCULATION	1 23-04- No. De	
NE COMER PARAPET BASE LEV. = 300.17 91.483 m POTELEV. = 380.07 118.50 m HEIGHT = 88.90 27.007 m				ISSUED FOR REZONING 2023-04-14
HEIGHT = 88.30 28.915 m			1026-1092 Vancouver,	A WEST 41st W 41st Avenue BC
			Client/Owne AMICA PARTNE 1560-666 E Vancouver, Sheet Title INTERPO	WEST 41ST LIMITED
NOT		r	Drawn By Reviewed b Project Nurr 2201 Piot Date 2023-04-1. Scale 1/16" = 1	HK y Issue Date 4 23:04-14 IssueRevision

BG -BUILDING GRADE IBG -INTERPOLATED BUILDING GRADE IB -INTERPOLATED BASE

A1.03



#### REQUIRED HEADROOM:

PROVIDE ACCESS ROUTE WITH MINIMUM CLEAR HEADROOM OF 2000mm (7'-61/2') TO ALL ACCESSIBLE PARKING SPACES AND ALL CLASS'A' LOADING SPACES - ALL OTHER AREAS INCLUDING PARKING STALLS REQUIRE MINIMUM CLEAR HEADROOM OF 2000mm (6'-7").

PARKADE FINISHES GENERAL NOTES: 1. PARKADE WALLS AND COLUMNS TO BE PAINTED WHITE TO FULL HEIGHT - TYPICAL. OWNER TO PROVIDE ALTERNATE COLOURS FOR SPECIFIC ACCENT LOCATIONS. BICYCLE PARKING ROOM TYPICAL NOTES: 1. A MINIMUM OF 20% OF BICYCLE PARKING STALLS TO BE BICYCLE LOCKERS.

2. A MAXIMUM OF 30% OF BICYCLE PARKING STALLS TO BE VERTICAL.

3. EACH TWO CLASS A BICYCLE SPACES MUST HAVE AN ELECTRICAL OUTLET.

4. METAL ENCLOSURES AND DOORS TO MEET THE MINIMUM REQUIREMENTS OF THE "VANCOUVER PARKING BYLAW" SECTIONS 6.3.14 AND 6.3.15.

#### STORAGE LOCKER GENERAL NOTES:

1. BULK STORAGE LOCKERS ARE REQUIRED TO MEET THE MINIMUM REQUIREMENTS OF THE "VANCOVER BULLOING BYLAW 2014" AND THE CURRENT VERSION OF THE "BULK STORAGE -RESIDENTIAL DEVELOPMENTS "BYLAW ADMINISTRATION BULLETIN.

2. THE PERIMETER OF BICYCLE LOCKERS OR BANKS OF LOCKERS THAT DO NOT EXTEND TO THE CEILING ARE TO BE ENCLOSED WITH METAL MESH ENCLOSURES PREVENTING THE STORAGE OF ITEMS ON TOP OF THE STORAGE LOCKERS.

3. INDIVIDUAL SPRINKLERING OF STORAGE LOCKERS IS REQUIRED IF THE DISTANCE FROM THE U/S OF FINISHED CEILING TO THE TOP OF THE STORAGE LOCKER IS LESS THAN 24°.

#### ELECTRIC VEHICLE CHARGING REQUIREMENTS: A MINIMUM OF 20% OF ALL PARKING STALLS TO BE PROVIDED

WITH ELECTRICAL OUTLETS SUITABLE FOR THE CHARGING OF ELECTRICAL VEHICLES.

# CAPACITY OF ELECTRICAL ROOM IN RELATION

CAPACITY OF ELECTRICAL ROUM IN RELATION TO ELECTRICA VENCIE CHARGING: THE ELECTRICAL ROOM IN A MULTI-FAMILY BUILDING, OR IN THE MULTI-FAMILY COMPONENT OF A MURED USE BUILDING, THAT IN EITHER CASE INCLUES THREE OR MORE DWELING UNITS MUST INCLUES SUFFICIENT SPACE FOR THE FUTURE INSTITUATION OF ELECTRICAL EQUIPMENT NECESSARY TO PROVIDE A RECEPTACLE TO ACCOMMODATE USE BY ELECTRIC CHARGING EQUIPMENT FOR 100% OF THE PARKING STALLS THAT ARE FOR USE BY OWNERS OR OCCUPIERS OF THE BUILDING ON OF THE RESIDENTIAL COMPONENT OF THE BUILDING ON OF THE RESIDENTIAL



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	1	1
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

# -6 1/2" 909 m) 45.01 9'-9 1/4" 5 160 m 5.8" 19'-11 7/8" (6.091 m)

#### PARKING SCHEDULE (TOTALS)

Description	Count
ACCESSIBLE STALL	7
LOADING	5
REGULAR STALL	26
Grand total: 38	

#### PARKING SCHEDULE (RESIDENT)

Description	Count
ACCESSIBLE STALL	7
REGULAR STALL	26
Grand total: 33	

#### PARKING SCHEDULE (ACCESSIBLE)

Description	Count	
ACCESSIBLE STALL	7	
Grand total: 7		

#### PARKING SCHEDULE (LOADING)

Туре	Count	
CLASS B LOADING	2	
PASSENGER - CLASS A	2	
PASSENGER -CLASS B	1	
PASSENGER -CLASS B Grand total: 5	1	

#### PARKING SCHEDULE (BICYCLE)

Count	Level Description
2	BICYCLE LOCKER (HORIZONTAL)
12	BICYCLE STALL (HORIZONTAL)
	BICYCLE STALL (HORIZONTAL)

Grand total: 14

#### AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner

Proiect Title

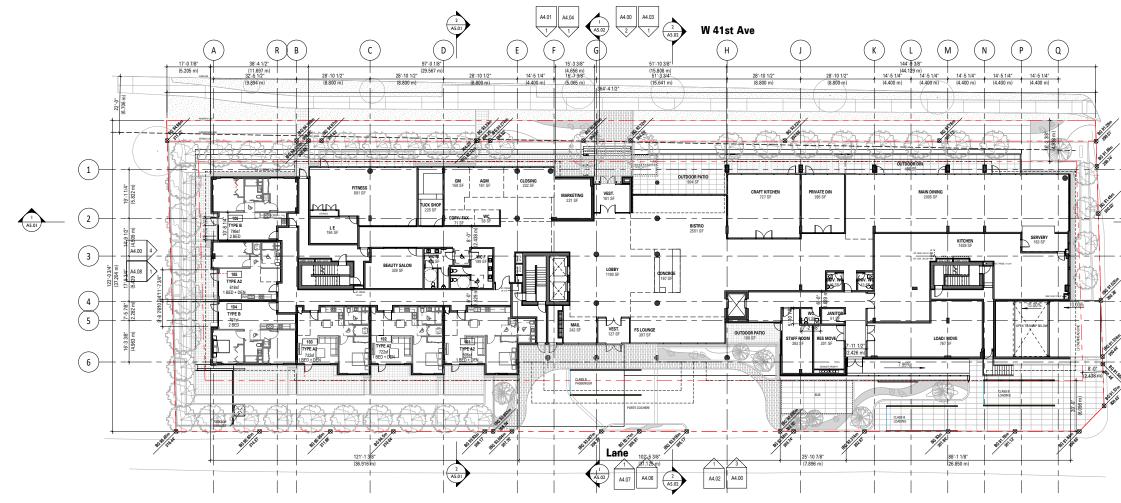
#### AMICA WEST 41ST LIMITED PARTNERSHIP

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Sheet Title LEVEL P1 PLAN

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Sheet Number	
As indicated	1
Scale	Issue/Revision
2023-04-14	23-04-14
Plot Date	Issue Date
Project Number 2201	
	Approver
Drawn By Reviewed by	Author Approver

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No.	Date	Revision Notes
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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title LEVEL 1 PLAN

Issue Date 23-04-14

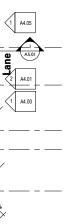
Plot Date 2023-04-14 Scale

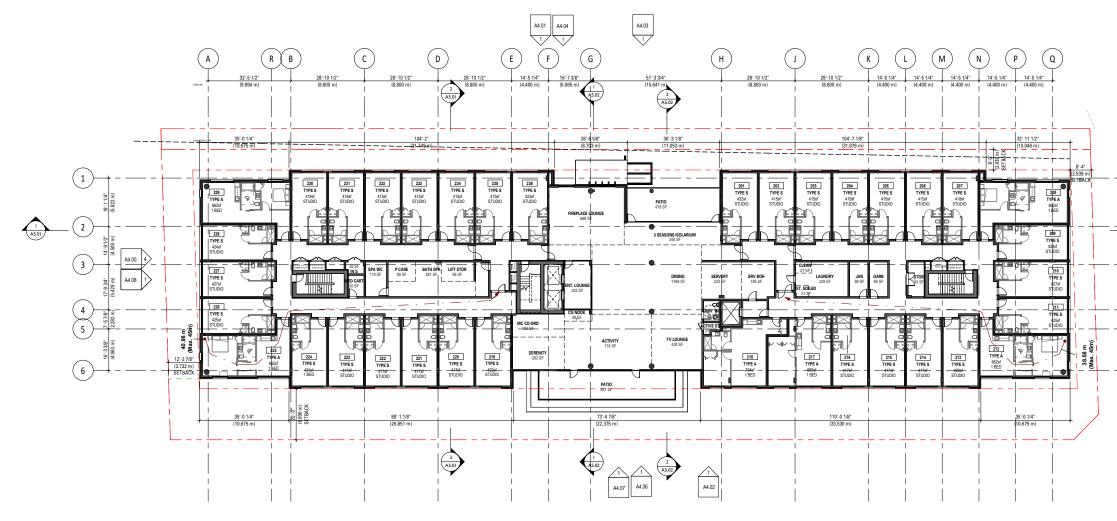
Issue/Revision 1/16" = 1'-0"

Sheet Number



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200, 1000 West 3rd Street

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No.	Date	Revision Notes
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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

1 A4.05 2 A4.01 1 A4.00

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL 2 PLAN

Drawn By	Author
Reviewed by	Approver
Project Number 2201	
Plot Date	Issue Date
2023-04-14	23-04-14

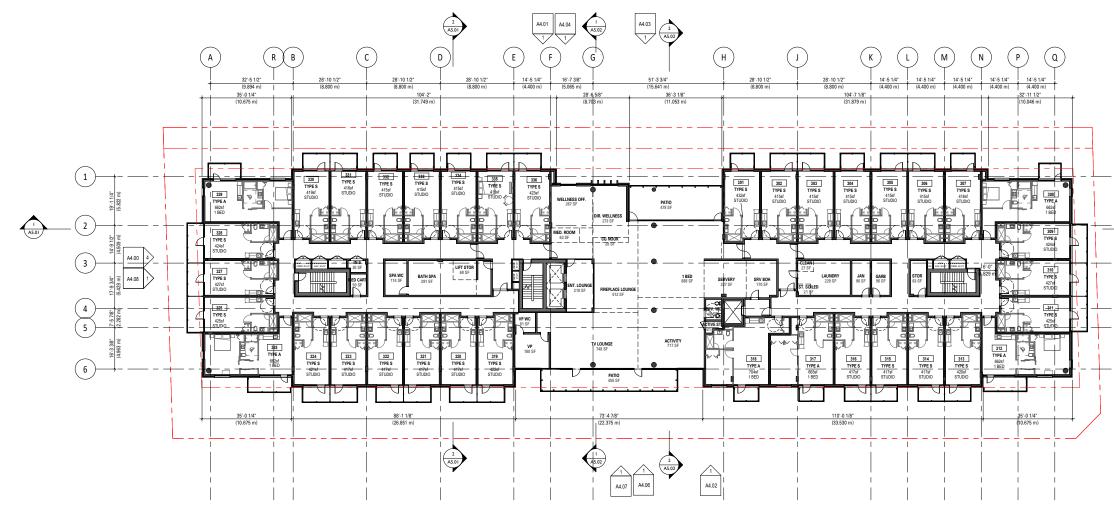
Plot Date 2023-04-14 Scale

Issue/Revision 1/16" = 1'-0" Sheet Number



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No.	Date	Revision Notes
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL 3 PLAN

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Drawn By	Author	
Reviewed by	Approver	
Project Number 2201		
Plot Date	Issue Date	
2023-04-14	23-04-14	

Plot Date 2023-04-14 Scale

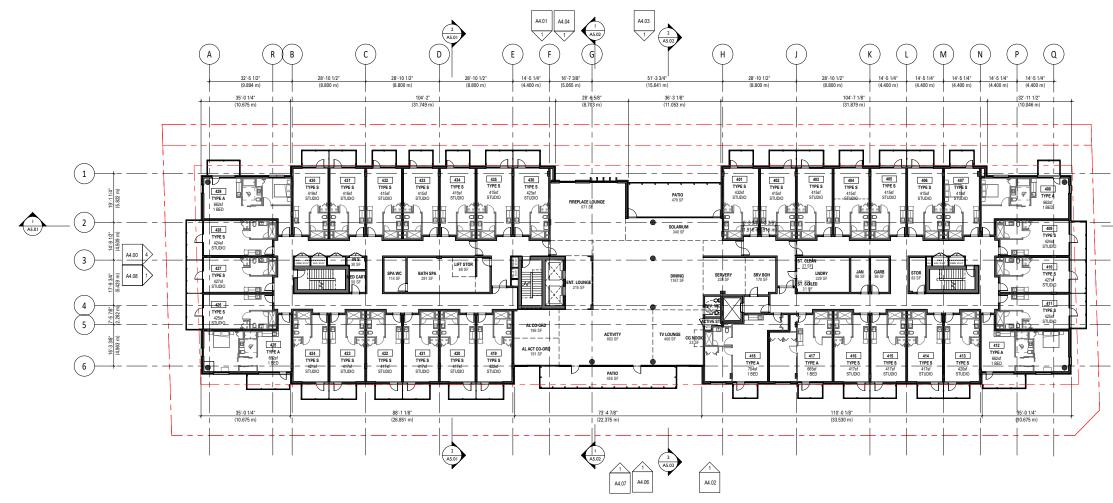
Issue/Revision 1/16" = 1'-0"

Sheet Number



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No.	Date	Revision Notes
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title

Drawn By	Author
Reviewed by	Approver
Project Number 2201	
Plot Date	Issue Date
2023-04-14	23-04-14

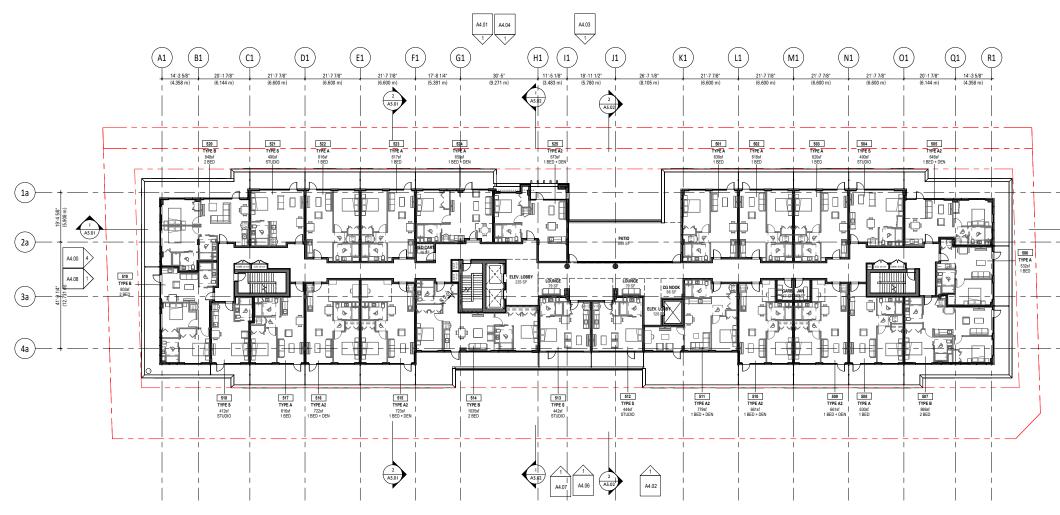
Plot Date 2023-04-14 Scale

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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title

Author	
Approver	
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Plot Date 2023-04-14 Scale 1/16" = 1'-0"

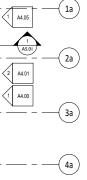
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Issue Date 23-04-14

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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title LEVEL 6 PLAN

Issue Date 23-04-14

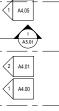
Plot Date 2023-04-14 Scale 1/16" = 1'-0"

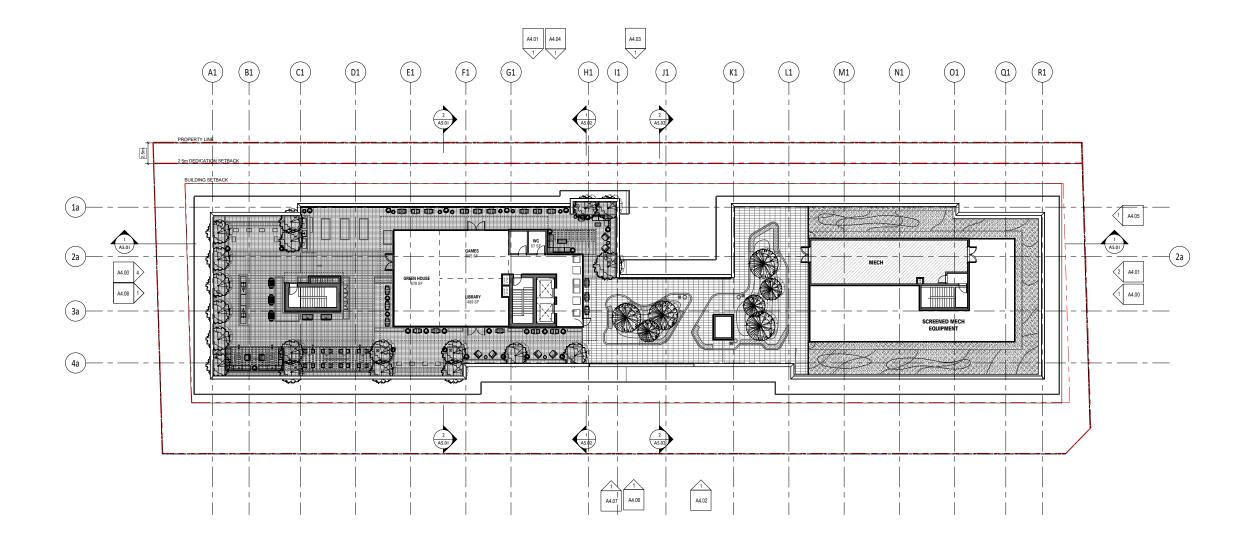
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Sheet Number



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No.	Date	Revision Notes
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No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



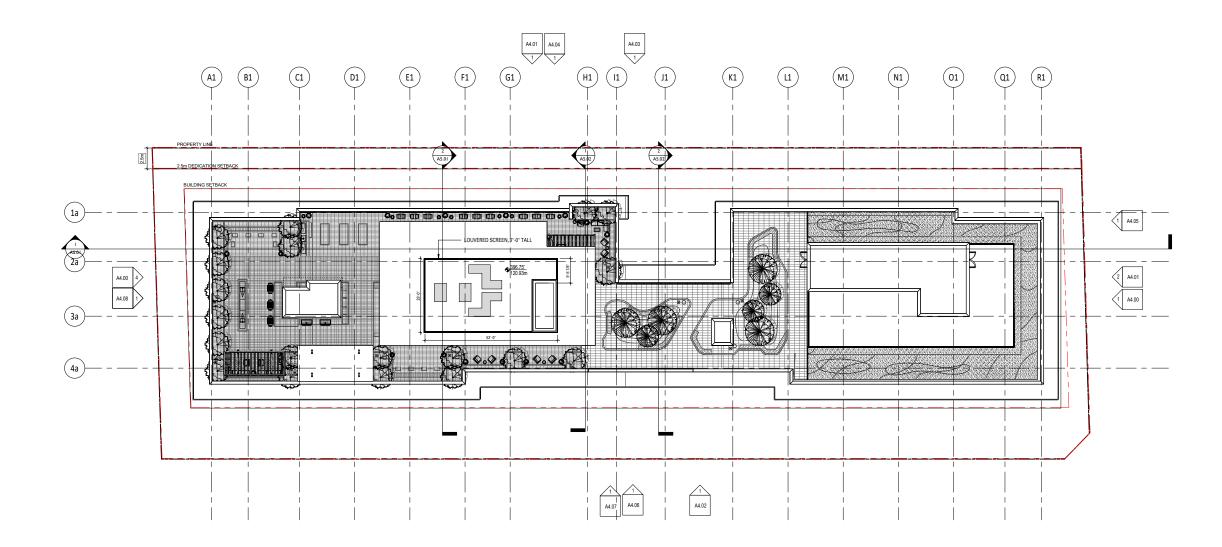
Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title ROOF PLAN

Sheet Number		
1/16" = 1'-0"	1	
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Plot Date 2023-04-14	Issue Date 23-04-14	
Project Number 2201		
Drawn By Reviewed by	Author Approver	

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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

#### Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title ELEVATOR ROOF PLAN

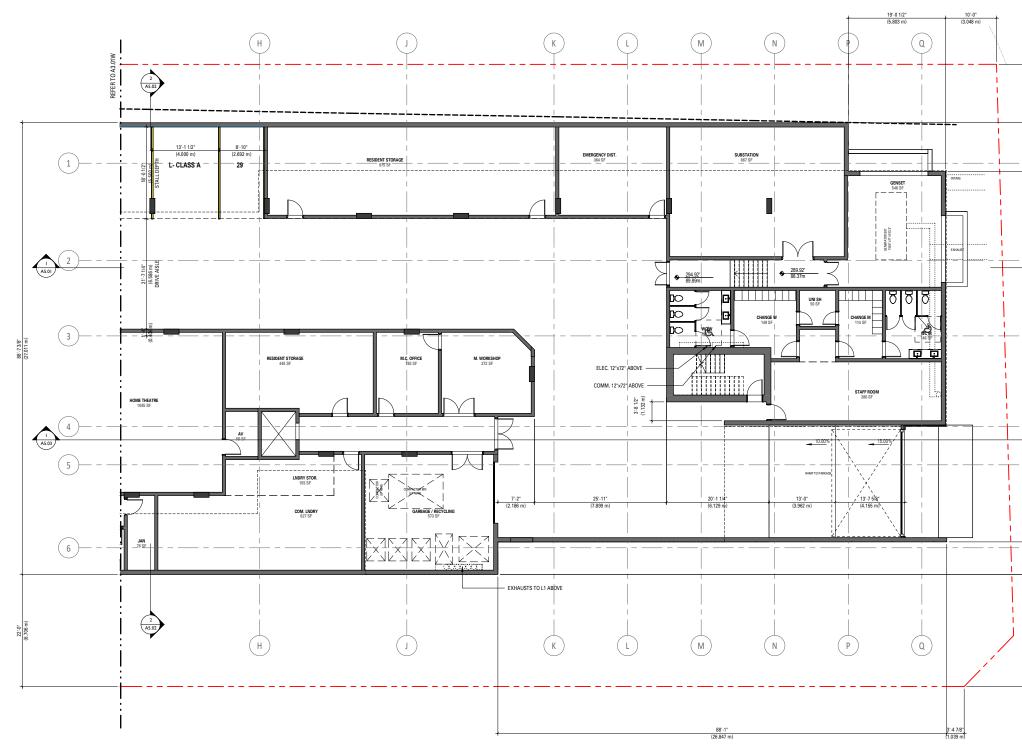
Drawn By Reviewed by Author Approver Project Number 2201 Plot Date 2023-04-14 Issue Date 23-04-14 Scale

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Sheet Number

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No.	Date	Revision Notes
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No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



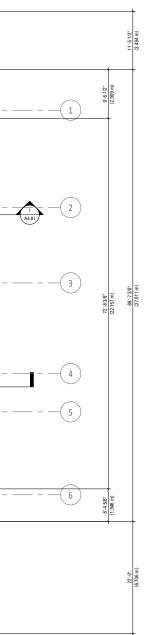
Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

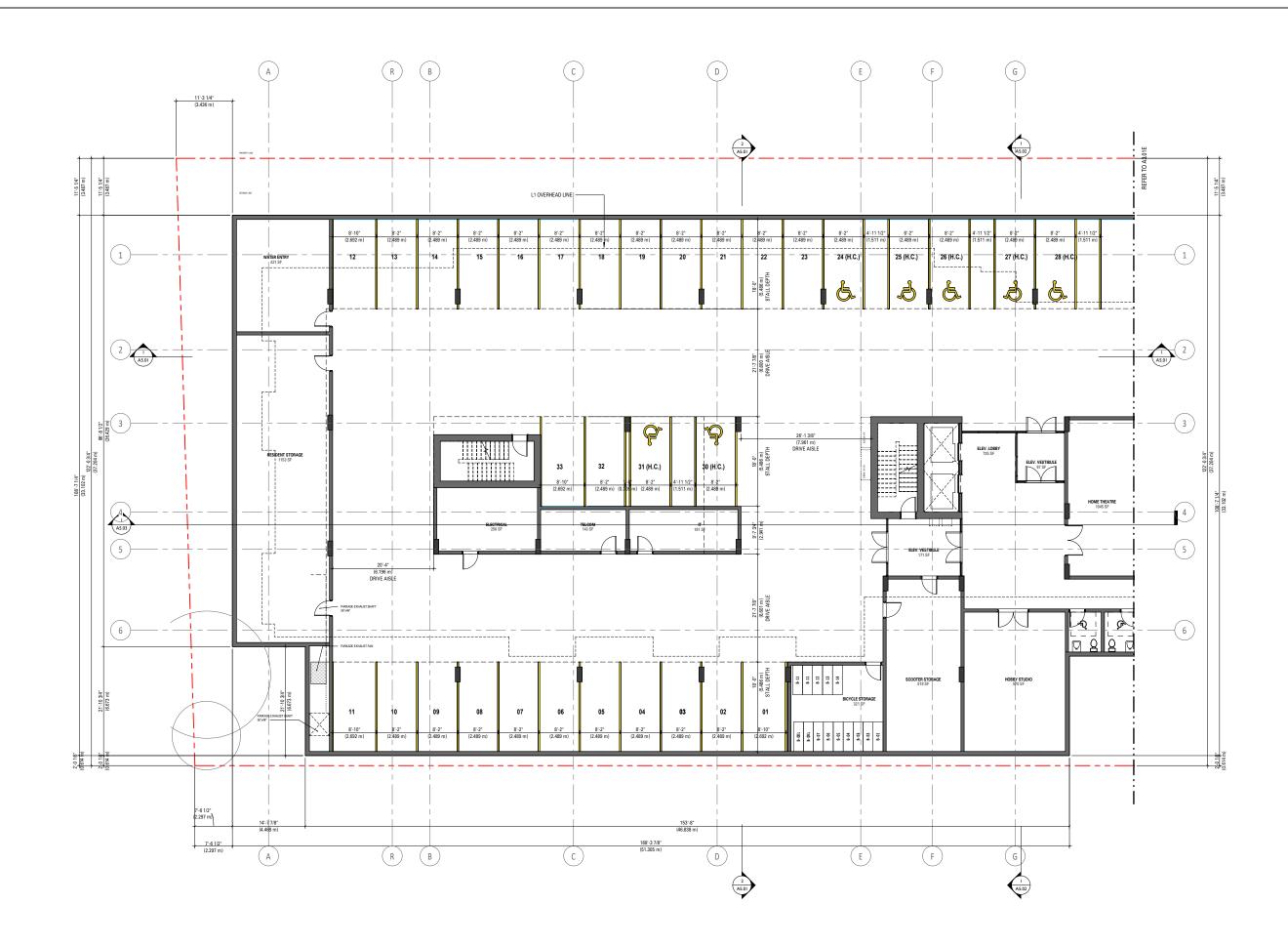
1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL P1- PLAN EAST

1/8" = 1'-0"	1
Scale	Issue/Revision
Plot Date 2023-04-14	Issue Date 23-04-14
Project Number 2 <b>201</b>	
Reviewed by	Approver
Drawn By	Author







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No.	Date	Revision Notes
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

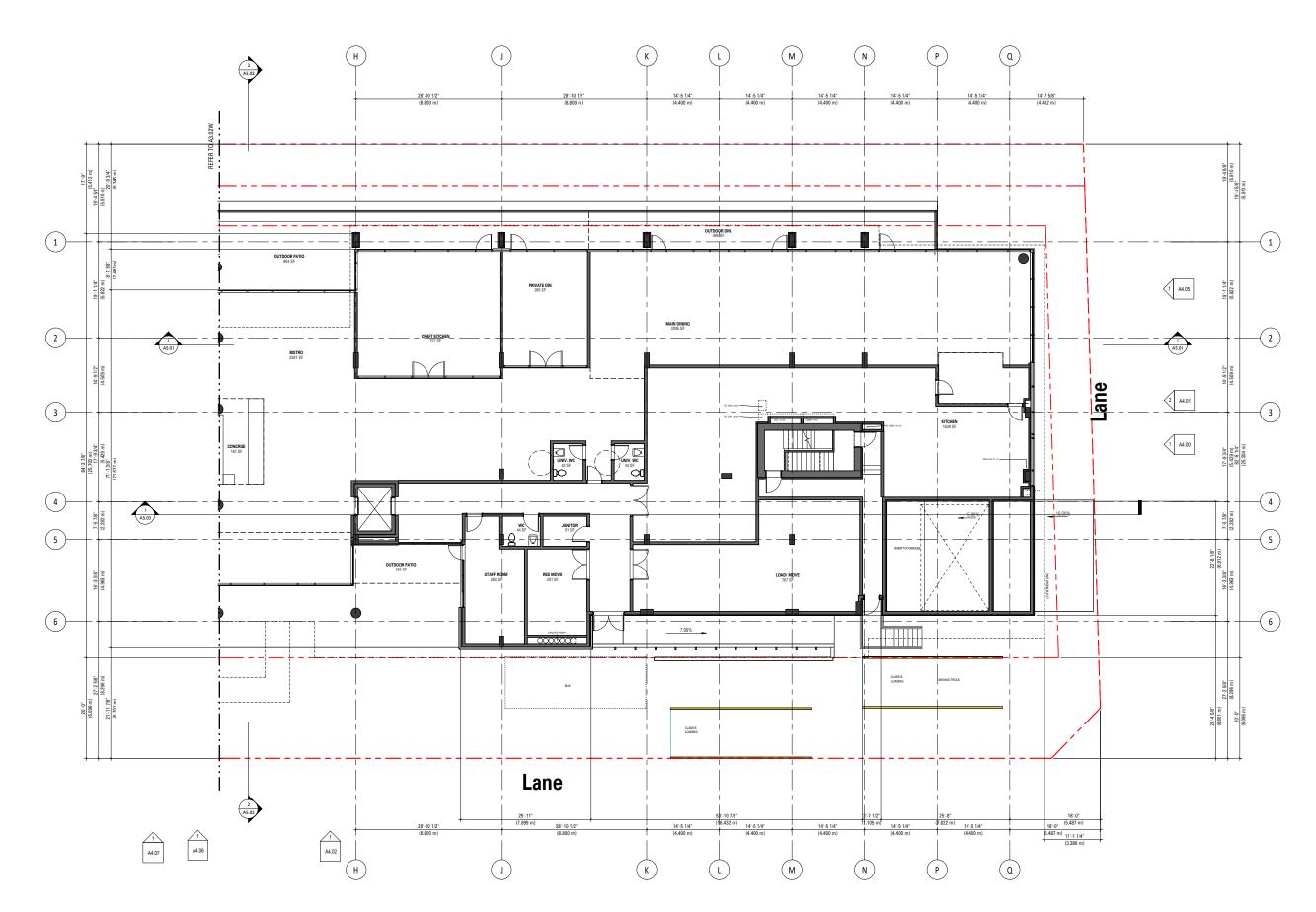
1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL P1- PLAN WEST

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1/8" = 1'-0" Sheet Number

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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

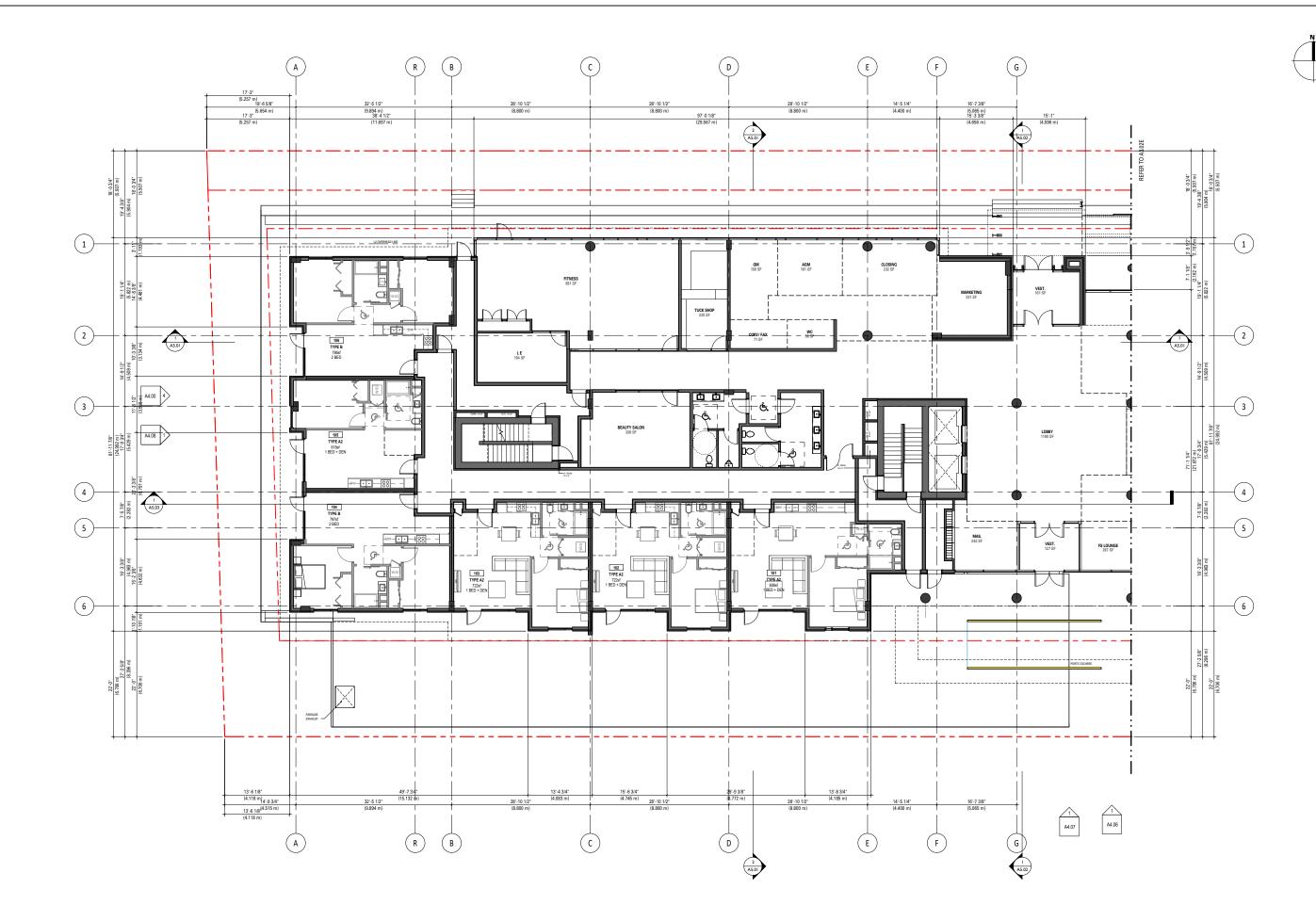
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Sheet Title LEVEL 1- PLAN EAST

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1/8" = 1'-0"	1
Scale	Issue/Revision
2023-04-14	23-04-14
Plot Date	Issue Date
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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



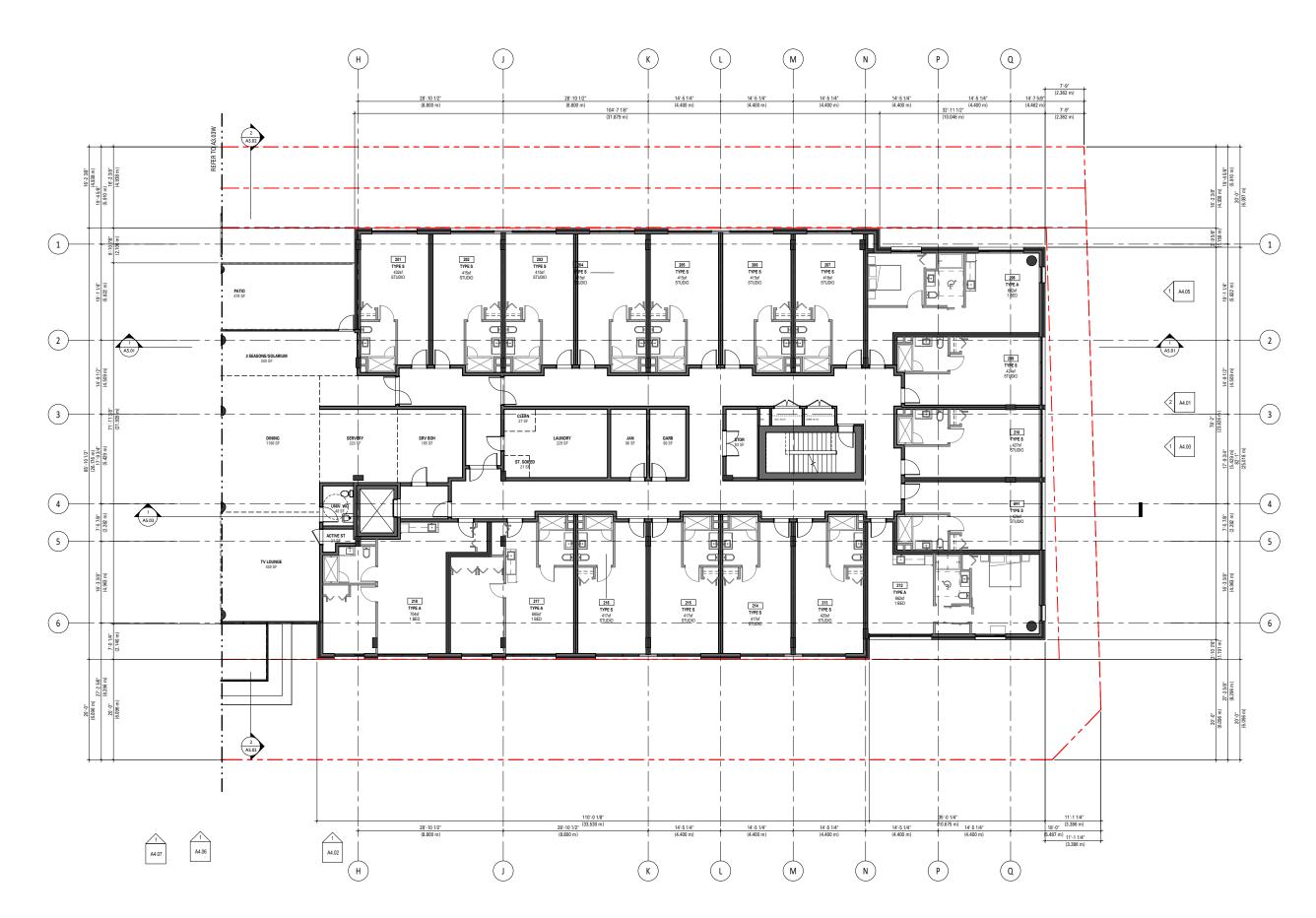
Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL 1-PLAN WEST

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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

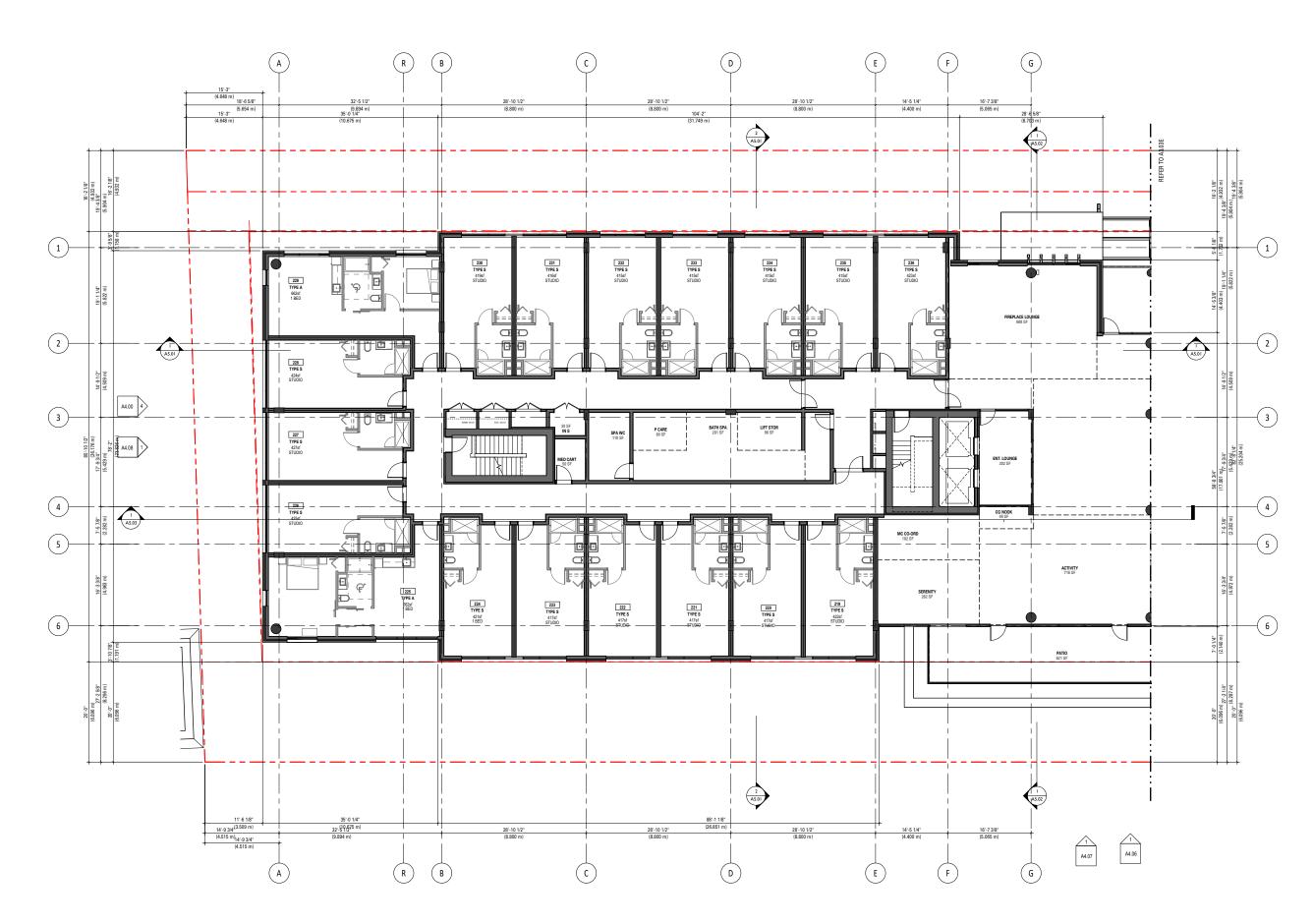
1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL 2 - PLAN EAST

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2023-04-14	23-04-14	
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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

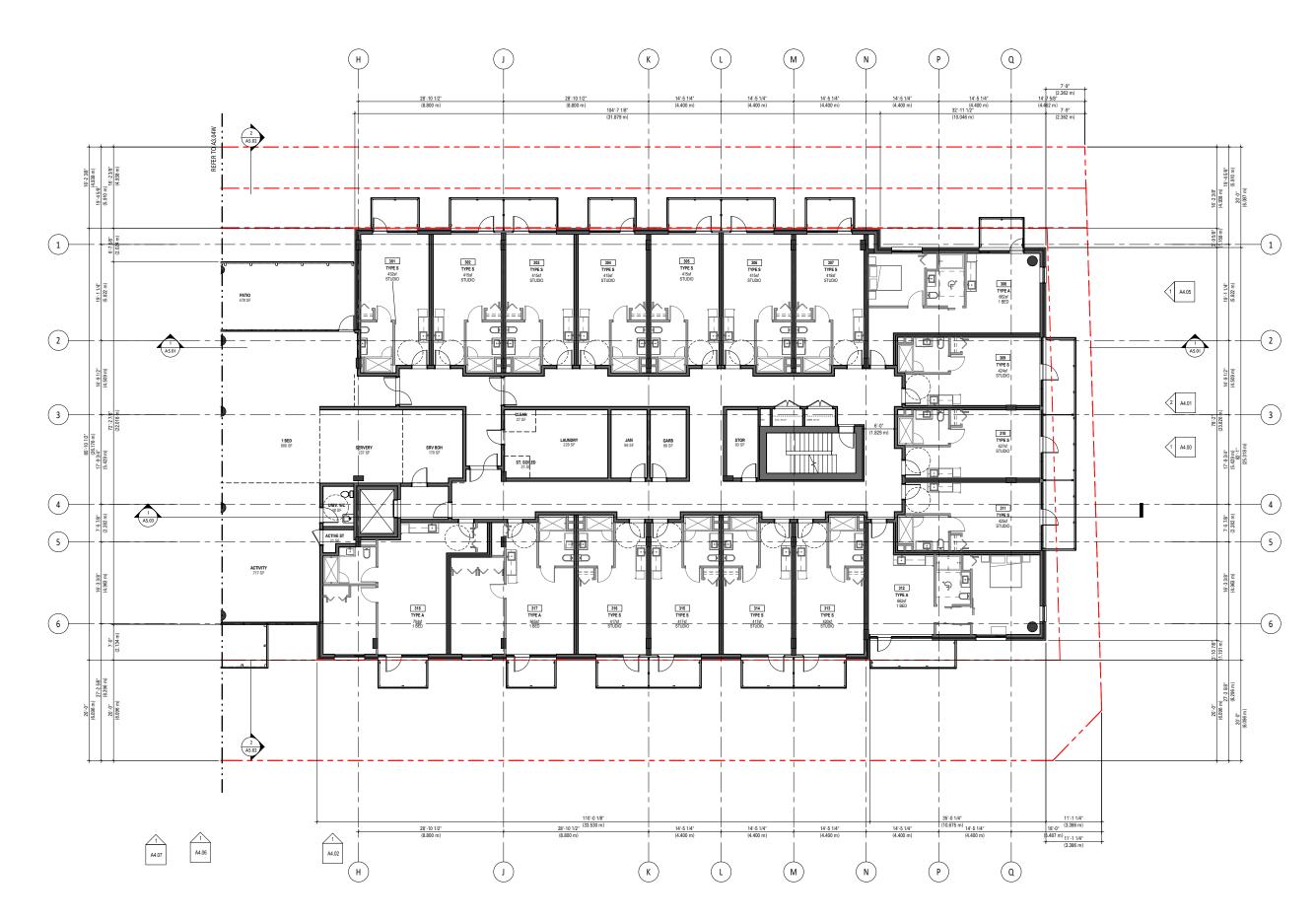
1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL 2-PLAN WEST

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# Project Title AMICA WEST 41st

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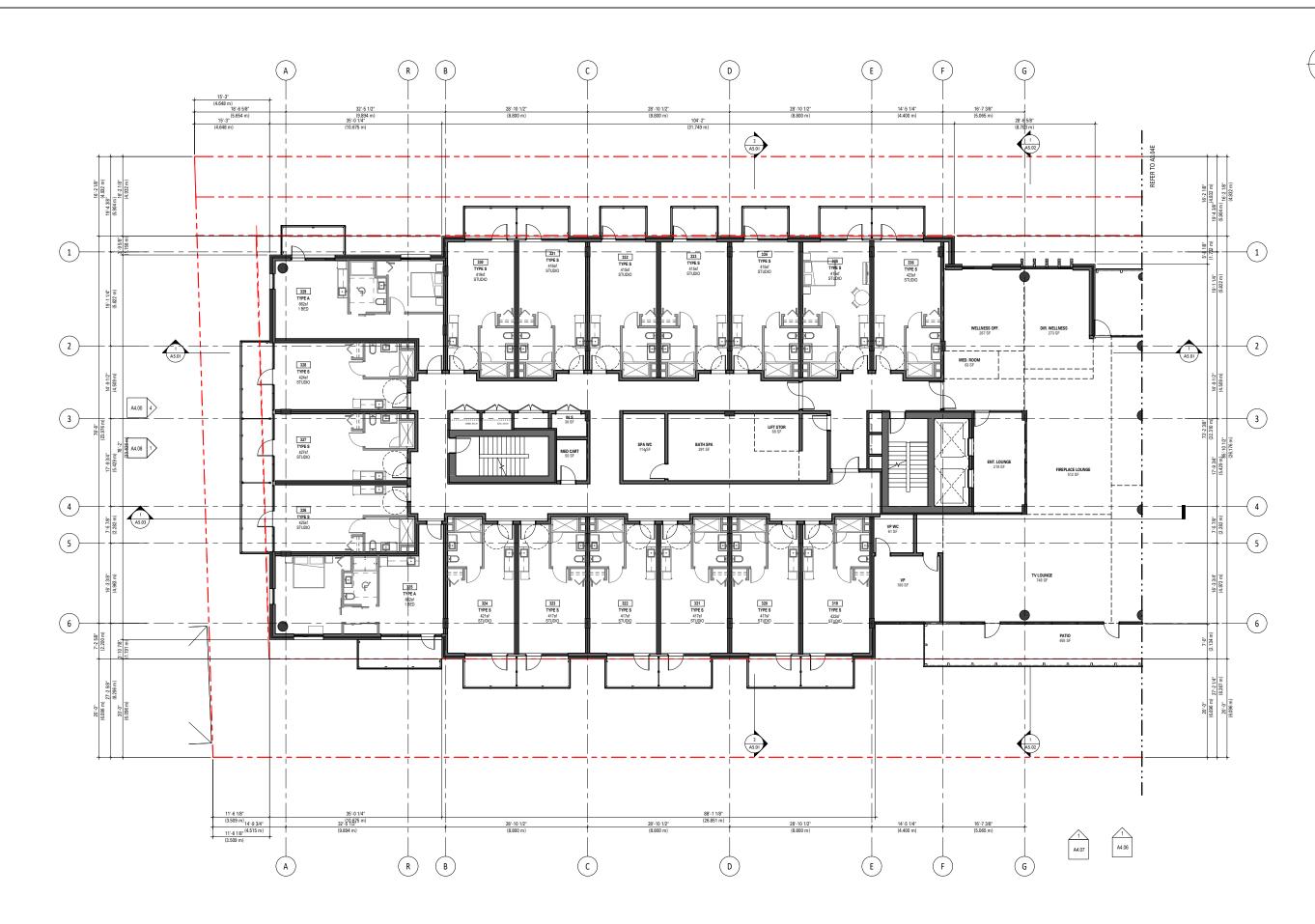
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Sheet Title LEVEL 3-PLAN EAST

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Sheet Number	
1/8" = 1'-0"	1
Scale	Issue/Revision
2023-04-14	23-04-14
Plot Date	Issue Date
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Drawn By	Author



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No.	Date	Revision Notes
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No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

#### Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



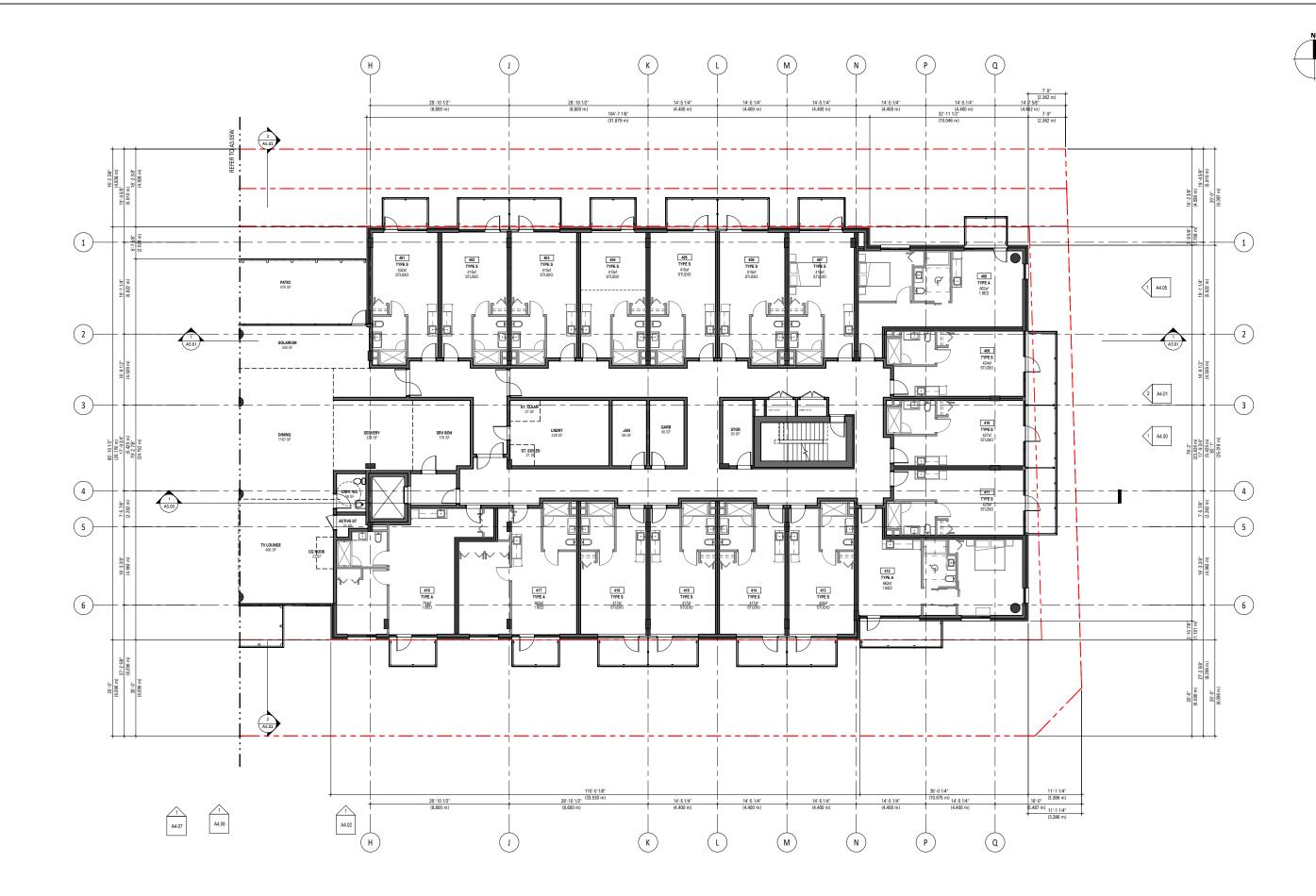
Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL 3-PLAN WEST

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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



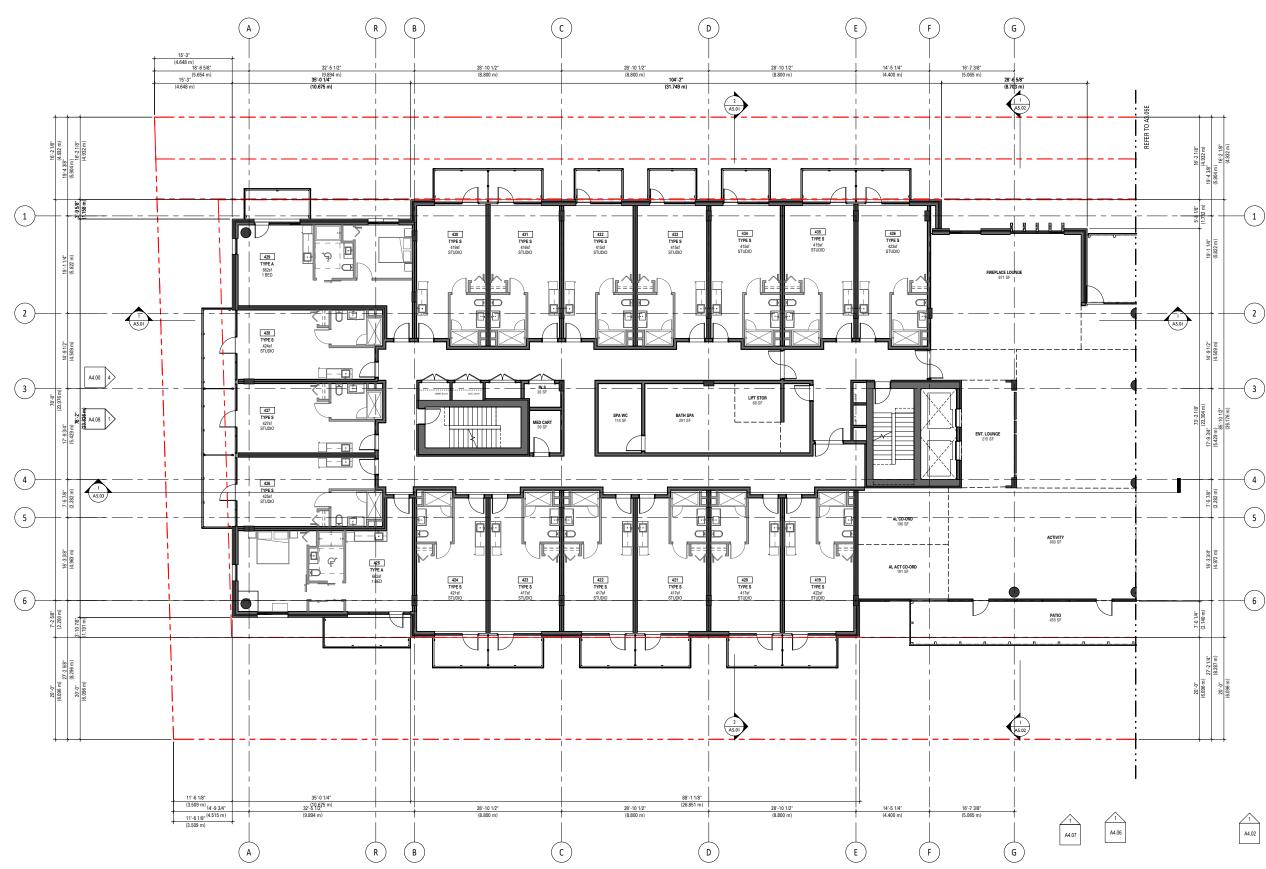
Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

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Drawn By	Author	







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#### Project Title AMICA WEST 41st

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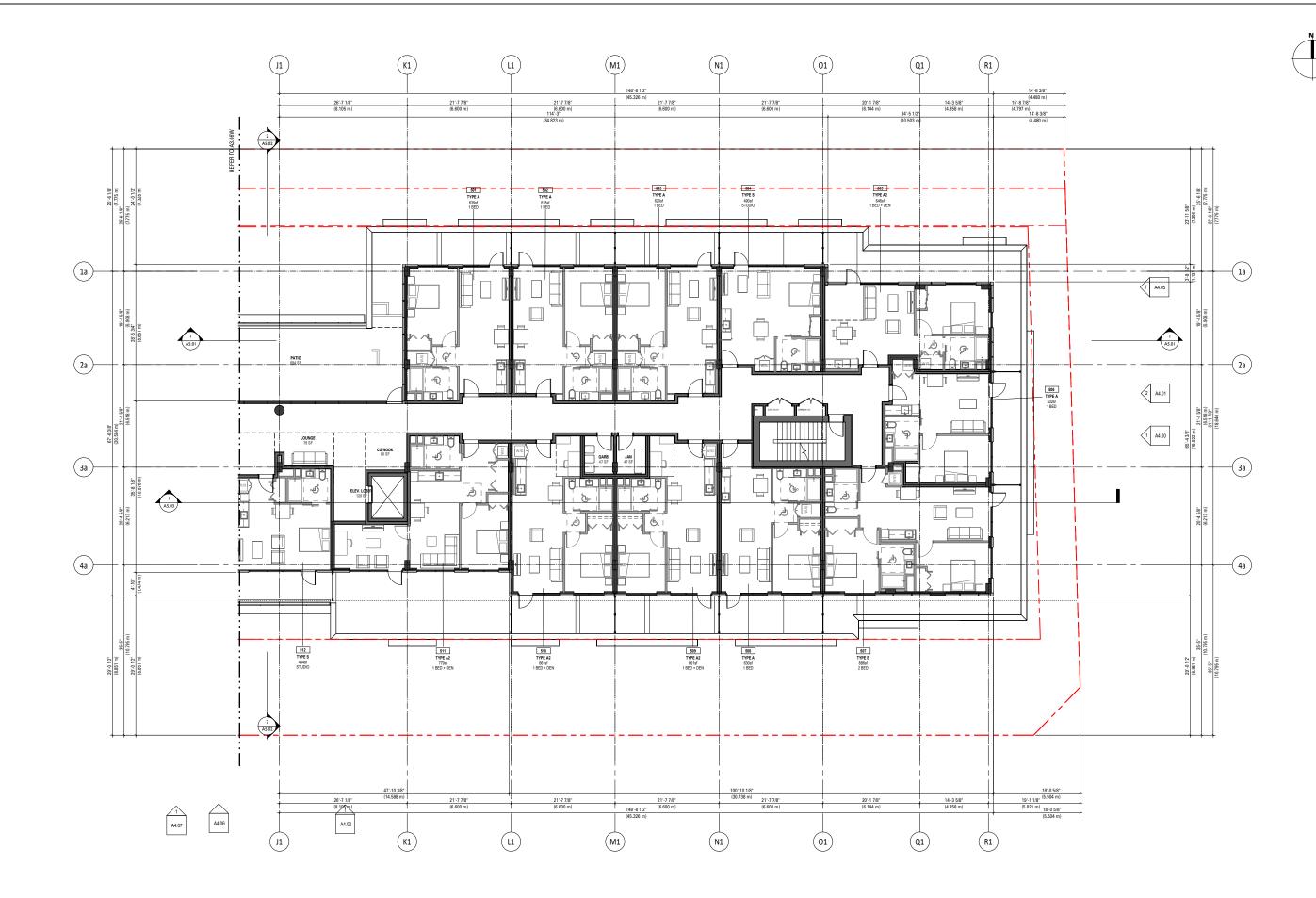


Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL 4-PLAN WEST

Sheet Number	3.05 W
1/8" = 1'-0"	1
Scale	Issue/Revision
2023-04-14	23-04-14
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Drawn By	Author





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#### Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



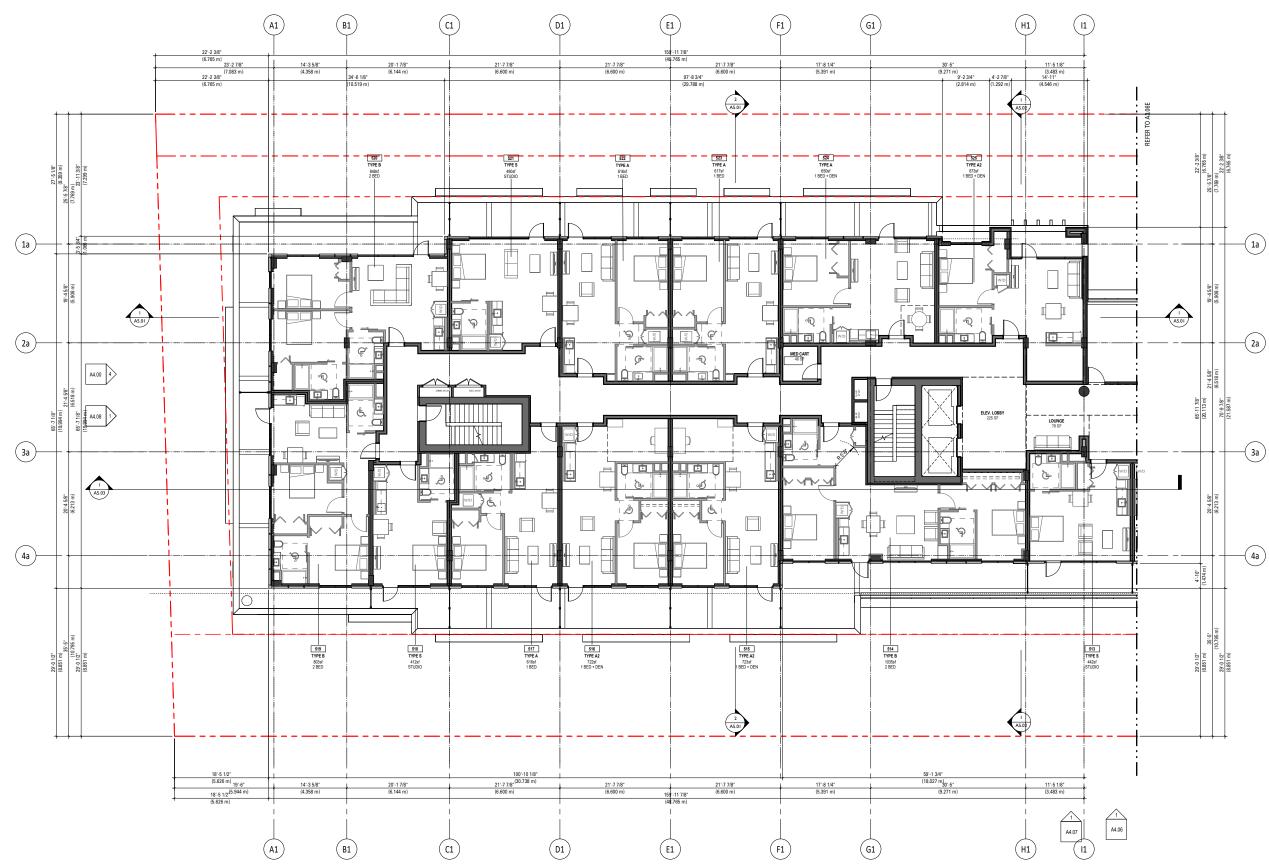
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Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title

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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



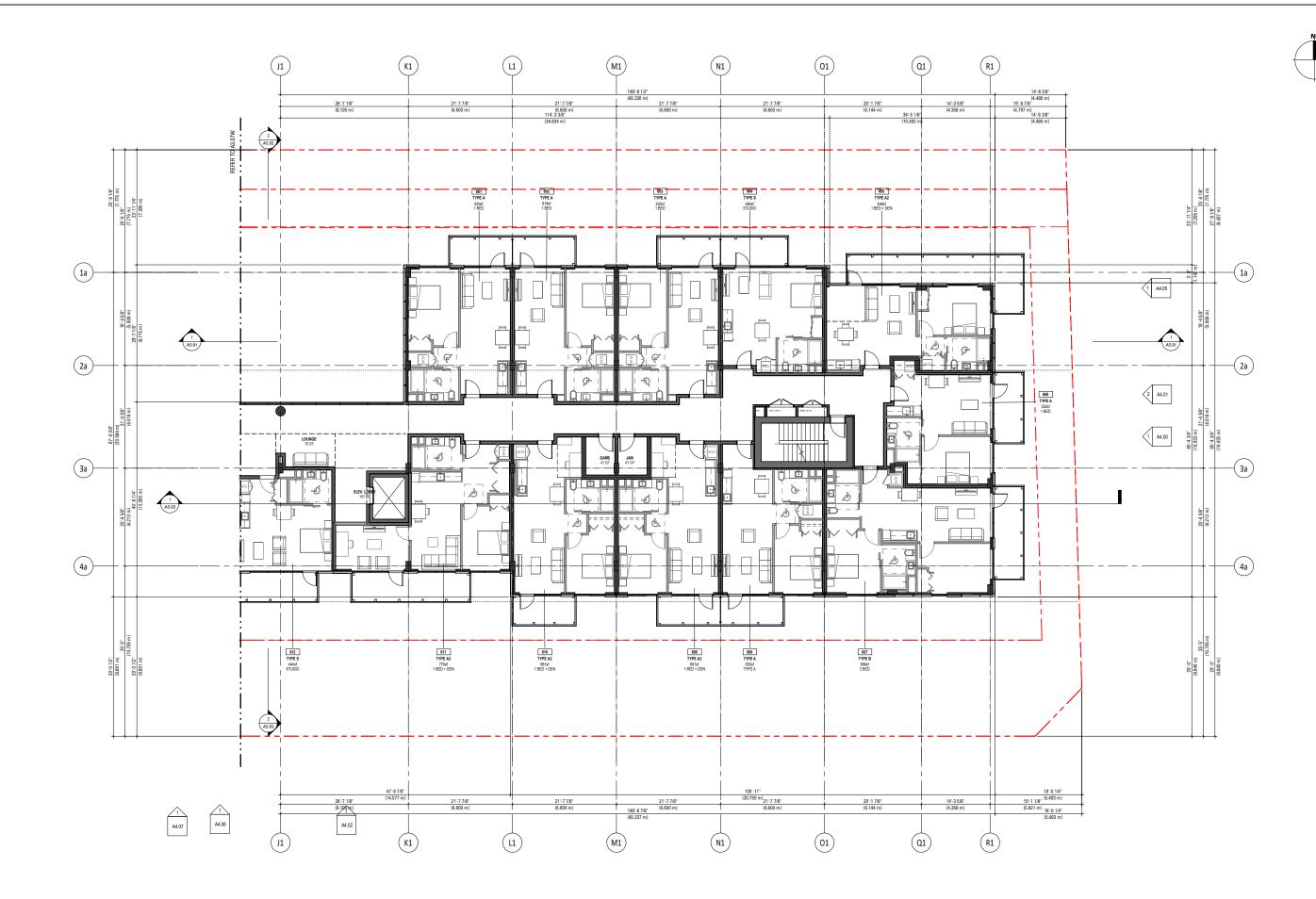
Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL 5-PLAN WEST

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Scale	Issue/Revision
2023-04-14	23-04-14
Plot Date	Issue Date
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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



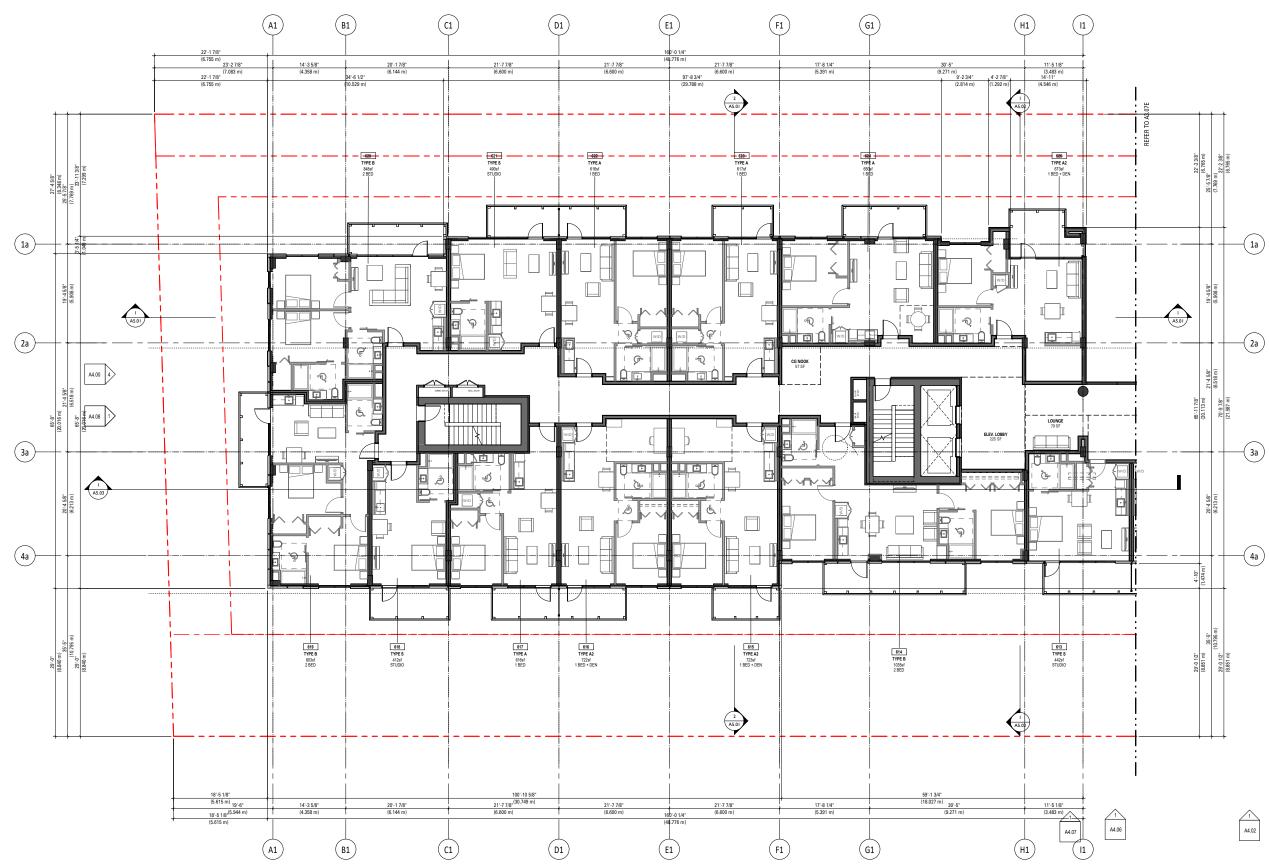
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Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

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2023-04-14	23-04-14	
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#### Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



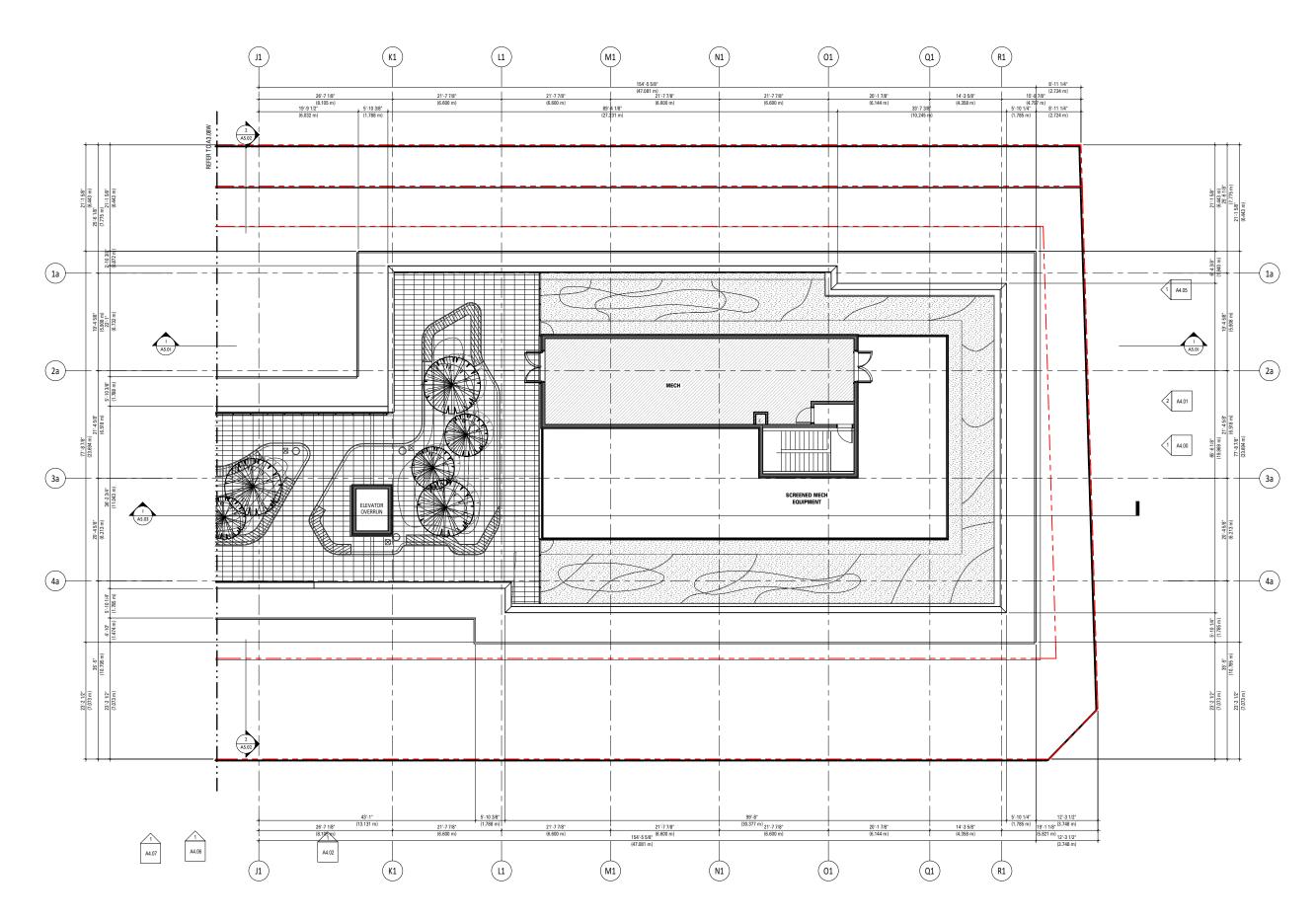
Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL 6-PLAN WEST

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Sheet Number	
1/8" = 1'-0"	1
Scale	Issue/Revision
2023-04-14	23-04-14
Plot Date	Issue Date
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Project Number	
Reviewed by	Approver
Drawn By	Author

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200,1000 West 3rd Street North Vancouver, BC V7P 3J6 North Vancouver T 604.988.7501

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# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



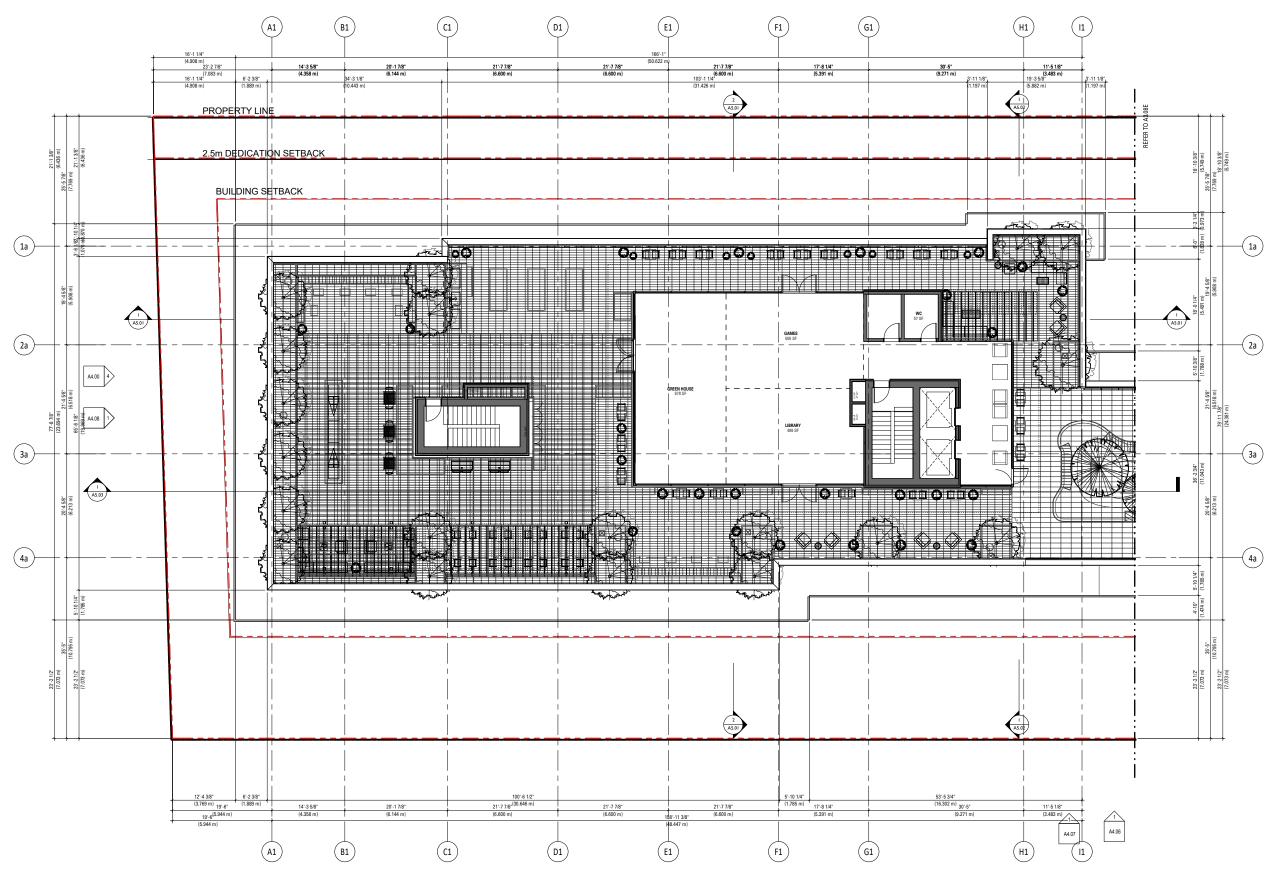
# Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL ROOF-PLAN EAST

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No.	Date	Revision Notes

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#### Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



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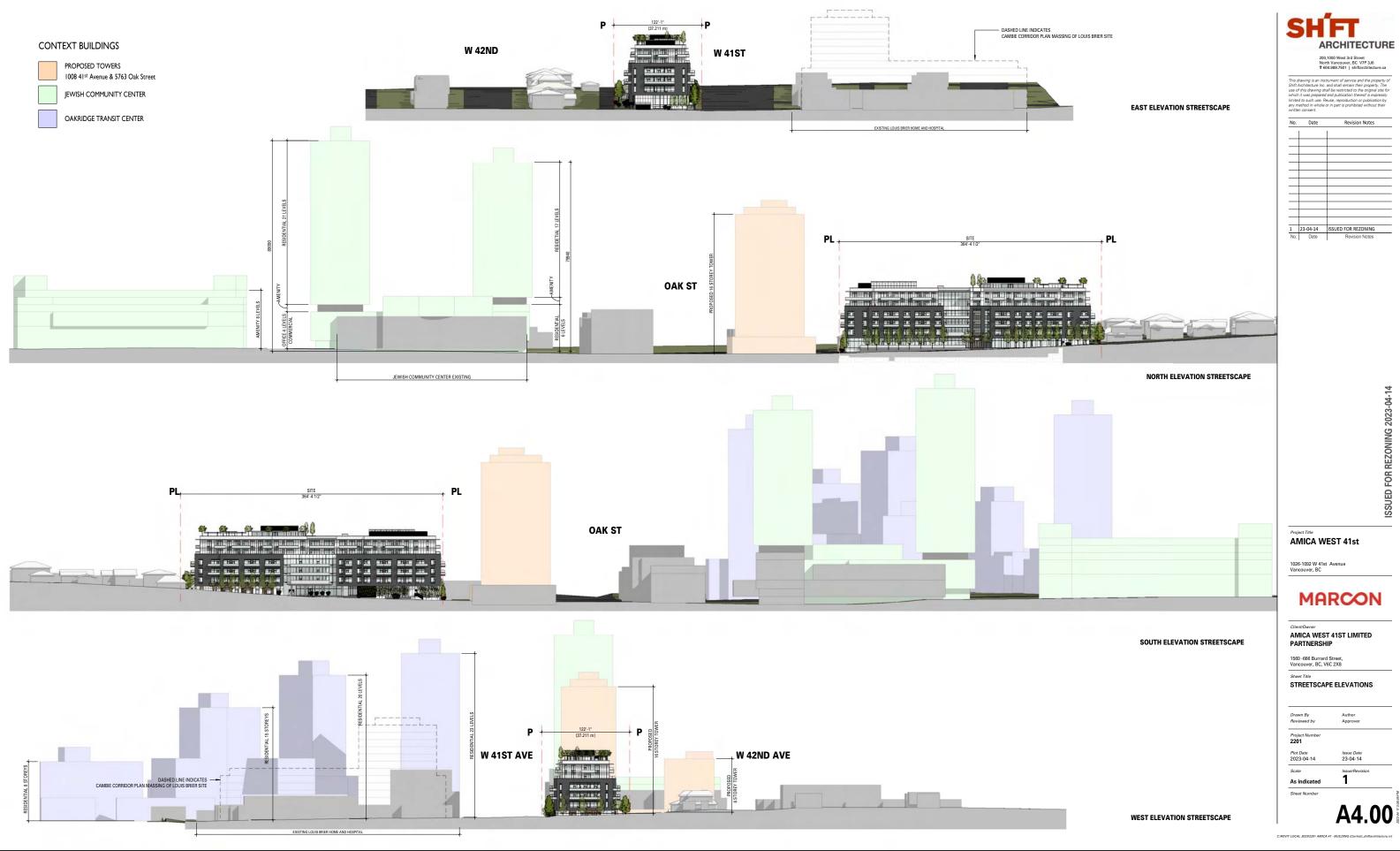
1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title LEVEL ROOF-PLAN WEST

Drawn By Reviewed by Author Approver Project Numbe Plot Date 2023-04-14 Issue Date 23-04-14 Scale Issue/Revisi 1/8" = 1'-0" Sheet Number

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No.	Date	Revision Notes
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No.	Date	Revision Notes

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Drawn By Reviewed by	Author Approver	
Project Number 2201		





117.68 m 386'-1 1/8"

LEVEL 5 110.06 m 361'-1 1/8" •

EEVEL 4 105.95 m 347-7 1/8"♥ (GEODETIC)

	Materials Legend
Tag	Material
CL-01	Composite Stone Tile Zenith
CL-02	Composite Wood Veneer Paneling Copper
CL-03	Cementitious Paneling To Match Benjamin Moore Sebring White OC-137
CL-04	Powder Coated Aluminum Louvers Powder Coating - White
DW-01	Window Wall System - Frame Powder Coating - Charcoal
DW-02	Window Wall System - Glass & Metal Spandrel Panels To Match Benjamin Moore Iron Mountain 2134-30
DW-03	Window Wall/Curtain Wall System - Frame Powder Coating - White
DW-04	Window Wall System - Glass & Metal Spandrel Panels To match Benjamin Moore Sebring White OC-137
DW-05	Window Wall System - Metal Spandrel Panels White
DW-06	Glass - Clear -Low "E"
MA-01	Manganese Ironspot Smooth Norman Brick with Polyblend Charcoal #60 Grout
MA-02	Precast Colored Concrete Lintel, Sill & Cap To Match Manganese Ironspot Smooth Brick
MM-01	Painted or Powder Coated Steel or Aluminum Paint or Powder Coating - Charcoal
MM-02	Privacy/ Security Gate Powder Coating Standard White
MM-03	Prefinished Metal Flashing To Match Benjamine Moore OC-26 Silver Satin
PS-01	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Standard White
PS-02	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Charcoal
RG-01	Guardrail Powder Coating - Charcoal
RG-02	Handrail Powder Coating Standard White
WC-01	Glulam Beams & Columns To Match Copper Finish

SHFT ARCHITECTURE

200,1000 West 3rd Street North Vancouver, BC V7P 3J6 T 604.988.7501 | shiftarchitectu

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No.	Date	Revision Notes
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

#### Proiect Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner

AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title ELEVATIONS

Sneet Number	A4.01
Sheet Number	
1/16" = 1'-0"	1
Scale	Issue/Revision
2023-04-14	23-04-14
Plot Date	Issue Date
Project Number 2201	
Reviewed by	Approver
Drawn By	Author
	-

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	Materials Legend
Tag	Material
CL-01	Composite Stone Tile Zenith
CL-02	Composite Wood Veneer Paneling Copper
CL-03	Cementitious Paneling To Match Benjamin Moore Sebring White OC-137
CL-04	Powder Coated Aluminum Louvers Powder Coating - White
DW-01	Window Wall System - Frame Powder Coating - Charcoal
DW-02	Window Wall System - Glass & Metal Spandrel Panels To Match Benjamin Moore Iron Mountain 2134-30
DW-03	Window Wall/Curtain Wall System - Frame Powder Coating - White
DW-04	Window Wall System - Glass & Metal Spandrel Panels To match Benjamin Moore Sebring White OC-137
DW-05	Window Wall System - Metal Spandrel Panels White
DW-06	Glass - Clear -Low "E"
MA-01	Manganese Ironspot Smooth Norman Brick with Polyblend Charcoal #60 Grout
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PS-01	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Standard White
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RG-01	Guardrail Powder Coating - Charcoal
RG-02	Handrail Powder Coating Standard White
WC-01	Glulam Beams & Columns To Match Cooper Finish

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No.	Date	Revision Notes
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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

ISSUED FOR REZONING 2023-04-14

#### Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner

AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title

1/16" = 1'-0" Sheet Number	1
Scale	Issue/Revision
2023-04-14	23-04-14
Plot Date	Issue Date
Project Number 2201	
Reviewed by	Approver
Drawn By Rouiowod by	Author

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No.	Date	Revision Notes
	1	1
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

	Materials Legend
Tag	Material
CL-01	Composite Stone Tile Zenith
CL-02	Composite Wood Veneer Paneling Copper
CL-03	Cementitious Paneling To Match Benjamin Moore Sebring White OC-137
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DW-05	Window Wall System - Metal Spandrel Panels White
DW-06	Glass - Clear -Low "E"
MA-01	Manganese Ironspot Smooth Norman Brick with Polyblend Charcoal #60 Grout
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MM-01	Painted or Powder Coated Steel or Aluminum Paint or Powder Coating - Charcoal
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MM-03	Prefinished Metal Flashing To Match Benjamine Moore OC-26 Silver Satin
PS-01	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Standard White
PS-02	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Charcoal
RG-01	Guardrail Powder Coating - Charcoal
RG-02	Handrail Powder Coating Standard White
WC-01	Glulam Beams & Columns To Match Copper Finish

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title NORTH ELEVATION - EAST

Drawn By	Author
Reviewed by	Approver
Project Number 2201	
Plot Date	Issue Date
2023-04-14	23-04-14
Scale	Issue/Revision
1/8" = 1'-0"	1
Sheet Number	





1 NORTH ELEVATION - WEST HALF 1/8" = 1'-0"

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No.	Date	Revision Notes
	1	1
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

# 120.93 m ELEV ROOF 396'-9" (GEODETIC)

	Tag	Material
	CL-01	Composite Sto Zenith
68 m 386'-1 1/8"	CL-02	Composite Wo
(,	CL-03	Cementitious I To Match Benja
	CL-04	Powder Coater Powder Coatin
	DW-01	Window Wall Powder Coatin
72 m 373'-1 1/8" (GEODETIC)	DW-02	Window Wall S To Match Benja
	DW-03	Window Wall/ Powder Coatin
	DW-04	Window Wall S To match Benja
LEVEL 5	DW-05	Window Walls White
06 m 361'-1 1/8" (GEODETIC)	DW-06	Glass - Clear -L
	MA-01	Manganese Iro
	MA-02	Precast Colore To Match Man
LEVEL 4	MM-01	Painted or Pov
(GEODETIC)	MM-02	Privacy/ Secur Powder Coatin
	MM-03	Prefinished Me To Match Benji
	PS-01	Privacy Screen
		Powder Coatin
LEVEL 3 29 m 335'-7 1/8" •	PS-02	Privacy Screen Powder Coatin
(GEODETIC)	RG-01	Guardrail
		Powder Coatin
	RG-02	Handrail Powder Coatin

	Materials Legend
Tag	Material
CL-01	Composite Stone Tile Zenith
CL-02	Composite Wood Veneer Paneling Copper
CL-03	Cementitious Paneling To Match Benjamin Moore Sebring White OC-137
CL-04	Powder Coated Aluminum Louvers Powder Coating - White
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DW-06	Glass - Clear -Low "E"
MA-01	Manganese Ironspot Smooth Norman Brick with Polyblend Charcoal #60 Grout
MA-02	Precast Colored Concrete Lintel, Sill & Cap To Match Manganese Ironspot Smooth Brick
MM-01	Painted or Powder Coated Steel or Aluminum Paint or Powder Coating - Charcoal
MM-02	Privacy/ Security Gate Powder Coating Standard White
MM-03	Prefinished Metal Flashing To Match Benjamine Moore OC-26 Silver Satin
PS-01	Privacy Screen Aluminum c/w Frosted Glass
PS-02	Powder Coating - Standard White Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Charcoal
RG-01	Guardrail Powder Coating - Charcoal Powder Coating - Charcoal
RG-02	Handrail Powder Coating Standard White
WC-01	rowaci coucilg statuaru winte

98.63 m

93.55 m306'-111/8" (GEODETIC)

# **ISSUED FOR REZONING 2023-04-14**

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title NORTH ELEVATION - WEST

1/8" = 1'-0"	1
Scale	Issue/Revision
Plot Date 2023-04-14	Issue Date 23-04-14
Project Number 2201	
Reviewed by	Approver
Drawn By	Author



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200,1000 West 3rd Street North Vancouver, BC V7P 3J6 T 604.988.7501   shiftarchitecture.ci		
Shift A use of which limited any m	Architecture Inc. f this drawing shi it was prepared d to such use. Re	rument of service and the property of and shall remain their property. The all be restricted to the original site for and publication thereof is expressly euse, reproduction or publication by rr in part is prohibited without their
No.	Date	Revision Notes

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 23-04-14
 ISSUED FOR REZONING

 No.
 Date
 Revision Notes

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	Materials Legend
Tag	Material
-01	Composite Stone Tile Zenith
-02	Composite Wood Veneer Paneling Copper
-03	Cementitious Paneling To Match Benjamin Moore Sebring White OC-137
-04	Powder Coated Aluminum Louvers Powder Coating - White
-01	Window Wall System - Frame Powder Coating - Charcoal
-02	Window Wall System - Glass & Metal Spandrel Panels To Match Benjamin Moore Iron Mountain 2134-30
-03	Window Wall/Curtain Wall System - Frame Powder Coating - White
-04	Window Wall System - Glass & Metal Spandrel Panels To match Benjamin Moore Sebring White OC-137
05	Window Wall System - Metal Spandrel Panels White
-06	Glass - Clear -Low "E"
-01	Manganese Ironspot Smooth Norman Brick with Polyblend Charcoal #60 Grout
02	Precast Colored Concrete Lintel, Sill & Cap
1-01	To Match Manganese Ironspot Smooth Brick Painted or Powder Coated Steel or Aluminum
1-02	Paint or Powder Coating - Charcoal Privacy/ Security Gate
	Powder Coating Standard White
1-03	Prefinished Metal Flashing To Match Benjamine Moore OC-26 Silver Satin
-01	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Standard White
-02	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Charcoal
01	Guardrail Powder Coating - Charcoal
-02	Handrail Powder Coating Standard White
	rowaer course standard white

# **ISSUED FOR REZONING 2023-04-14**

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title EAST ELEVATION

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Sheet Number		55 P.M
1/8" = 1'-0"	1	
Scale	Issue/Revision	
2023-04-14	23-04-14	
Plot Date	Issue Date	
Project Number 2201		
Reviewed by	Approver	
Drawn By	Author	



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	ARCHITECTURE
	200,1000 West 3rd Street

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No.	Date	Revision Notes
	1	1
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

#### Materials Legend

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Tag	Material
CL-01	Composite Stone Tile
CL-02	Composite Wood Veneer Paneling Copper
CL-03	Cementitious Paneling To Match Benjamin Moore Sebring White OC-137
CL-04	Powder Coated Aluminum Louvers Powder Coating - White
DW-01	Window Wall System - Frame Powder Coating - Charcoal
DW-02	Window Wall System - Glass & Metal Spandrel Panels To Match Benjamin Moore Iron Mountain 2134-30
DW-03	Window Wall/Curtain Wall System - Frame Powder Coating - White
DW-04	Window Wall System - Glass & Metal Spandrel Panels To match Benjamin Moore Sebring White OC-137
DW-05	Window Wall System - Metal Spandrel Panels
DW-06	Glass - Clear -Low "E"
MA-01	Manganese Ironspot Smooth Norman Brick with Polyblend Charcoal #60 Grout
MA-02	Precast Colored Concrete Lintel, Sill & Cap To Match Manganese Ironspot Smooth Brick
MM-01	Painted or Powder Coated Steel or Aluminum Paint or Powder Coating - Charcoal
MM-02	Privacy/ Security Gate Powder Coating Standard White
MM-03	Prefinished Metal Flashing To Match Benjamine Moore OC-26 Silver Satin
PS-01	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Standard White
PS-02	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Charcoal
RG-01	Guardrail Powder Coating - Charcoal
RG-02	Handrail Powder Coating Standard White
WC-01	Glulam Beams & Columns To Match Copper Finish

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title SOUTH ELEVATION - EAST

1/8" = 1'-0"	1
Scale	Issue/Revision
Plot Date 2023-04-14	Issue Date 23-04-14
Project Number 2201	
Reviewed by	Approver
Drawn By	Author

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# SHFT ARCHITECTURE

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No.	Date	Revision Notes
	1	1
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

# REFER TO A4.06

#### Materials Legend

Tag

CL-01	Composite Stone Tile	
	Zenith	
CL-02	Composite Wood Veneer Paneling	
	Copper	
CL-03	Cementitious Paneling	
	To Match Benjamin Moore Sebring White OC-137	
CL-04	Powder Coated Aluminum Louvers	
	Powder Coating - White	
DW-01	Window Wall System - Frame	
	Powder Coating - Charcoal	
DW-02	Window Wall System - Glass & Metal Spandrel Panels	
011 02	To Match Benjamin Moore Iron Mountain 2134-30	
DW-03	Window Wall/Curtain Wall System - Frame	
000-03	Powder Coating - White	
DW-04	Window Wall System - Glass & Metal Spandrel Panels	
DW-04	To match Benjamin Moore Sebring White OC-137	
DW-05		
070-05	Window Wall System - Metal Spandrel Panels White	
DW-06	Glass - Clear -Low "E"	
MA-01	Manganese Ironspot Smooth Norman Brick with Polyblend Charcoal #60 Grout	
MA-02	Precast Colored Concrete Lintel, Sill & Cap To Match Manganese Ironspot Smooth Brick	
MM-01	Painted or Powder Coated Steel or Aluminum Paint or Powder Coating - Charcoal	
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MM-02	Privacy/ Security Gate Powder Coating Standard White	
	-	
MM-03	Prefinished Metal Flashing To Match Benjamine Moore OC-26 Silver Satin	
PS-01	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Standard White	
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PS-02	Privacy Screen Aluminum c/w Frosted Glass Powder Coating - Charcoal	
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RG-01	Guardrail Rewder Cesting Charceal	
	Powder Coating - Charcoal	
RG-01 RG-02	Powder Coating - Charcoal Handrail	
RG-02	Powder Coating - Charcoal Handrail Powder Coating Standard White	
	Powder Coating - Charcoal Handrail	

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



# Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title SOUTH ELEVATION - WEST

Drawn By	Author	
Reviewed by	Approver	
Project Number		
2201		
Plot Date	Issue Date	
2023-04-14	23-04-14	

Scale

Issue/Revision 1/8" = 1'-0"

Sheet Number



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West 3rd Street

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No.	Date	Revision Notes
	1	1
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

	Materials Legend
Tag	Material
CL-01	Composite Stone Tile Zenith
CL-02	Composite Wood Veneer Paneling
CL-03	Cementitious Paneling To Match Benjamin Moore Sebring White OC-137
CL-04	Powder Coated Aluminum Louvers Powder Coating - White
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RG-01	Guardrail Powder Coating - Charcoal
RG-02	Handrail Powder Coating Standard White
WC-01	Glulam Beams & Columns To Match Copper Finish

**ISSUED FOR REZONING 2023-04-14** 

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC

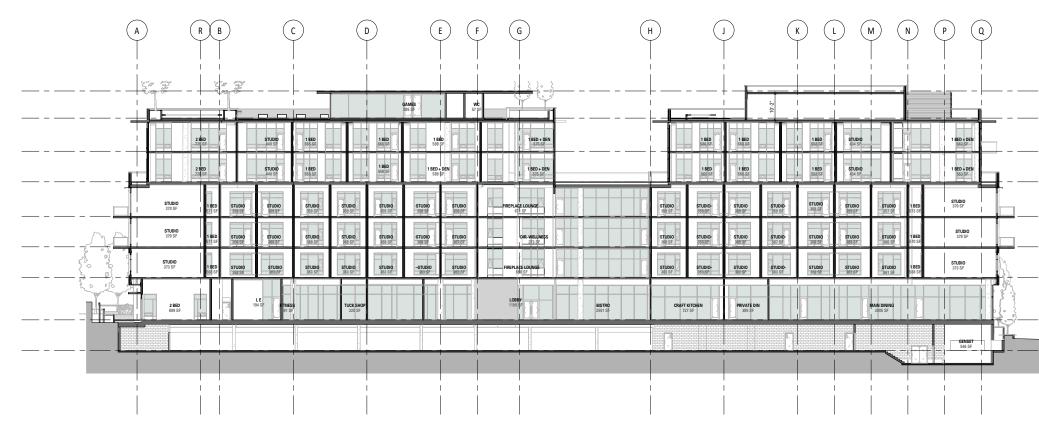


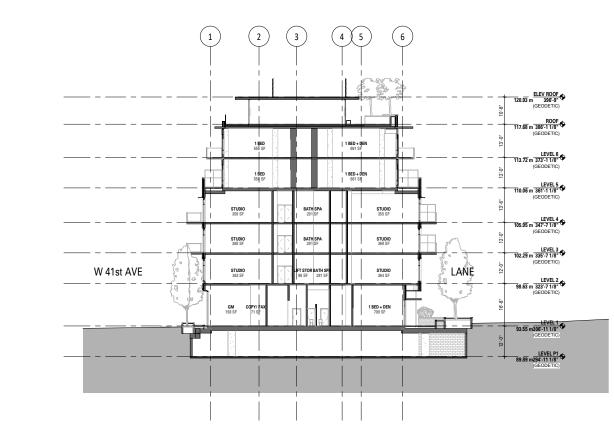
Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title WEST ELEVATION

Drawn By Reviewed by Author Approver Project Number 2201 Plot Date 2023-04-14 Issue Date 23-04-14 Scale Issue/Revision 1/8" = 1'-0" Sheet Number A4.08

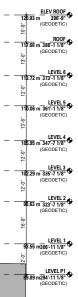
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**BUILDING SECTION 1** 1 1/16" = 1'-0"





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No.	Date	Revision Notes
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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

#### Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

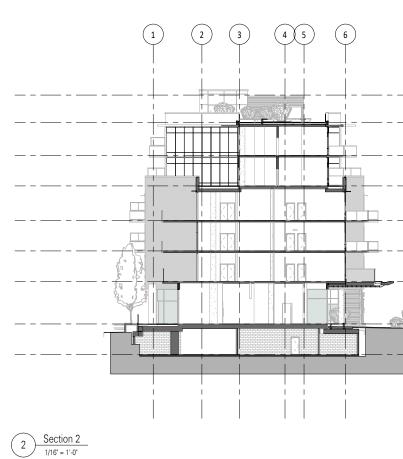
1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

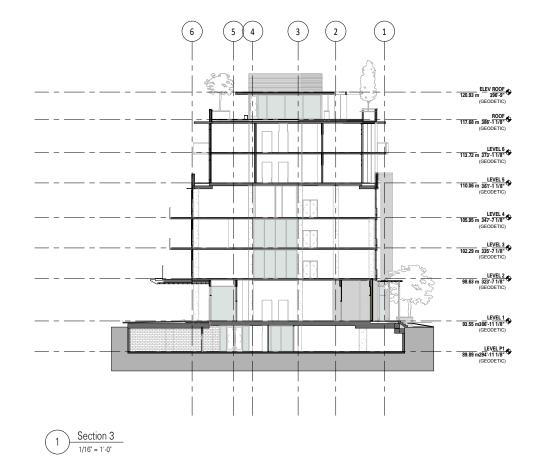
Sheet Title BUILDING SECTIONS

Drawn By	Author
Reviewed by	Approver
Project Number 2201	
Plot Date	Issue Date
2023-04-14	23-04-14
Scale	Issue/Revision

1/16" = 1'-0" Sheet Number







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No.	Date	Revision Notes
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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title
BUILDING SECTIONS

Drawn By	Author
Reviewed by	Approver
Project Number 2201	
Plot Date	Issue Date
2023-04-14	23-04-14
Scale	Issue/Revision

1/16" = 1'-0"

Sheet Number

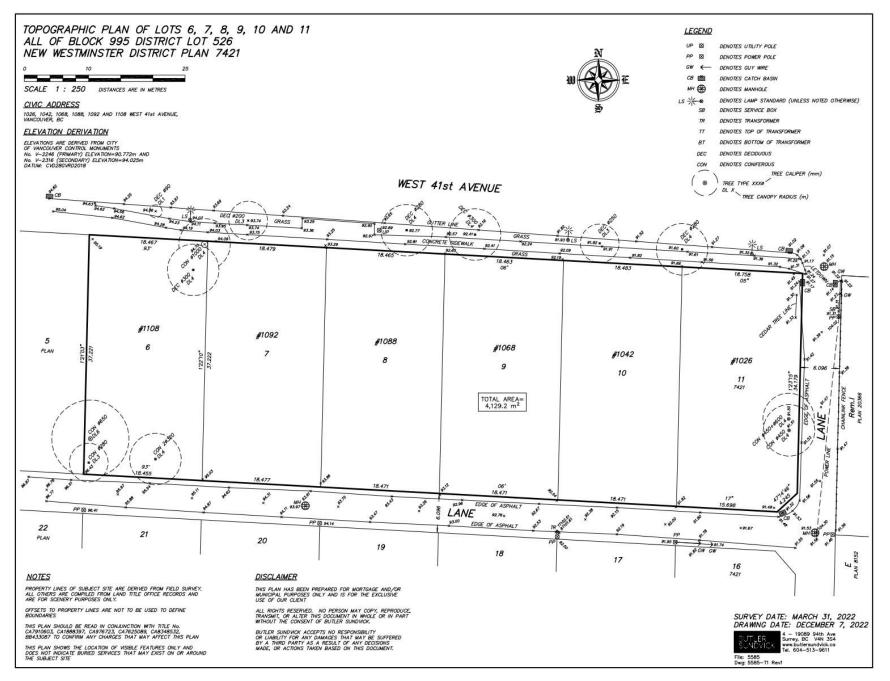


- ELEV ROOF 120.93 m 396'-9" (GEODETIC) 117.68 m 386'-1 1/8" (GEODETIC)
- LEVEL 6 113.72 m 373"-1 1/8" (GEODETIC)
- LEVEL 5 110.06 m 361'-1 1/8" (GEODETIC)
- LEVEL 4 105.95 m 347-7 1/8" (GEODETIC)
- 102.29 m 335'-7 1/8" (GEODETIC)
- 98.63 m 323'-7 1/8" (GEODETIC)

- LEVEL 1 93.55 m306'-11 1/8" (GEODETIC)

LEVEL P1 89.89 m294'-11 1/8" (GEODETIC)

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200,1000 West 3rd Street North Vancouver, BC V7P 3J6 T 604.988.7501 | shiftarchitectu

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No.	Date	Revision Notes
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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

**ISSUED FOR REZONING 2023-04-14** 

#### Proiect Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner

AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8

Sheet Title SURVEY

Drawn By Reviewed by Author Approver Project Numbe 2201

Plot Date 2023-04-14

Issue/Revision 1

Issue Date 23-04-14

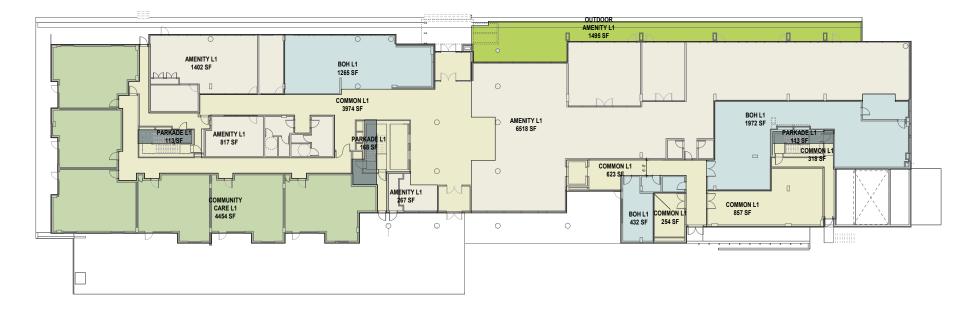
Sheet Number

Scale

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NOTE : THIS SURVEY IS FROM A THIRD PARTY AND PROVIDED FOR INFORMATION PURPOSES ONLY.



FSR OVERLAY - LEVEL 1 1/16" = 1'-0" 



FSR OVERLAY - LEVEL 2 1/16" = 1'-0" 2



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No.	Date	Revision Notes
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_	22.04.44	
1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title FSR OVERLAY L1-2

Drawn By	Author	
Reviewed by	Approver	
Project Number		
2201		
Plot Date	Issue Date	
2023-04-14	23-04-14	

Scale Issue/Rev 1/16" = 1'-0"



C:REVIT LOCAL 2023/2201 AMICA 41 - BUILD







FSR OVERLAY - LEVEL 4 1/16" = 1'-0" (2)



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No.	Date	Revision Notes
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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

## Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title FSR OVERLAY L3-4

Drawn By	Author	
Reviewed by	Approver	
Project Number		
2201		
Plot Date	Issue Date	
2023-04-14	23-04-14	

Scale Issue/Re 1/16" = 1'-0"

Sheet Number FSR 1.02

C:REVIT LOCAL 2023/2201 AMICA 41 - BUILDI







FSR OVERLAY - LEVEL 6 1/16" = 1'-0" 2



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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



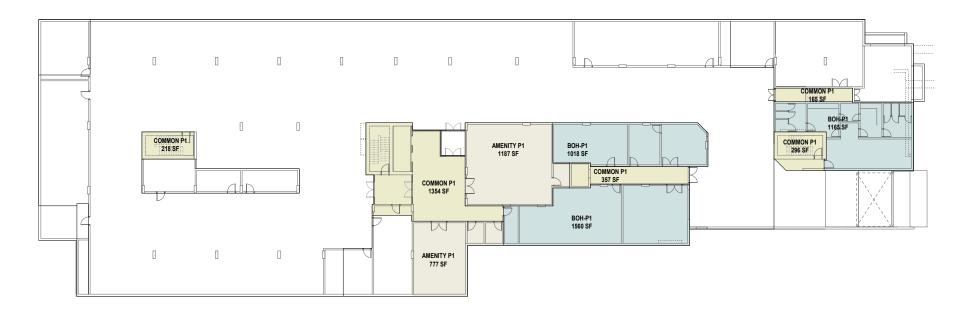
Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title FSR OVERLAY L5-6

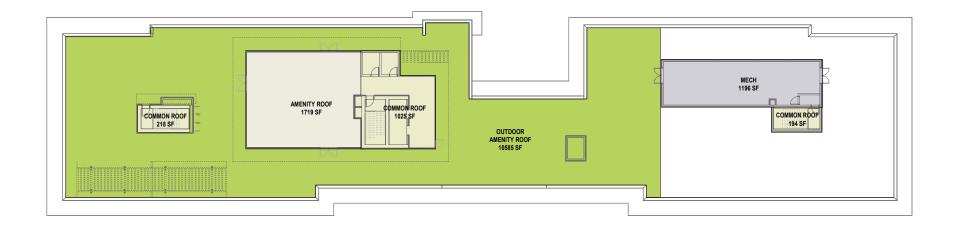
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Scale	Issue/Revision
2023-04-14	23-04-14
Plot Date	Issue Date
2201	
Project Number	
Reviewed by	Approver
Drawn By	Author



CIREVIT LOCAL 2023/2201 AMICA 41 - BUILDII



FSR OVERLAY - LEVEL P1 1/16" = 1'-0"  $\begin{pmatrix} 1 \end{pmatrix}$ 







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No.	Date	Revision Notes
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1	23-04-14	ISSUED FOR REZONING
No.	Date	Revision Notes

# Project Title AMICA WEST 41st

1026-1092 W 41st Avenue Vancouver, BC



Client/Owner AMICA WEST 41ST LIMITED PARTNERSHIP

1560 -666 Burrard Street, Vancouver, BC, V6C 2X8 Sheet Title FSR OVERLAY P1 AND ROOF

Drawn By Reviewed by Author Approver Project Number 2201 Plot Date 2023-04-14 Issue Date 23-04-14

Scale Issue/Revision 1/16" = 1'-0"

Sheet Number

FSR 1.04

C:REVIT LOCAL 2023/2201 AMICA 41 - BUILDIN

# Landscape Drawings

LO - L10



# AMICA WEST 41ST

Issued for Rezoning

#### AMICA WEST 41ST LIMITED PARTNERSHIP // OWNER MARCON DEVELOPMENTS LTD. // DEVELOPER

Adam Simkin asimkin@marcon.ca 604.530.5646

#### SHIFT ARCHITECTURE // ARCHITECT

Bahram Shokouhian bahram@shiftarchitecture.ca 604.988.7501

#### LOCI LANDSCAPE ARCHITECTURE + **URBAN DESIGN // LANDSCAPE ARCHITECT**

Mike Enns, BCSLA CSLA // Principal mike@locidesign.ca 604.763.2886

Jan Lee // Project Coordinator Jan@locidesign.ca 604.694.0053

#### LANDSCAPE DRAWING INDEX PERMIT

- Sheet No.Sheet NameL0COVER SHEET
- L1 GROUND LEVEL - LANDSCAPE PLAN
- L2 GROUND LEVEL - PRECEDENT IMAGES
- LEVEL 2 LANDSCAPE PLAN LEVEL 3 LANDSCAPE PLAN L3 L4
- LEVEL 4 LANDSCAPE PLAN L5
- L6 LEVEL 5 - LANDSCAPE PLAN
- L7 ROOF LEVEL - LANDSCAPE PLAN
- ROOF LEVEL PRECEDENT IMAGES SECTIONS L8
- L9 L10 SECTIONS
- SECTIONS + ELEVATIONS L11

		Issue			Project Stamp	Project Info
$\sim$	1738 KINGSWAY, VANCOUVER, BC V5N 2S3 www.locidesign.ca // 604.694.0053	No.	Description	Date		22086
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JL/CB ME



#### LANDSCAPE DESIGN RATIONALE: GROUND LEVEL

The landscape design for this project follows Amica's guidelines for retirement living. Specifically, the design aims to create a series of welcoming frontages and on-site social spaces that promote social interaction and healthy living for residents. The West 41st Avenue frontage is anchored by West Coast thematic gardens and layered plantings to create an active and inviting pedestrian edge. The front entry is framed with feature ornamental flowering trees, perennials and grasses, within raised stone-faced planters, public art, and augmented by feature paving that will function as a wayfinding tool for those entering from West 41st Avenue. The front entry is designed to minimize stairs and ramp length to accomodate people of differing abilities. To the east of the front court landing is the bistro outdoor patio, and together with the dining patios next door, creates an activated and friendly building interface. The porte-cochère and drive court includes various West Coast themed gardens, perimeter bench seating, and feature paving to create a welcoming point of entry. In addition, the design includes a planted trellis system and raised planter beds to beautify the laneway and screen the loading area. CPTED principles are utilized to delineate private space from semi-public and public spaces by way of various pavement treatments, signage, screening, and fences. All private and common outdoor spaces are screened from offsite and neighbouring properties with layered planting, terraced planter walls, and ornamental trees, providing colour and texture year-round. The ground floor is programmed to provide sufficient opportunity for people engaged in their normal activities to observe the space around them. The lobby, amenities, and management offices will have direct views to the outside. Natural surveillance will be supplemented by access control measures including concierge, security cameras, digital access controls, and lighting standards to promote a safe environment.

#### KEY LEGEND

#### A WEST 41ST AVENUE FRONTAGE OFFSITE SIDEWALK + BOULEVARD TO COV STANDARDS ; PROTECT 1 EXISTING TREES - ALLOW FOR FUTURE 2.5M SRW LAYERED PLANTING FOR PRIVACY SCREENING 2 WEST 41ST AVENUE 3 OUTDOOR FITNESS / COOL DOWN AREA A 4 5' WIDE ACCESSIBLE ENTRY PATHWAY TO MAIN ENTRANCE WEST-COAST THEME PLANTING WITH SIGNAGE AT PEDESTRIAN 5 ENTRIES + PUBLIC ART MAIN ENTRANCE WITH FEATURE STONE-FACE ENTRY WALL + 6 SPECIMEN FLOWERING TREES 2 7 GATED OUTDOOR BISTRO LOUNGE WITH FIREPIT + SEATING OUTDOOR DINING SPACE WITH MOVEABLE TABLES + CHAIRS + 8 POTS + TRELLIS `ilpfk dOPO= pc ^dj NSN⊨ pc FEATURE CORNER WITH WEST-COAST THEME PLANTING + d NRU⊨ n.c 9 cfqkbp pUWN⊨ SCULPTURAL TREE sbpq≯ NSN⊨ `o^cq= hfq`T6215+k ^ohbo iOPN⊨ MM REAR LANE FRONTAGE + PORTE COCHERE В Imvl∋c^u t RIE 21 \_fpqo (CRRN= 10 TALL HEDGE PLANTING FOR WALL SCREENING 1 CARE UNIT PATIOS D TERRACED PLANTERS WITH PRIVACY SCREENING 12 WEST-COAST THEMED FEATURE PLANTING BEDS: NATIVE SHRUBS 0 13 + TREES, RIVER ROCK, BOULDERS, LIGHTING ı 🗇 14 BIKE RACKS sbpqK NOT= ° 15 ENTRY WITH FEATURE PAVING + BENCH SEATING + MOVABLE 0=0 15 ATTACK A POTS 14 16 STAFF ROOM PATIO WITH PRIVACY SCREENING ጠ Ö. 13 17 PLANTED TRELLIS SYSTEM AT LOADING BAY + AMICA BUS PARKING 12 (C)SIDE LANE FRONTAGE 18 VEHICULAR RAMP TO P1 PARKADE P1 EXHAUST, SEE ARCH. CANOPY ABOVE (BLUE DASHED) LANE PARKADE SLAB BELOW (RED 19 LAYERED PLANTING DASHED) В 20 WAYFINDING SIGNAGE GROUND LEVEL - LANDSCAPE PLAN D WEST PROPERTY LINE 1 21 LAYERED PLANTING + SHADE TREES AGAINST PRIVATE UNIT PATIOS Issue Project Stamp Project Info 8 KINGSWAY, VANCOUVER, BC V5N 25 No.

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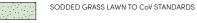
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	Issued for Rezoning	23-04-14	Vancouver, BC

### 1092 W 41st Avenue

#### PLANTING TYPOLOGY LEGEND

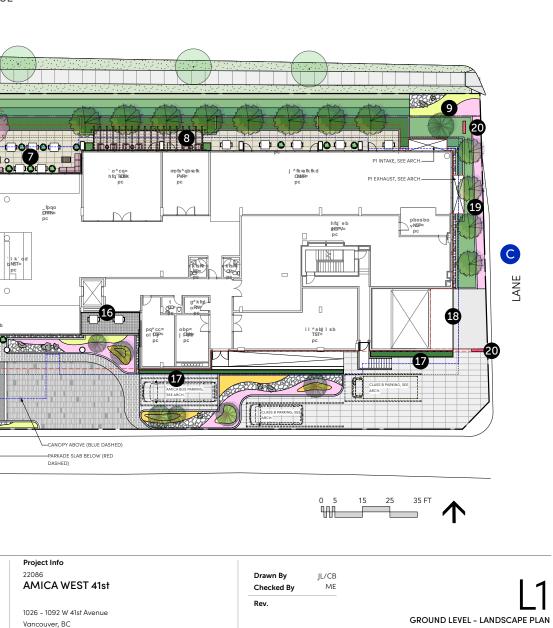
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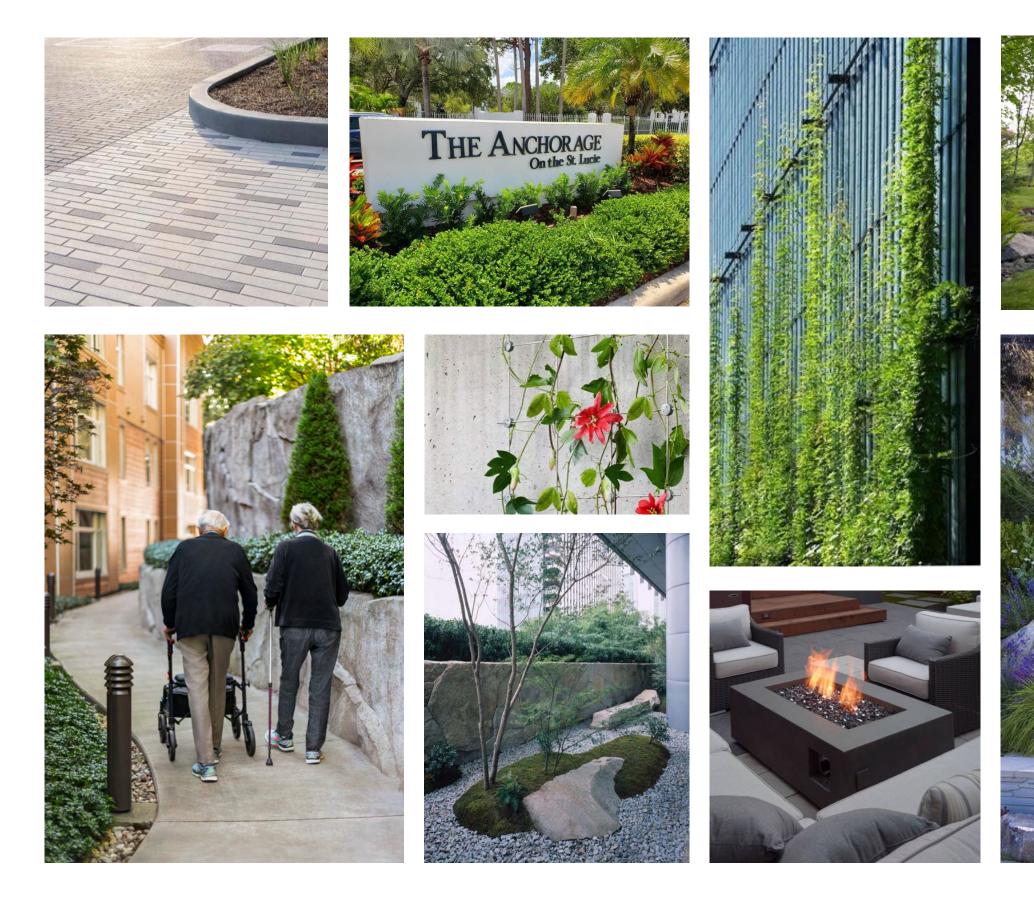


LAYERED PLANTING -SHRUB/PERENNIALS/ORNAMENTAL GRASSES



WEST-COAST THEMATIC PLANTING - SCULPTURAL TREES, GROUNDCOVERS, RIVER ROCK + BOULDERS





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Project Stamp	

Project Info 22086 AMICA WEST 41st

1026 - 1092 W 41st Avenue Vancouver, BC





Drawn By Checked By Rev.

JL/CB ME

 $\mathbf{\mathcal{T}}$ L GROUND LEVEL - PRECEDENT IMAGES

Levels 2-5 include outdoor common patios with moveable tables and chairs, and moveable pots for accent/sensory plants. Common outdoor patios are immediately accessible from indoor amenities to promote wellness and access to daylight. These areas are designed to optimize usability, safety and security. Private patios are similarly programmed with moveable furnishings and planter pots to cater to each unit.

#### KEY LEGEND

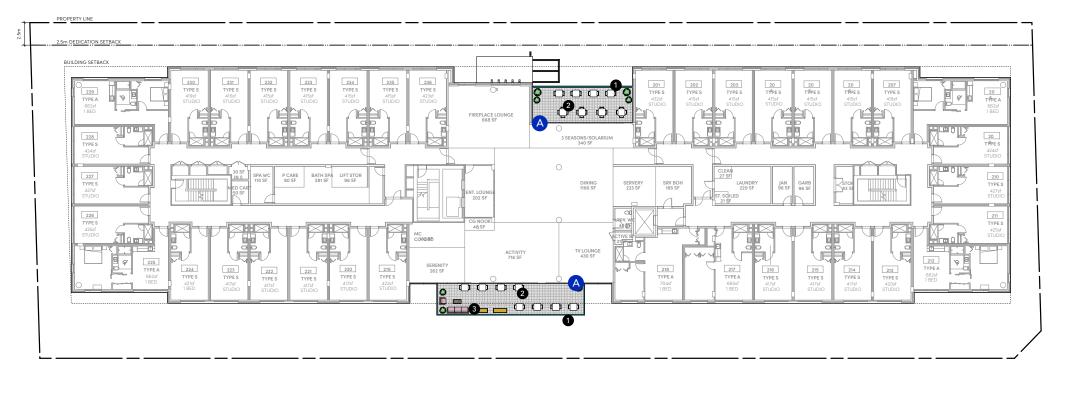
A COMMON-AREA PATIOS

1 60" HT. GUARDRAILS BY ARCH.

2 MOVEABLE FURNISHING BY OWNER

3 MOVEABLE PLANTERS FOR GARDENING ACTIVITIES





1 LEVEL 2 - LANDSCAPE PLAN Scale: 1/16" = 1'-0"

		Issue			Project Stamp	Project Info
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LEVEL 2 - LANDSCAPE PLAN

Levels 2-5 include outdoor common patios with moveable tables and chairs, and moveable pots for accent/sensory plants. Common outdoor patios are immediately accessible from indoor amenities to promote wellness and access to daylight. These areas are designed to optimize usability, safety and security. Private patios are similarly programmed with moveable furnishings and planter pots to cater to each unit.

#### KEY LEGEND

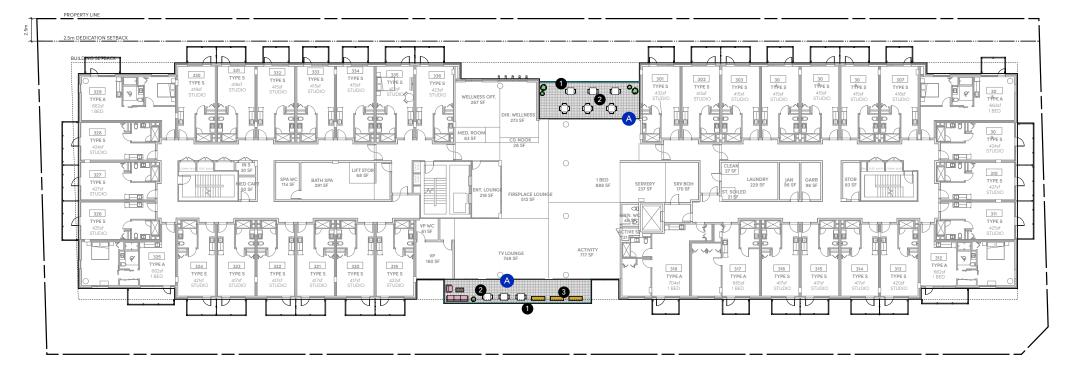
A COMMON-AREA PATIOS

1 42" HT. GUARDRAILS BY ARCH.

2 MOVEABLE FURNISHING BY OWNER

3 MOVEABLE PLANTERS FOR GARDENING ACTIVITIES





2 LEVEL 3 - LANDSCAPE PLAN Scale: 1/16" = 1'-0"

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LEVEL 3 - LANDSCAPE PLAN

Levels 2-5 include outdoor common patios with moveable tables and chairs, and moveable pots for accent/sensory plants. Common outdoor patios are immediately accessible from indoor amenities to promote wellness and access to daylight. These areas are designed to optimize usability, safety and security. Private patios are similarly programmed with moveable furnishings and planter pots to cater to each unit.

#### KEY LEGEND

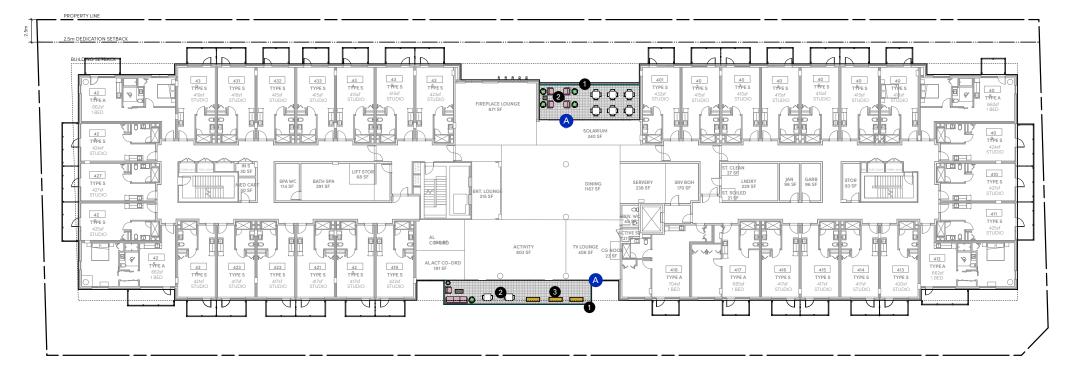
A COMMON-AREA PATIOS

1 42" HT. GUARDRAILS BY ARCH.

2 MOVEABLE FURNISHING BY OWNER

3 MOVEABLE PLANTERS FOR GARDENING ACTIVITIES





1 LEVEL 4 - LANDSCAPE PLAN Scale: 1/16" = 1'-0"

		Issue			Project Stamp	Project Info
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LEVEL 4 - LANDSCAPE PLAN

Levels 2-5 include outdoor common patios with moveable tables and chairs, and moveable pots for accent/sensory plants. Common outdoor patios are immediately accessible from indoor amenities to promote wellness and access to daylight. These areas are designed to optimize usability, safety and security. Private patios are similarly programmed with moveable furnishings and planter pots to cater to each unit.

#### KEY LEGEND

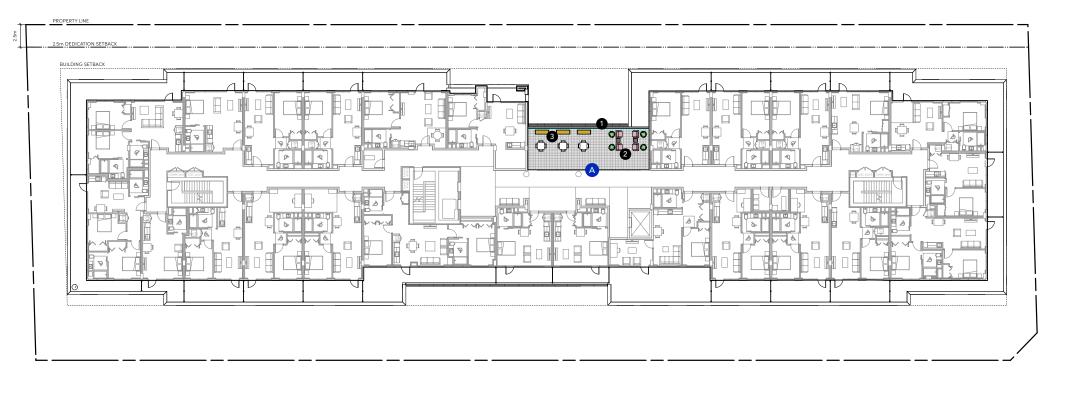
A COMMON-AREA PATIOS

1 42" HT. GUARDRAILS BY ARCH.

2 MOVEABLE FURNISHING BY OWNER

3 MOVEABLE PLANTERS FOR GARDENING ACTIVITIES





1 LEVEL 5 - LANDSCAPE PLAN Scale: 1/16" = 1'-0"

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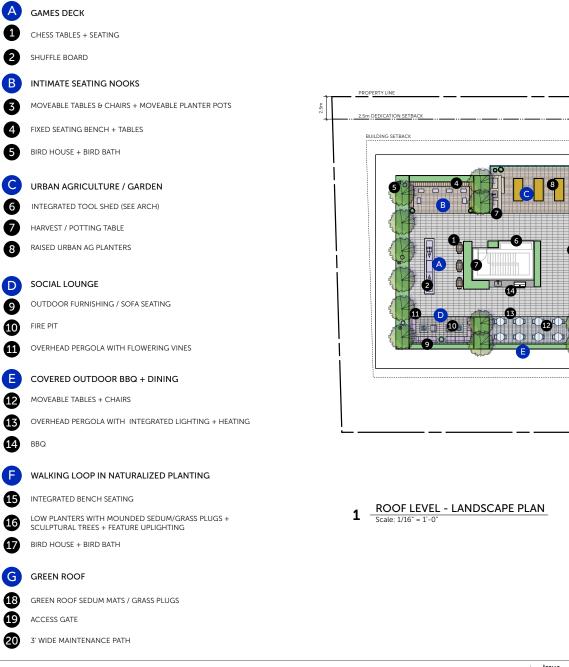
LEVEL 5 - LANDSCAPE PLAN

#### LANDSCAPE DESIGN RATIONALE: ROOF DECK AMENITY + GREEN ROOF

The roof deck features a naturalized walking loop with an extensive green roof that aims to enhance plants and wildlife, while functioning to improve stormwater absorption and uptake.

The amenity deck allows for a variety of activities and programmes, including: seating nodes for intimate gatherings or quiet reading, raised urban agriculture planters with potting tables and harvest tables, a games area with chess tables and shuffleboard, large social gathering areas by the covered sofa lounge, and outdoor dining with moveable tables/chairs and BBQ. Covered areas are proposed to allow for heating and lighting integration to maximize the useability of outdoor space for all-season use. Spaces also allow for open circulation and a walking loop for users to explore and exercise. Bird attractions help bring nature to the roof deck for residents to enjoy.

#### KEY LEGEND



#### PLANTING TYPOLOGY LEGEND

#### SYMBOL DESCRIPTION

#### PLANTING TYPE 1:



RAISED METAL PLANTERS; HEIGHT VARIES. FOUNDATION PLANTING, SHRUBS, TREES. PLANTING TYPE 2:

#### NATURALIZED PLANTING; RAISED CONCRETE EDGE FOR SEATING. LOW GROUNDCOVERS, ORNAMENTAL GRASSES + SPECIMEN TREES. PLANTING TYPE 3:

GREEN ROOF; SEDUMS + GRASS PLUGS WITH GENTLE MOUNDS

#### INSPIRATION IMAGES





GREEN ROOF WITH SEDUM + GRASS PLUGS

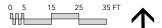


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SCULPTURAL TREES ON MOUNDED PLANTING



 Drawn By
 JL/CB

 Checked By
 ME

 Rev.
 Roof Level - LANDSCAPE PLAN





















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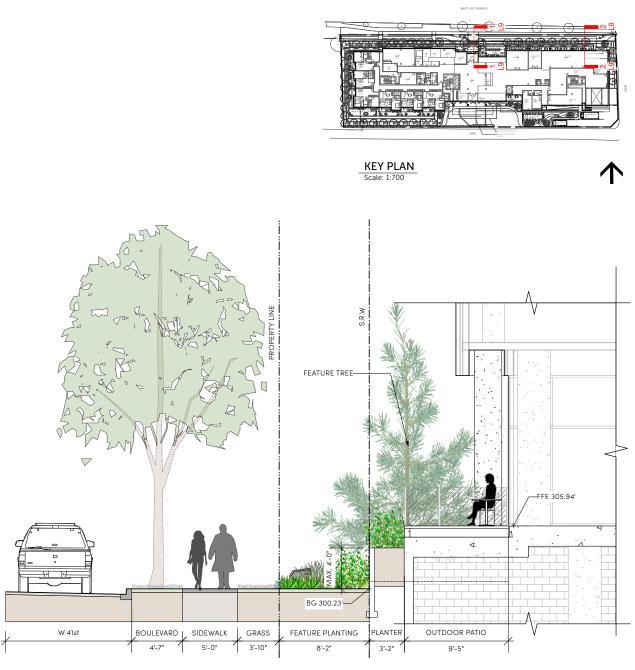
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JL/CB ME

8 ROOF LEVEL - PRECEDENT IMAGES





2 <u>SECTION 2: WEST 41ST CORNER</u> Scale: 1/4" = 1'-0"

**1** SECTION 1: WEST 41ST ENTRY Scale: 1/4\* = 1'-0\*

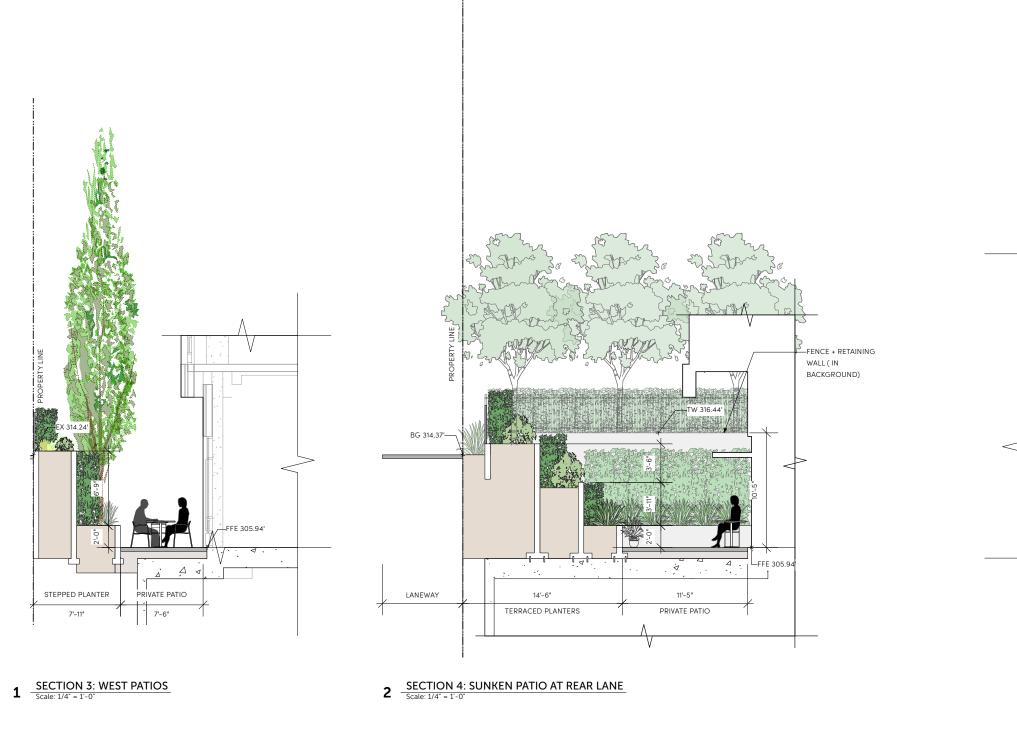


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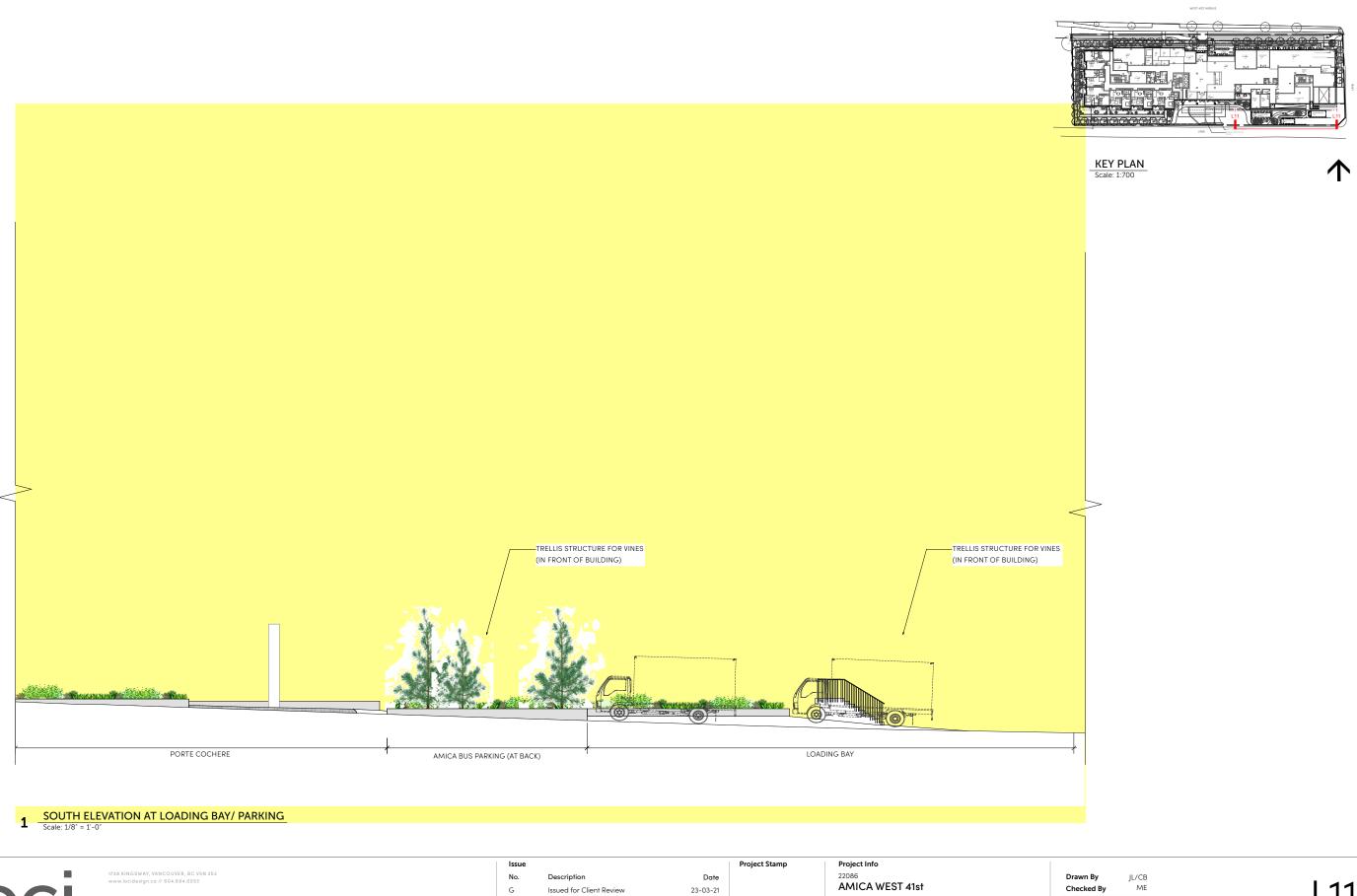
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I	Issued for Rezoning 23-	04-14		Vancouver, BC



## **3** SECTION 5: EAST LANEWAY Scale: 1/4" = 1'-0"

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# AMICA WEST 41st

1026 - 1092 W 41st Avenue Vancouver, BC





Corporate Office B700 – 20020 84th Ave Langley, BC V2Y 5K9

Vancouver Office 1560 – 666 Burrard St. Vancouver, BC V6C 2X8

# Thank you